



CITY OF BUCKEYE
PLANNING AND ZONING COMMISSION
REGULAR MEETING AGENDA
NOVEMBER 24, 2015

NOTICE OF POSSIBLE QUORUM OF THE BUCKEYE CITY COUNCIL

In accordance with Title 38, Chapter 3, Article 3.1, Arizona Revised Statutes, a majority of the City Council may attend the regular meeting of the Buckeye Planning and Zoning Commission but there will be no voting taking place by the City Council. Council members may participate in the discussion of any item on the agenda.

Accessibility for all persons with disabilities will be provided upon request. Please telephone your accommodation request to (623)349-6911, 72 hours in advance if you need a sign language interpreter or alternate materials for a visual or hearing impairment. [TDD (623)234-9507]

City of Buckeye
 Council Chambers
 530 East Monroe Avenue
 Buckeye, AZ 85326

Workshop: None
Regular Meeting: 6:00 pm

Order of Items

1. The Chair will call the item number and read the notice of hearing.
2. A staff member of the Development services Department will summarize the case.
3. The applicant or representative may speak in support of the application.
4. Other persons in favor of the application may be heard.
5. Those opposed to the application may be heard.
6. The applicant may be heard in rebuttal.
7. All questions must be addressed to the Chair in order to present general discussion between those in favor of the application and those opposed to it.

At Large	District 1	District 2	District 3	District 4	District 5	District 6
Thomas Marcinko	Jeffrey Nagy	Preston Hundley	Carol Kempiak <i>Chairperson</i>	Clayton Bedoya	Reverend Gregory Clemmons	Nick Hudec <i>Vice Chairperson</i>
Vacant <i>(Alternate)</i>	Jesse Knight <i>(Alternate)</i>	Vacant <i>(Alternate)</i>	Deanna Kupcik <i>(Alternate)</i>	Gail Reese <i>(Alternate)</i>	Bill Elliott <i>(Alternate)</i>	Duane Mitry <i>(Alternate)</i>

Council Liaison: Councilmember Craig Heustis

1.	CALL TO ORDER/PLEDGE OF ALLEGIANCE/ROLL CALL
2.	APPROVAL OF MINUTES FROM NOVEMBER 10, 2015 PLANNING AND ZONING COMMISSION REGULAR MEETING <i>Action required: Motion</i>

3.	CONSENT AGENDA <i>No Items</i>	
4.	CONTINUANCE AGENDA <i>No Items</i>	
5.	REGULAR AGENDA	
5A.	<p>Subject: Sun City Festival HH1 Preliminary Plat Applicant: Dan Pottinger, Cardno for Pulte Homes Location: North of Beardsley Parkway, west of Desert Vista Blvd, east of Desert Oasis Blvd, and south of the Central Arizona Project (CAP) canal. Request: Preliminary plat for 441 age-restricted single-family detached lots (181.22 acres) Recommendation: Approve with stipulations Presented by: Ed Boik, AICP, Senior Planner</p>	<i>Action required: Public Hearing, Discussion and motion</i>
5B.	<p>Subject: EPCOR Water Plant 15 – Zone 3N Booster Pump Station Applicant: Travis Nuttall, PE, EPCOR Water for Klondike Land Portfolios, LLC Location: Approx. 474' west of the east line of Section 17, T2N, R2W and approx. 464' north of the midsection line of Section 17, T2N, R2W (APN 502-28-010J) Request: Site Plan for a water booster pump station (0.72 acres) Recommendation: Approve with stipulations Presented by: Andrea Marquez, Planner II</p>	<i>Action required: Public Meeting, Discussion and motion</i>
6.	<p>COMMENTS FROM THE PUBLIC Alternates and members of the audience may comment on non-agenda items. However, State Open Meetings Law does not permit the Commission to discuss items not specifically on the agenda.</p>	<i>Action required: None</i>
7.	REPORT FROM STAFF	<i>Action required: None</i>
8.	COMMENTS FROM THE PLANNING AND ZONING COMMISSION	
9.	ADJOURNMENT	<i>Action required: Motion</i>



CITY OF BUCKEYE
PLANNING AND ZONING COMMISSION
REGULAR MEETING MINUTES
NOVEMBER 10, 2015

City of Buckeye
530 East Monroe Avenue
Buckeye, AZ 85326

1. CALL TO ORDER/PLEDGE OF ALLEGIANCE/ROLL CALL

Chairperson Carol Kempniak called the meeting to order at 6:00 p.m.

Members present: Alternate Thomas Marcinko seated for At Large, Commissioner Preston Hundley, Chairperson Carol Kempniak, Alternate Gail Reese seated for District 4, Commissioner Gregory Clemmons, Alternate Duane Mitry seated for District 6, Alternate Bill Elliott

Members absent: Commissioner Jeffrey Nagy, Commissioner Clayton Bedoya, Vice Chairperson Nick Hudec, Alternate Jesse Knight, Alternate Deanna Kupcik

Staff present: Planning Manager Terri Hogan, Senior Planner Ed Boik, Senior Planner Adam Copeland, Administrative Assistant Keri Hernandez, City Attorney Gary Verberger, Conservation Supervisor Robert Wisener

2. APPROVAL OF MINUTES FROM OCTOBER 27, 2015 PLANNING AND ZONING COMMISSION REGULAR MEETING

A motion was made by Commissioner Clemmons and seconded by Commissioner Hundley to approve the minutes of the October 27, 2015 Planning and Zoning Commission Regular Meeting as presented. Motion carried.

3. CONSENT AGENDA

No items

4. CONTINUANCE AGENDA

No items

5. REGULAR AGENDA

5A. TRILLIUM (PLZ-15-00072)

Senior Planner Ed Boik presented and was available to answer questions from the Commission.

A public hearing was opened at 6:07 p.m.

With there being no comments from the public, the public hearing was closed at 6:07 p.m.

A motion was made by Commissioner Clemmons and seconded by Commissioner Hundley to recommend approval with stipulations as presented to the City Council. Motion Carried.

5B. SUN VALLEY VILLAGES 1 & 2 (PLZ-15-00077)

Senior Planner Adam Copeland presented and was available to answer questions from the Commission. A public hearing was opened at 6:09 p.m. With there being no comments from the public, the public hearing was closed at 6:09 p.m. A motion was made by Commissioner Clemmons and seconded by Alternate Marcinko to recommend approval with stipulations as presented to the City Council. Motion carried.

5C. PARKS & RECREATION MASTER PLAN (PLZ-15-00112)

Senior Planner Ed Boik presented and was available to answer questions from the Commission. Conservation and Project Manager Robert Wisener presented and was available to answer questions from the Commission. A public hearing was opened at 6:13 p.m. There being no comments from the public, the public hearing was closed at 6:13 p.m. A motion was made by Alternate Marcinko and seconded by Commissioner Clemmons to recommend approval as presented to the City Council. Motion carried.

6. COMMENTS FROM THE PUBLIC

None

7. REPORT FROM STAFF

None

8. COMMENTS FROM THE PLANNING AND ZONING COMMISSION

Chairperson Kempiak inquired about the regular Planning and Zoning Commission for the holiday season coming up. Alternate Marcinko asked if city staff could look into repainting the lane markings at 4-way stops.

9. ADJOURNMENT

A motion was made by Commissioner Hundley and seconded by Commissioner Clemmons to adjourn at 6:18 p.m. Motion carried.

Carol Kempiak, Chairperson

ATTEST:

Keri Hernandez, Administrative Assistant

I hereby certify that the foregoing is a true and correct copy of the Planning and Zoning Commission Regular Meeting held on the 10th day of November, 2015. I further certify that a quorum was present.

Keri Hernandez, Administrative Assistant



PRELIMINARY PLAT

REPORT TO THE PLANNING AND ZONING COMMISSION

CASE NUMBER: PLZ-15-00110
TITLE: Sun City Festival HH1 Preliminary Plat
DATE: November 24, 2015
AGENDA ITEM: 5A

Applicant: Dan Pottinger, Cardno
Owner: Pulte Homes
Request: A preliminary plat for 441 age-restricted single-family detached lots
Location: Generally located north of Beardsley Parkway, west of Desert Vista Blvd, east of Desert Oasis Blvd, and south of the Central Arizona Project (CAP) canal
Site Acreage: 181.22 gross acres
Density: 2.43 d.u./ac.
Support/Opposition: None known
Recommendation: **Approve** with stipulations

PROJECT DESCRIPTION

1. Don Pottinger, Cardno, on behalf of Pulte Homes is requesting a preliminary plat approval for 181.22 acres located north of Beardsley Parkway, west of Desert Vista Blvd, east of Desert Oasis Blvd, and south of the Central Arizona Project (CAP) canal within Sun City Festival. 441 detached age-restricted single-family lots are proposed on 181.22 gross acres (177.73 net acres). The HH plat consists of 6 development phases, named parcel HH1-1 through HH1-6. Other than the adjacent residential development in Sun City Festival / Festival Foothills the land surrounding the project is minimally disturbed and natural desert. A WAPA/SRP powerline corridor and a Transwestern high pressure gas line corridor run east-west along the southern portion of the plat immediately adjacent to Beardsley Parkway.

AREA CONTEXT

Table 1: Vicinity/Existing Land Use, Future Land Use, Current Zoning. (Exhibits A-C)

	LAND USE	GENERAL PLAN	ZONING
Subject Property	Vacant	Master Planned Community	PC, Planned Community; Festival Ranch CMP
North	Vacant	Master Planned Community	PC, Planned Community; Spurlock Ranch CMP
South	Age-restricted single-family residential	Master Planned Community	PC, Planned Community; Festival Ranch CMP
East	Age-restricted single-family residential	Master Planned Community	PC, Planned Community; Festival Ranch CMP
West	Vacant	Master Planned Community	PC, Planned Community; Festival Ranch CMP

PUBLIC PARTICIPATION SUMMARY

2. Public notice was provided in the manner prescribed under Section 8 of the Development Code.
 - a. Published in the Buckeye Valley News: November 5, 2015
 - b. Site posted with public hearing information: November 9, 2015
 - c. Mailing to property owners within 300' : November 9, 2015

BACKGROUND

Annexation and Relevant Case History

- Annexation: *Ordinance 7-91, June 1991.*
- Rezoning: *Ordinance 7-91, June 1991.*
- Festival Ranch Community Master Plan (CMP), Amendments 1-6: *Most Recent: 2008*
- Festival Ranch Planning Unit Plan (PUP) - Units 1, 2, 3: *Most Recent Amendment: 2010*

ANALYSIS

Land Use Allocations

3. 441 detached single family lots are proposed by the preliminary plat. The plat project density (2.43 du/ac) is consistent with the densities throughout Sun City Festival.

Table 2: Residential Lot Mix

Lot Size (min)	No. of Lots	Percentage of Lot Mix
53' x 115'	247	56.00%
65' x 115'	194	44.00%
Total	441	100%

Table 3: Lot Setbacks

Lot Type	Front 3-ft stagger required*	Interior Side / Corner	Rear
53' x 115'	18-ft garage 12-ft living space or side-load garage	5-ft and 5-ft / 10-ft	20-ft
65' x 115'	18-ft garage 12-ft living space or side-load garage	5-ft and 5-ft / 10-ft	20-ft

**An additional 3-ft front yard setback stagger is required so that no more than two lots in a row may have the same setback.*

Schools

4. The project is age-restricted and no school site allocation is necessary for this proposal.

Circulation

5. Desert Oasis Boulevard and Beardsley Parkway are arterials bounding the development west and south side respectively. On the east side of the development, Desert Vista Boulevard will

be extended north as a collector for the plat. A network of local streets connects all phases/parcels of the preliminary plat and provide diverse access points.

Open Space / Trails

6. HOA maintained landscaped tracts are proposed throughout the development. The tracts will accommodate a trail system for pedestrians and bicyclists throughout the plat area. Trails will connect to sidewalks to facilitate off-street walking/biking throughout Sun City Festival. Future recreational amenities will be brought forward as a separate site plan for the northeastern corner of the plat.
7. The project is bordered on the south by a powerline corridor which preserves a large portion of the plat area as open space and provides a wide buffer from Beardsley Parkway, a major arterial. Nearly 44.4% (80.46 acres) of the plat is open space which well exceeds the 15% requirement of 2005 Development Code. All open spaces will be landscaped consistent with existing phases of Sun City Festival. *Site Design Details, Theming*
8. The CMP and the Planning Unit Plan outline the wall, site, and other theme details that will be used throughout Festival Units 1, 2 and 3 which includes the preliminary plat area. The conceptual landscape and wall plan shows the design of and where theme walls, view walls, entry features and other amenities will be located. Specifics will be finalized with the final landscaping plans.

Infrastructure

9. Water, Sewer, and effluent will be provided by the City and constructed by the developer as per the terms of the CMP, master reports, and development agreement.

Emergency Access

10. The project will be developed in Phases starting with the eastern portion of the site and parcel HH1-1. While this eastern portion of the site is under construction, a temporary all-weather emergency access route will be established to provide a western access point to the development (Exhibit F). The route will be required to be paved before the release of building permits in Parcel HH1-3 through HH1-6. Stipulations j-k, listed below, define the details and timing of this emergency access road.

RECOMMENDATION

3. Staff recommends the Planning and Zoning Commission motion for **approval** with stipulations a-x of **PLZ-15-00110** for the following reasons:

- The request is consistent with the General Plan, the Festival Ranch Community Master Plan, and the Festival Ranch Planning Unit Plan for Units 1, 2, 3;
- The request is consistent and compatible with previously approved plans, the surrounding development and future surrounding development;
- The proposed development is in conformance with the 2010 Development Code;
- Reviewing departments have no objections;

Stipulations

- a. Development of the property shall be in general conformance with the preliminary plat and conceptual landscape plans entitled "Sun City Festival – Parcels HH1-1 through HH1-6" consisting of 9 sheets, dated September 2015 and stamped received September 17, 2015.
- b. Development of the property shall be in general conformance to the project narrative entitled "Sun City Festival Planning Unit 1 Parcels HH1-1, 2, 3, 4, 5, 6" consisting of 5 pages, dated October 26, 2015.
- c. This subdivision is subject to a Parkway Maintenance Improvement District (MID) formed pursuant to Arizona Revised Statute § 48-574 and in accordance with City of Buckeye Ordinance 42-06, which may levy annual assessments or annual ad valorem taxes to cover the costs of maintaining the landscaping and ornamentation on streets within or serving the subdivision. The MID shall be established prior to the recordation of the first Final Plat as determined in the MID guidelines.
- d. This subdivision is subject to a Street Light Improvement District (SLID) in accordance with City of Buckeye Ordinance 43-05. A SLID shall be established prior to the recordation of the first Final Plat as determined in the SLID guidelines.
- e. The property owner/s and their successor waive any and all claims for diminution in value of the property with regard to any action taken by City of Buckeye as result of this approval.
- f. Final pedestrian/recreational amenity design shall be determined at final landscaping plan review.
- g. The recreational amenity located north of the intersection of Desert Vista Blvd and Firehawk Drive shall be approved by separate site plan review and shall be installed with the first final platted phase of Parcel HH1-1.
- h. Earthen berms or grading which achieves a similar effect of at least 3-feet shall be provided on the final landscape plans to screen water facilities from public view. The berm shall be landscaped with trees to further enhance the screening effect.
- i. Prior the City issuing C of O's in parcel HH 1-1, HH 1-2 there shall be a temporary fire department access road from the west edge of Parcel HH 1-1 to Desert Oasis Blvd. The fire access road will be a minimum of 20 feet in width and be all weather designed to a sufficient thickness to support a fully loaded fire truck.

- j. Prior the City issuing C of O's in parcel HH 1-3, HH 1-4 there shall be a paved roadway from the west end of parcel HH 1-3 to Desert Oasis Blvd. This paved road can either be the permanent Matthew Drive or a paved fire department access road. If it is a paved fire department access road automated gates at both ends will be required in order to keep the general public from using it. A water line loop to Desert Oasis is required from parcel HH 1-3.
- k. Prior to the City issuing C of O's on any parcel in HH the half street of Beardsley will have to be completed.
- l. The final alignment of Matthew Drive will be determined at final plat review.
- m. All street names shall be per the City of Buckeye standards.
- n. A 3-ft right-of-way use easement shall be provided along each side of all rights-of-way as determined by the Engineering Department at final plat.
- o. Phasing of public infrastructure shall be subject to a phasing plan as approved by the Development Services Director and City Engineer.
- p. Prior to Final Plat recordation, final landscaping and irrigation plans, including all lighting improvements, shall be reviewed and approved by the City of Buckeye.
- q. The Property Owner/Developer shall provide for channelization of off-site storm water that will be intercepted by this project in accordance with a Final Drainage Report as approved by the City Engineer, which shall be submitted along with the first submittal of the improvements plans. In the case where work related to interception of off-site storm water is required on adjacent parcels of land not controlled by the Property Owner/Developer, the Property Owner/Developer shall first obtain a drainage easement from the adjacent parcel owners. When required, said easement shall include an acknowledgment by the adjacent parcel owner(s) that historic drainage discharge points may be altered. Said drainage easements shall be executed and submitted to the City prior to approval of the Grading Plans and shall be recorded prior to approval of the Final Plat for this project.
- r. Prior to Final Plat approval, the Property Owner/Developer shall obtain approval from the applicable utility interests for easement location and width as required for utility purposes.
- s. At the time of improvement plan submittal, the Property Owner/Developer shall provide a comprehensive Drainage Master Plan, which addresses all on-site and off-site drainage requirements and issues. The Drainage Master Plan shall also identify the method by which existing 100-year floodplains will be mitigated.
- t. Prior to delivery of any combustible materials to the site, the fire protection system shall be completely operational, with proper fire flow, and in accordance with the plans approved by the Buckeye Fire Chief and City Engineer.
- u. Any traffic signals that are required due to traffic generated by this project shall be installed by the Property Owner/Developer when warranted.
- v. To the extent allowed by law, all Type-I Non-irrigation and Irrigation Grandfathered Rights associated with the property shall be properly extinguished and the resulting extinguishment

credits conveyed to the City of Buckeye or pledged to the City of Buckeye account at the Arizona Department of Water Resources prior to the issuance of any building permits.

- w. The Property Owner/Developer shall allocate any surface water rights to the City prior to the issuance of any building permits
- x. The Property Owner/Developer shall notify the City's Water Resources Department of the location of any registered and unregistered wells on the property and the Property Owner/Developer and the City's Water Resources Department shall meet and confer to determine if the wells are beneficial or whether they shall be abandoned. Wells shall be abandoned by the Property Owner/Developer if the City's Water Resources Department determines that they present a health and safety hazard or are contributing to groundwater contamination and are not able to be rehabilitated, modified, or re-drilled to prevent the health and safety hazard or groundwater contamination. Abandonment of wells shall be performed pursuant to and in compliance with State law and shall be completed prior to the issuance of any building permits.

EXHIBITS

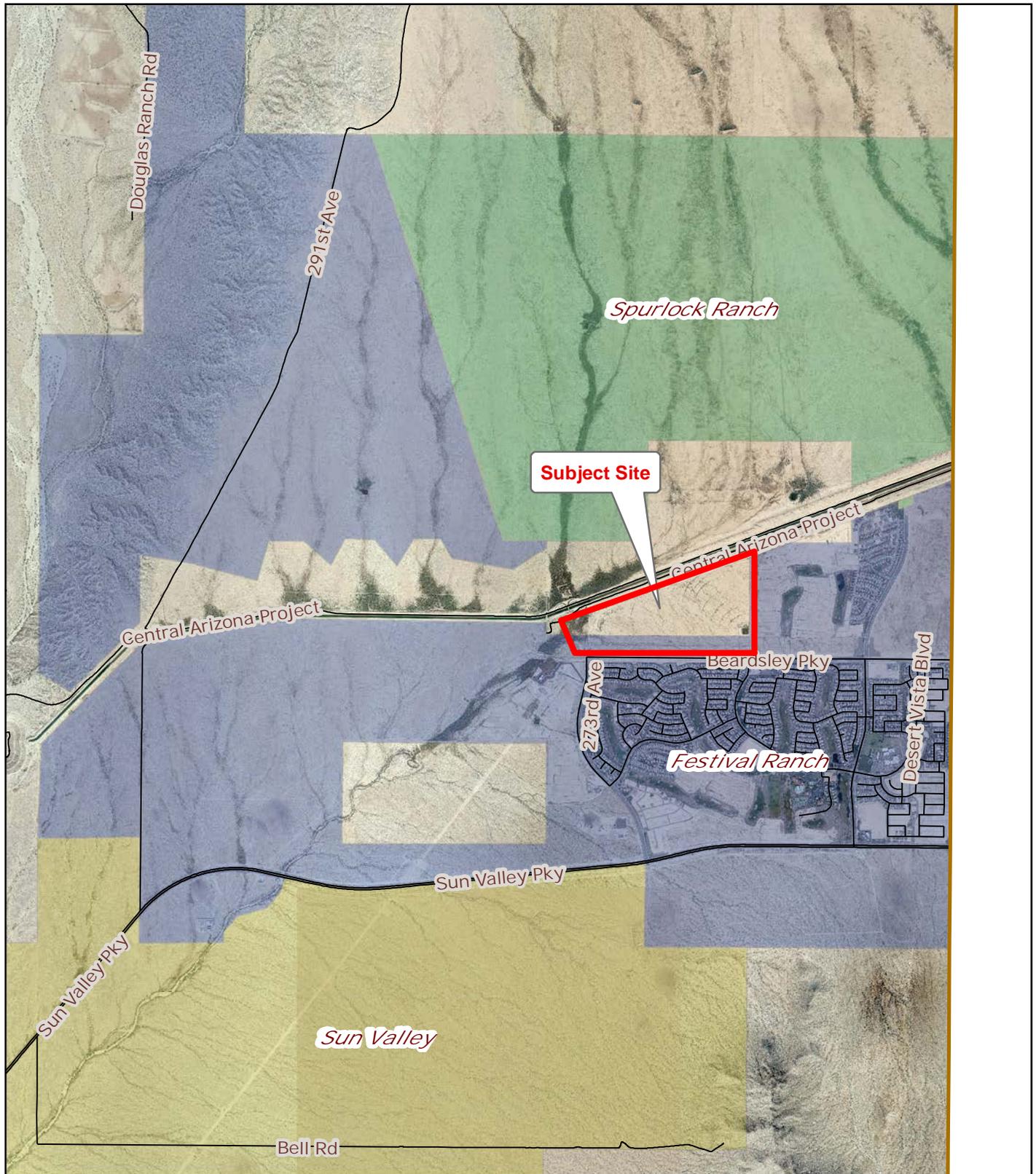
Exhibit A	Vicinity/Aerial Map
Exhibit B	Land Use Map
Exhibit C	Zoning Map
Exhibit D	Preliminary Plat
Exhibit E	Conceptual Landscaping Plan
Exhibit F	Emergency Access Plan
Exhibit G	Narrative

Prepared By:
Edward Boik, AICP, Senior Planner

Reviewed By:
Terri Hogan, AICP, Planning Manager

Vicinity (Aerial)

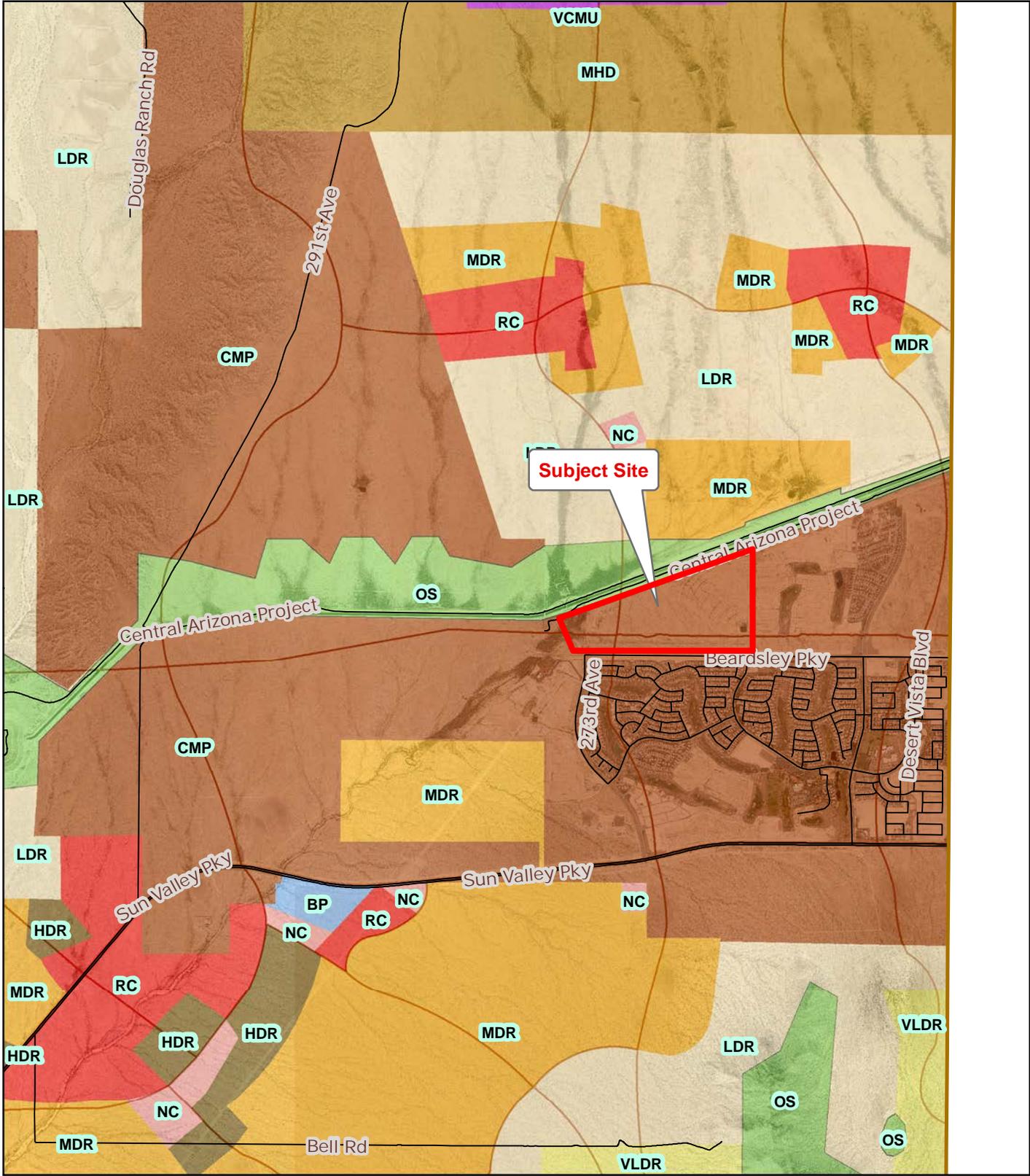
Exhibit A



Case: PLZ-15-00110
Title: Sun City Festival Parcel HH



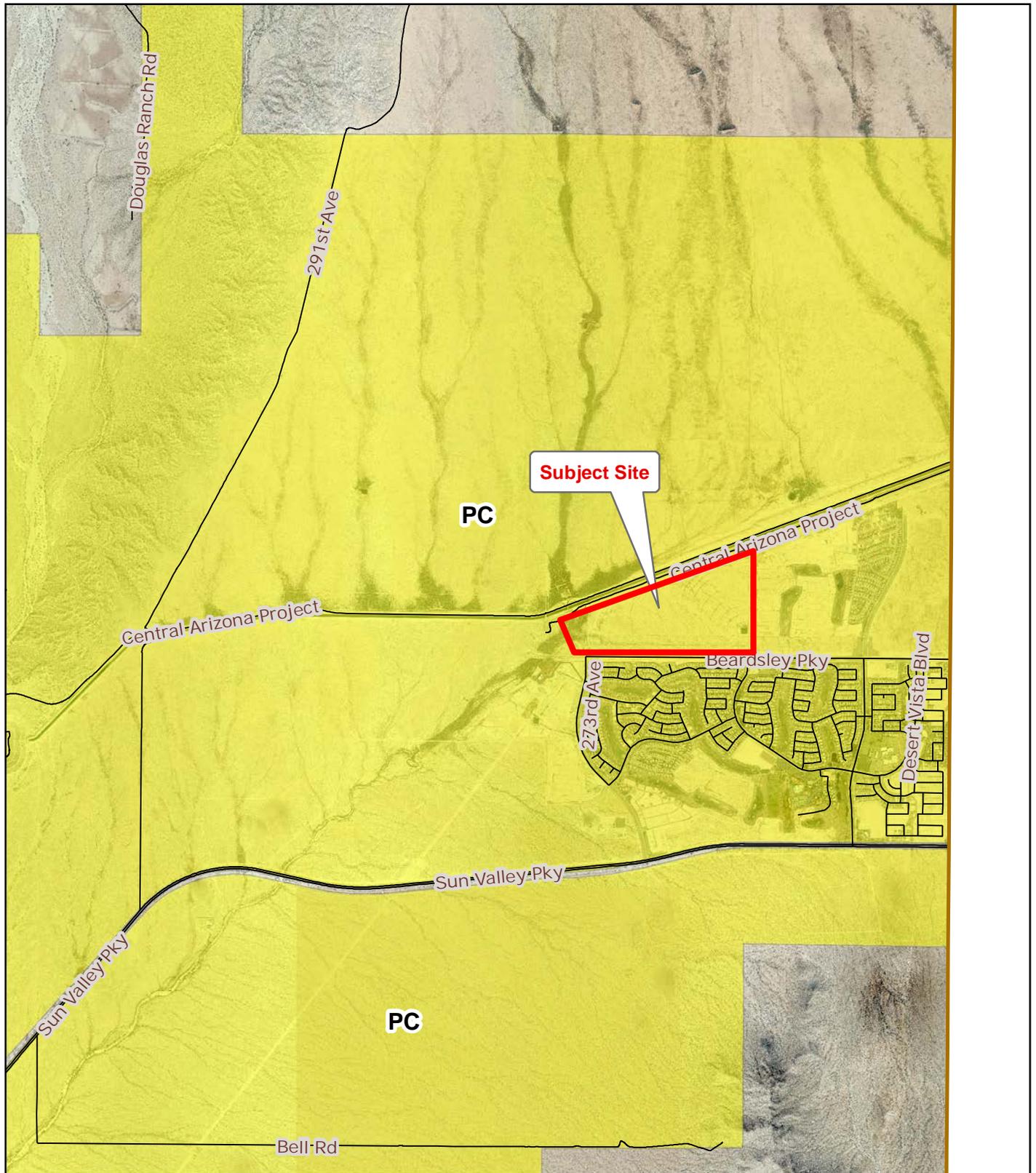
Land Use



Case: PLZ-15-00110
Title: Sun City Festival Parcel HH



Zoning



Case: PLZ-15-00110

Title: Sun City Festival Parcel HH



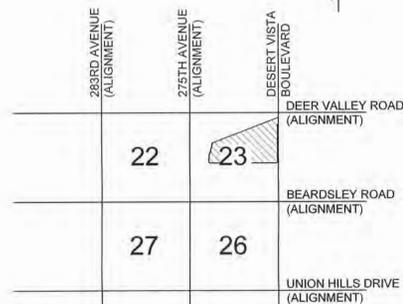
PRELIMINARY PLAT FOR

SUN CITY FESTIVAL - PARCELS HH1-1 - HH1-6

A PARCEL OF LAND SITUATED IN A PORTION OF SECTION 23, TOWNSHIP 4 NORTH, RANGE 4 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, CITY OF BUCKEYE, MARICOPA COUNTY, ARIZONA

R 05 W						R 04 W
R 04 W	6	5	4	3	2	1
	7	8	9	10	11	12
	18	17	16	15	14	13
	19	20	21	22	23	24
	30	29	28	27	26	25
	31	32	33	34	35	36
						T 04 N
						T 03 N

VICINITY MAP NOT TO SCALE



LOCATION MAP NOT TO SCALE

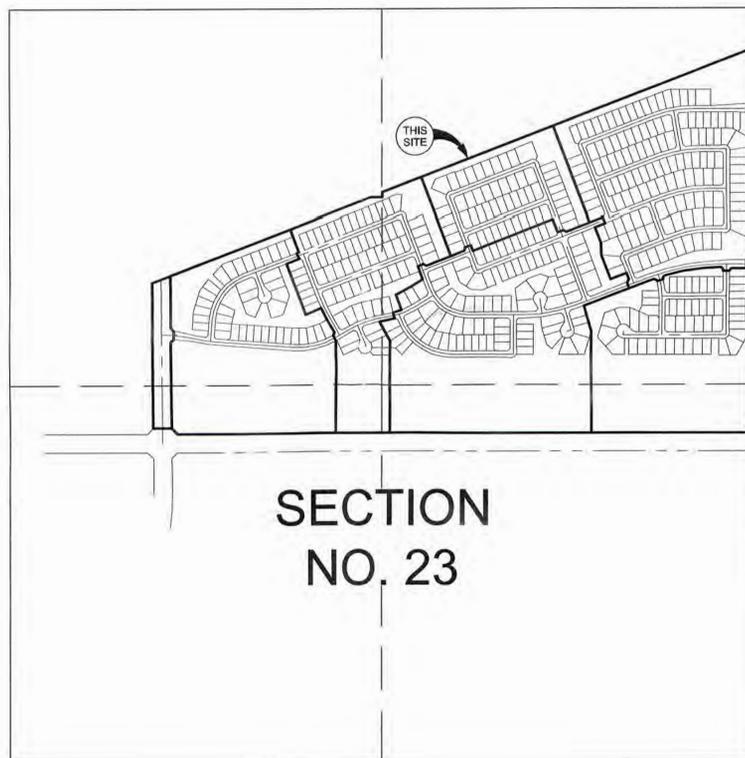
FEMA FLOOD ZONE INFORMATION

COMMUNITY NUMBER	PANEL NUMBER	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION (IN AO USE DEPTH)
040039	1170L	10/16/13	X, AE	

ALL FLOOD ZONES ARE SHOWN IN THIS PLAN SET

GENERAL NOTES

- THE INTENT OF THIS PRELIMINARY PLAT IS TO MEET THE REQUIREMENTS OF THE FESTIVAL RANCH COMMUNITY MASTER PLAN (CMP) APPROVED BY THE CITY OF BUCKEYE SEPTEMBER 2000 AND ALL AMENDMENTS THERETO.
- THIS PRELIMINARY PLAT IS INTENDED TO COVER THE FOLLOWING PARCELS: HH1-1, 2, 3, 4, 5, & 6. ALL OTHER PARCELS WILL HAVE TO BE SUBMITTED UNDER SEPARATE PRELIMINARY PLAT OR SITE PLAN SUBMITTALS AS REQUIRED BY THE CITY OF BUCKEYE.
- STREET NAMES WILL BE PROVIDED BY THE DEVELOPER IN CONJUNCTION WITH THE FINAL PLAN AND APPROVED BY THE FIRE CHIEF.
- NO STRUCTURE CAN BE CONSTRUCTED WITHIN THE DRAINAGE EASEMENT WITH THE EXCEPTION OF SIGNAGE AND LIGHTING OR AS APPROVED BY THE CITY OF BUCKEYE, CITY ENGINEER.
- ALL SETBACKS SHALL CONFORM WITH THE FESTIVAL RANCH COMMUNITY MASTER PLAN (CMP) APPROVED BY THE CITY OF BUCKEYE SEPTEMBER 2000 AND ALL AMENDMENTS THERETO OR AS APPLICABLE TO THE CITY OF BUCKEYE, DEVELOPMENT CODE.
- THIS PRELIMINARY PLAT IS INTENDED TO BE CONSTRUCTED IN PHASES. ULTIMATE PHASING SHALL BE DICTATED BY MARKET CONDITIONS.
- THE PROPERTY IS ZONED PLANNED COMMUNITY (PC) PER THE FESTIVAL RANCH COMMUNITY MASTER PLAN (CMP) AS APPROVED BY THE CITY COUNCIL IN SEPTEMBER, 2000.
- THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR SUN CITY FESTIVAL, DOCUMENT #20051720347 WAS RECORDED 11/14/05.
- ALL RESIDENTIAL LOTS SHALL CONFORM TO THE FESTIVAL RANCH COMMUNITY MASTERPLAN (CMP), DEVELOPMENT OPTION 2, R1-4.5 ZONING CATEGORY.
- THIS PLAT IS WITHIN CMP PLANNING UNIT E AND F AND PULTE'S PLANNING UNIT 1.
- THIS PLAT LIES WITHIN FEMA FLOOD INSURANCE RATE MAP (FIRM) PANEL NUMBERS C1170L, DATED OCTOBER 16, 2013. PORTIONS OF THIS PROJECT FALL UNDER ZONE "X", DEFINED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD." AREAS OF DESERT OASIS BOULEVARD FALL UNDER ZONE "AE", DEFINED AS "BASE FLOOD ELEVATION DETERMINED." A CLOMR HAS BEEN APPROVED BY MARICOPA COUNTY FLOOD CONTROL DISTRICT AND THE CITY OF BUCKEYE, AND IS BEING REVISED BY THE DEVELOPER, TO REMOVE THESE AREAS FROM THE ZONE "AE" FLOOD PLAIN. THE CLOMR IS PENDING FEMA SUBMITTAL AND APPROVAL.
- THIS PLAT FALLS WITH IN THE WICKENBURG UNIFIED SCHOOL DISTRICT.



SECTION NO. 23 OVERALL DEVELOPMENT NOT TO SCALE

ENGINEER

MICHAEL BAKER JR. INC.
DANIEL J. POTTINGER, P.E.
2929 NORTH CENTRAL AVENUE, SUITE 800
PHOENIX, AZ 85012
PHONE: (602) 279-1234
FAX: (602) 279-1411

SHEET INDEX

- | | |
|-----|--------------------------|
| 1 | COVER SHEET |
| 2 | KEY MAP |
| 3 | CROSS SECTIONS & DETAILS |
| 4-6 | PRELIMINARY PLAT |

DEVELOPER

PULTE HOME CORPORATION
RICHARD LOPEZ
16767 NORTH PERIMETER DRIVE, SUITE 100
SCOTTSDALE, AZ 85260
PHONE: (480) 391-6000
FAX: (480) 391-6100

BENCHMARK

ALUMINUM CAP IN A 5 INCH PVC PIPE WITH A COUNTY LOGO ACCESS COVER STAMPED 4HH2, 1999, SURROUNDED WITH A CONCRETE COLLAR FLUSH WITH THE GROUND, WITNESSED BY A WHITE CARSONITE MARKER, ELEVATION - 1566.565' (NAVD 88) LOCATED WITHIN SECTION 15, TOWNSHIP 4N, RANGE 4W.

BASIS OF BEARING

ARIZONA STATE PLANE COORDINATES SYSTEM, CENTRAL ZONE, BASED ON THE NORTH AMERICAN DATUM OF 1983 (NATIONAL SPATIAL REFERENCE SYSTEM OF 2007) [NAD83(NSRS2007)]. NO ROTATION APPLIED.

UTILITY COMPANIES

SEWER	CITY OF BUCKEYE
WATER	CITY OF BUCKEYE
ELECTRIC	APS/SRP
TELEPHONE	COX
CATV	COX
GAS	SOUTHWEST GAS

MANAGING ENGINEER / SUPERVISOR DANIEL J. POTTINGER, P.E.	PROJECT COORDINATOR DANIEL J. POTTINGER, P.E.	CHECKED	DUP
		DRAFTED	DUP
DESIGN LAYOUT		DLP	DUP
FIELD SURVEY		DRAFTED	CHECKED
DRAWINGS SCALES			NTS

PRELIMINARY PLAT

2929 NORTH CENTRAL AVENUE, SUITE 800
PHOENIX, ARIZONA 85012-2794
MICHAEL BAKER JR. INC. 602.279.1234 • FAX 602.279.1411 • WWW.BAKERCORP.COM



SUN CITY FESTIVAL
PARCELS HH1-1 - HH1-6

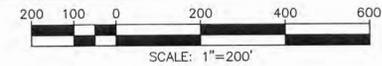
PLZ-15-00110
Sun City Festival - Parcel HH
Preliminary Plat Submittal Package
(Includes Pre-plot, Landscape Plans)
2R - FOR REVIEW - P&Z FILE COPY

RECEIVED
SEP 17 2015
CITY OF BUCKEYE
ENGINEERING



COB PERMITTING APPROVED STAMP	COB ENGINEERING APPROVED STAMP
ORIGINAL PLAN DATE SEPT/2015	LATEST REVISION DATE
PROJECT NUMBER 145264	SHEET NUMBER 1 of 6
SUBMITTAL PLZ-15-00110	

2nd Submittal



SITE DATA		
AREA		
PARCEL	NET AREA	
HH1-1	1,606,676 SF	36.88 AC
HH1-2	1,225,788 SF	28.14 AC
HH1-3	1,925,822 SF	44.21 AC
HH1-4	627,983 SF	14.42 AC
HH1-5	1,056,460 SF	24.25 AC
HH1-6	1,299,351 SF	29.83 AC
TOTAL	7,742,062 SF	177.73 AC
DENSITY		
NET DENSITY	2.45 UNITS/AC	
ZONING: PLANNED COMMUNITY		
LOTGING		
PARCEL	LOTS	
HH1-1	53'x115'=72	65'x115'=62
HH1-2	53'x115'=27	65'x115'=22
HH1-3	53'x115'=52	65'x115'=36
HH1-4	53'x115'=31	65'x115'=23
HH1-5	53'x115'=40	65'x115'=31
HH1-6	53'x115'=23	65'x115'=16
TOTAL	435 LOTS	

TRACT TABLE			
TRACT	AREA		USE
A-1	99,150 SF	2.27 AC	OPEN SPACE/LANDSCAPE
B-1	7,973 SF	0.18 AC	OPEN SPACE/LANDSCAPE
C-1	210,358 SF	4.83 AC	OPEN SPACE/LANDSCAPE/RETENTION/DOG PARK
A-2	736,086 SF	16.90 AC	OPEN SPACE/LANDSCAPE/RETENTION
B-2	24,364 SF	0.56 AC	OPEN SPACE/LANDSCAPE
C-2	3,223 SF	0.07 AC	OPEN SPACE/LANDSCAPE
A-3	829,630 SF	19.05 AC	OPEN SPACE/LANDSCAPE/RETENTION
B-3	86,128 SF	1.98 AC	OPEN SPACE/LANDSCAPE
C-3	48,614 SF	1.12 AC	OPEN SPACE/LANDSCAPE
A-4	135,813 SF	3.12 AC	OPEN SPACE/LANDSCAPE/RETENTION
A-5	220,645 SF	5.07 AC	OPEN SPACE/LANDSCAPE/RETENTION
B-5	61,311 SF	1.41 AC	OPEN SPACE/LANDSCAPE/RETENTION
C-5	124,430 SF	2.86 AC	OPEN SPACE/LANDSCAPE/RETENTION
D-5	5,523 SF	0.13 AC	OPEN SPACE/LANDSCAPE
A-6	722,555 SF	16.59 AC	OPEN SPACE/LANDSCAPE/RETENTION
B-6	136,979 SF	3.14 AC	OPEN SPACE/LANDSCAPE/RETENTION
C-6	108,529 SF	2.49 AC	OPEN SPACE/LANDSCAPE/RETENTION
TOTAL	3,565,487 SF	81.85 AC	

OPEN SPACE ITEMIZATION		
OPEN SPACE TYPE	AREA	
SRP/WAPA EASEMENTS	2,110,118 SF	48.42 AC
ACTIVE	1,414,287 SF	32.43 AC
ON-SITE	41,082 SF	0.94 AC

- LEGEND**
- 6"W — PROPOSED WATER
 - ⊕ — PROPOSED FIRE HYDRANT
 - ⊙ — PROPOSED WATER VALVE
 - 8"S — PROPOSED SEWER
 - — PROPOSED SEWER MANHOLE
 - — PROPOSED SEWER CLEANOUT
 - EX 6"W — EXISTING WATER
 - ⊕ — EXISTING WATER VALVE
 - EX 8"S — EXISTING SEWER
 - — EXISTING SEWER MANHOLE
 - 1002 — EXISTING CONTOURS
 - VNAE — VEHICLE NON-ACCESS EASEMENT
 - — SHEET BOUNDARY/PARCEL BOUNDARY
 - — PARCEL BOUNDARY
 - ← — STREET DRAINAGE
 - — PROPOSED SEWER FLOW
 - PUE — PUBLIC UTILITY EASEMENT
 - RDWY ESMT — ROADWAY EASEMENT
 - ⊠ — WATER SAMPLING STATION



**SUN CITY FESTIVAL
PARCELS HH1-1 - HH1-6
PRELIMINARY PLAT**

ENGINEER INFORMATION

Baker 2929 NORTH CENTRAL AVENUE, SUITE 800
PHOENIX, ARIZONA 85012-2794
MICHAEL BAKER JR. INC. 602.279.2344 • FAX 602.279.1481 • WWW.MBAKERCORP.COM

COB PERMITTING APPROVED SEAL: [Signature]

COB ENGINEERING APPROVED SEAL: [Signature]

(POSSIBLE AS-BUILT SEAL)

DESIGN SEAL: [Signature]

ORIGINAL PLAN DATE: **SEPT/2015**

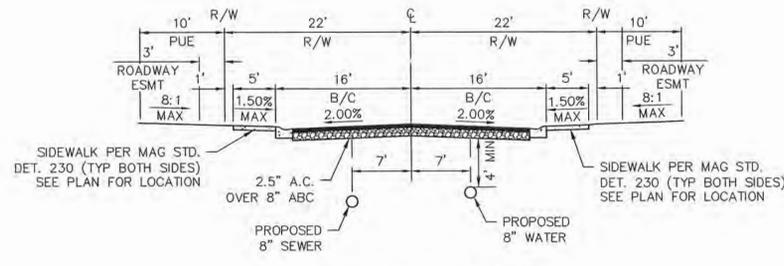
LATEST REVISION DATE: -

PROJECT NUMBER: **145264**

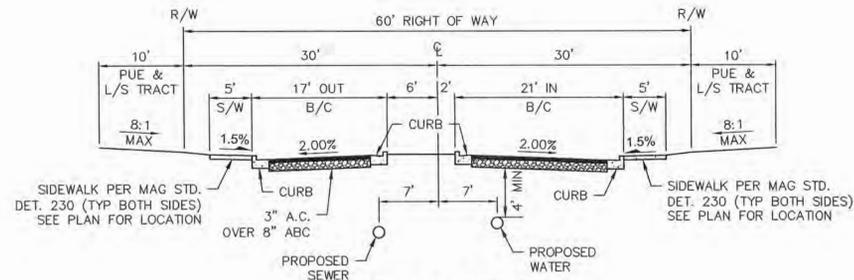
SHEET NUMBER: **2 of 6**

PLZ-15-00110

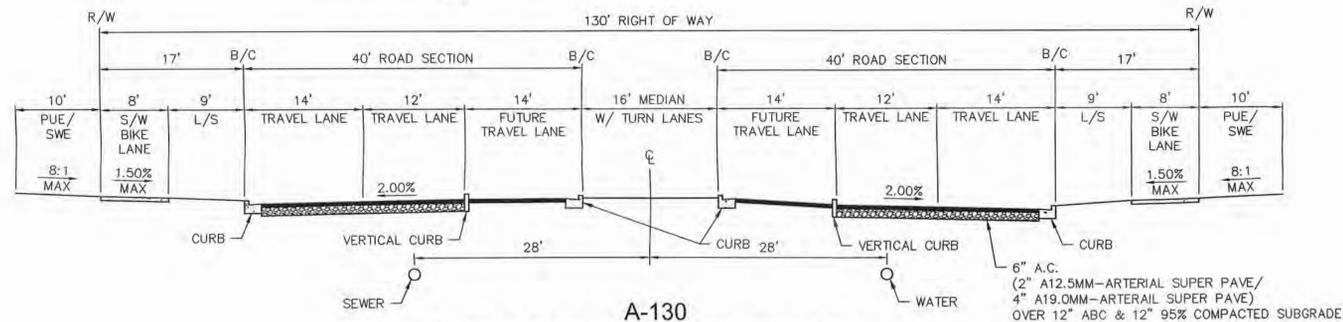




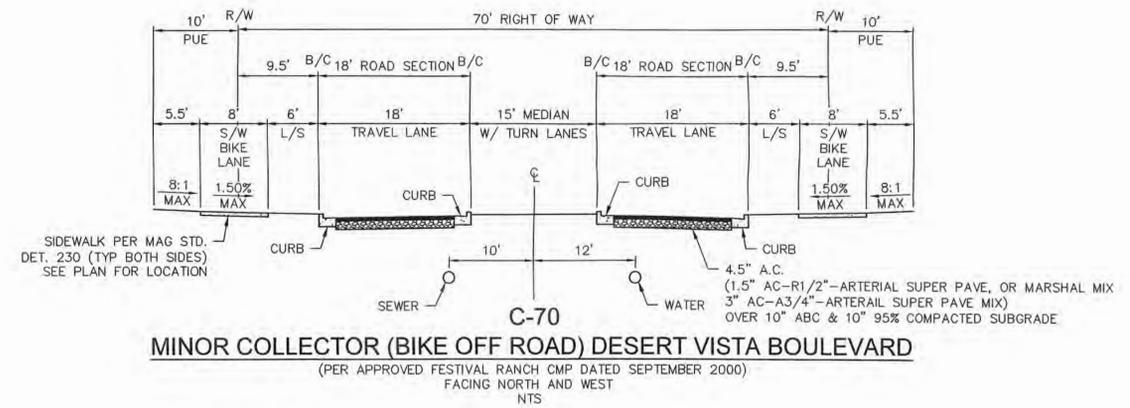
TYPICAL LOCAL STREET
(PER APPROVED FESTIVAL RANCH CMP DATED SEPTEMBER 2000)
FACING NORTH AND EAST
NTS



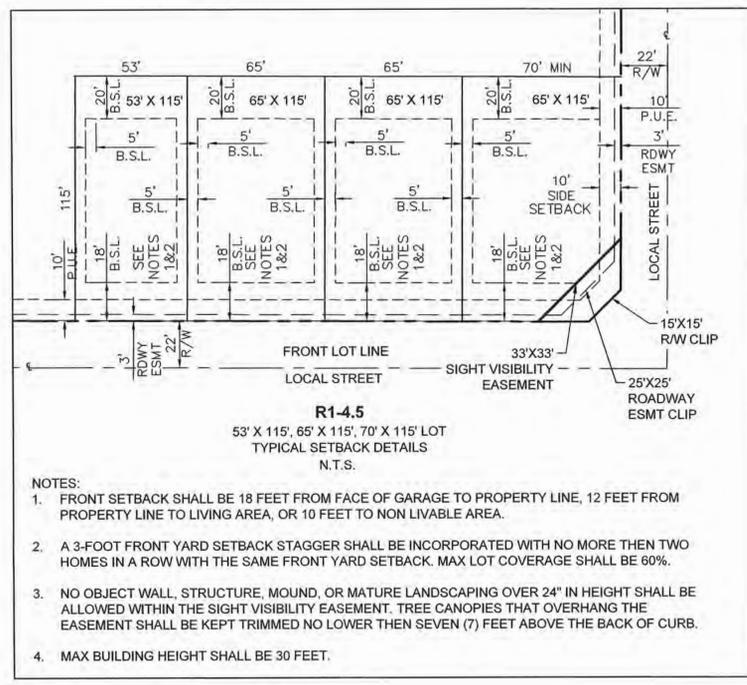
SUBDIVISION ENTRANCE
(PER APPROVED FESTIVAL RANCH CMP DATED SEPTEMBER 2000)
20' IN & 16' OUT B/C TO B/C WITH 60' R/W
NTS



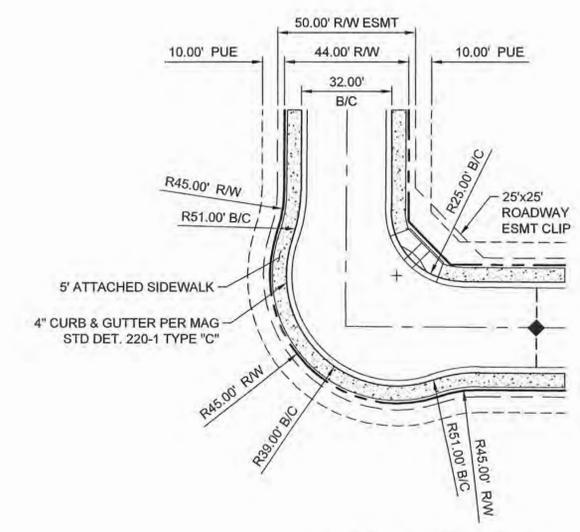
A-130 MAJOR ARTERIAL (BIKE OFF ROAD) DESERT OASIS BLVD
(PER APPROVED FESTIVAL RANCH CMP DATED SEPTEMBER 2000)
FACING NORTH AND WEST
NTS



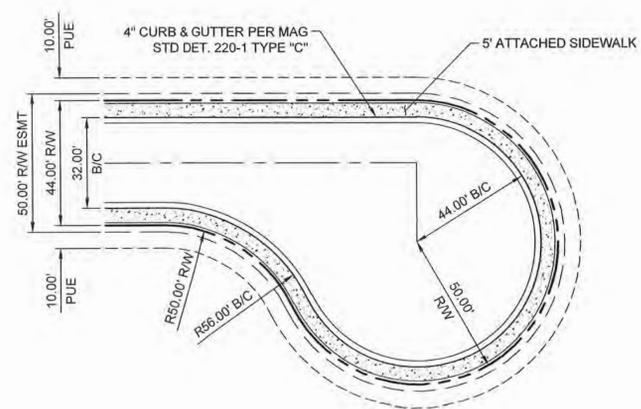
C-70 MINOR COLLECTOR (BIKE OFF ROAD) DESERT VISTA BOULEVARD
(PER APPROVED FESTIVAL RANCH CMP DATED SEPTEMBER 2000)
FACING NORTH AND WEST
NTS



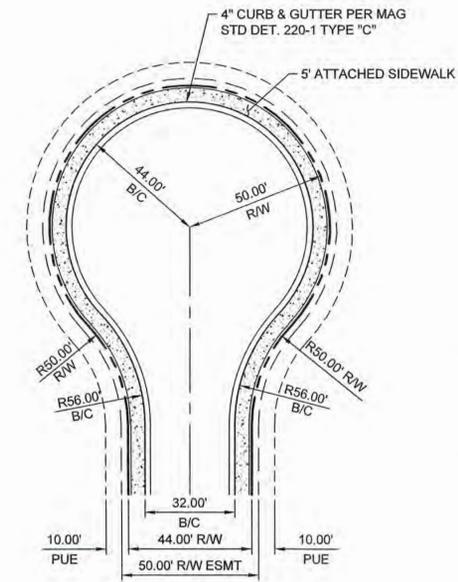
- NOTES:**
- FRONT SETBACK SHALL BE 18 FEET FROM FACE OF GARAGE TO PROPERTY LINE, 12 FEET FROM PROPERTY LINE TO LIVING AREA, OR 10 FEET TO NON LIVABLE AREA.
 - A 3-FOOT FRONT YARD SETBACK STAGGER SHALL BE INCORPORATED WITH NO MORE THEN TWO HOMES IN A ROW WITH THE SAME FRONT YARD SETBACK. MAX LOT COVERAGE SHALL BE 60%.
 - NO OBJECT WALL, STRUCTURE, MOUND, OR MATURE LANDSCAPING OVER 24" IN HEIGHT SHALL BE ALLOWED WITHIN THE SIGHT VISIBILITY EASEMENT. TREE CANOPIES THAT OVERHANG THE EASEMENT SHALL BE KEPT TRIMMED NO LOWER THEN SEVEN (7) FEET ABOVE THE BACK OF CURB.
 - MAX BUILDING HEIGHT SHALL BE 30 FEET.



TYPICAL KNUCKLE
N.T.S.



TYPICAL OFFSET CUL-DE-SAC
N.T.S.

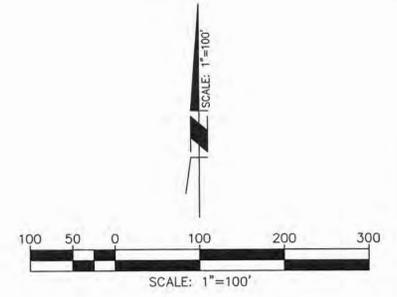
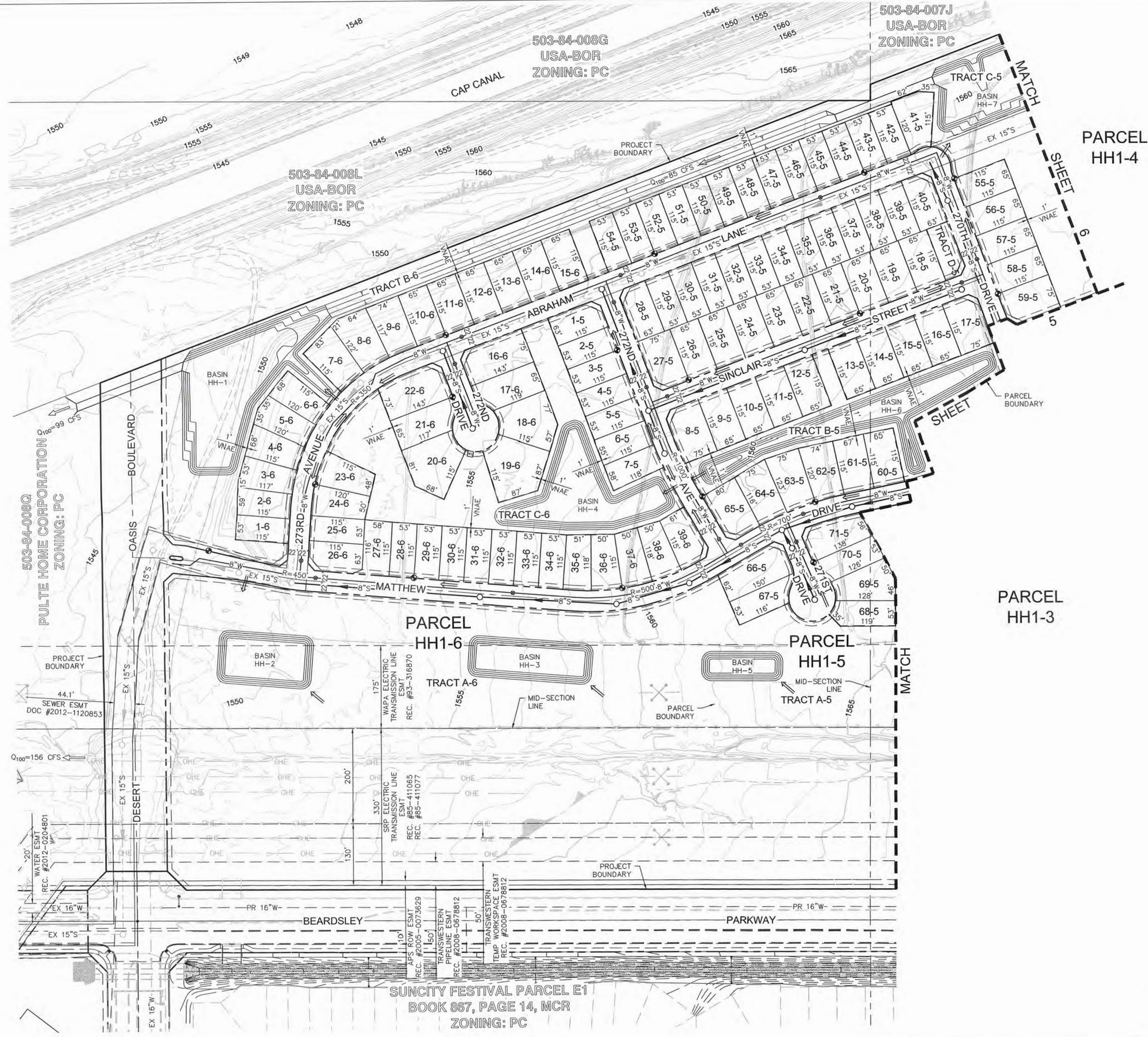


TYPICAL CUL-DE-SAC
N.T.S.

- NOTES**
- PUE/LANDSCAPE 8:1 MAX SLOPE.
 - CURB AND GUTTER PER MAG STANDARDS, DETERMINED WITH FINAL CONSTRUCTION DOCUMENTS.
 - SANITARY SEWER MAINS SHALL BE PLACED SOUTH OR WEST OF CENTER LINE UNLESS EXISTING SEWER LINES REQUIRE ALTERNATE LOCATION.
 - WATER MAINS SHALL BE PLACED NORTH OR EAST OF CENTERLINE UNLESS EXISTING SEWER LINES REQUIRE ALTERNATE LOCATION. PAVEMENT AND BASE REQUIREMENTS: TO BE PER C.O.B. REQUIREMENTS AND GEOTECHNICAL REPORT RECOMMENDATIONS.
 - ALL ROADWAY SECTIONS, CUL-DE-SAC, KNUCKLE AND TYPICAL LOTTING DETAILS PER APPROVED FESTIVAL RANCH CMP DATED SEPTEMBER 2000.

SUN CITY FESTIVAL PARCELS HH1-1 - HH1-6 PRELIMINARY PLAT	
<p>Baker 2929 NORTH CENTRAL AVENUE, SUITE 800 PHOENIX, ARIZONA 85028-2784 MICHAEL BAKER JR. INC. 602.279.9234 • FAX 602.279.1411 • www.MBAKERCORP.com</p>	
DOB PERMITTING APPROVED SEAL	DOB ENGINEERING APPROVED SEAL
DESIGN SEAL	DESIGN SEAL
<p>35384 DANIEL J. POTTINGER Professional Engineer Arizona State License No. 1515 Exp. Date 8/30/16</p>	<p>PLZ-15-00110</p>
ORIGINAL PLAN DATE	LATEST REVISION DATE
SEPT/2015	-
PROJECT NUMBER	SHEET NUMBER
145264	3 of 6





PARCEL
HH1-4

PARCEL
HH1-3

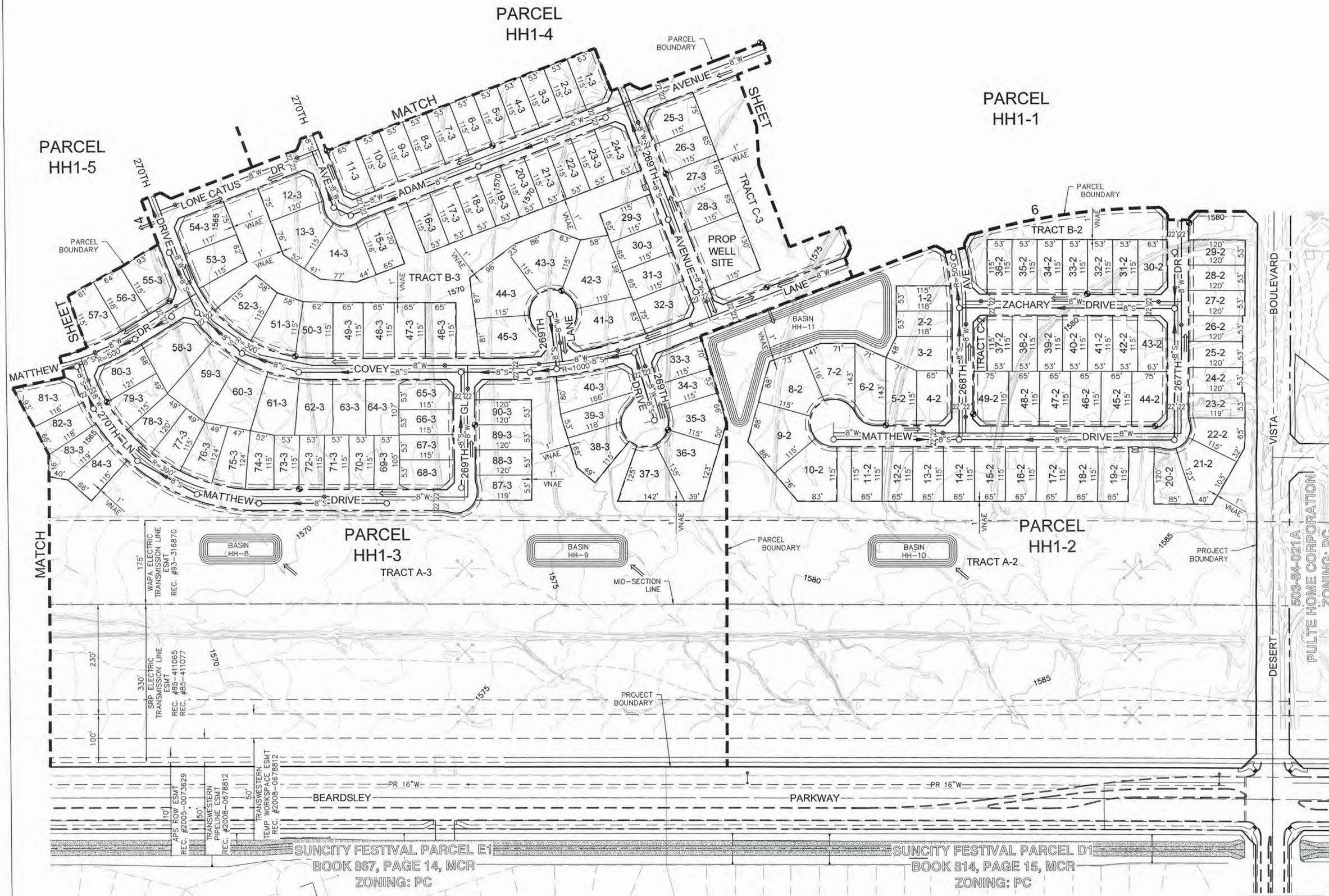
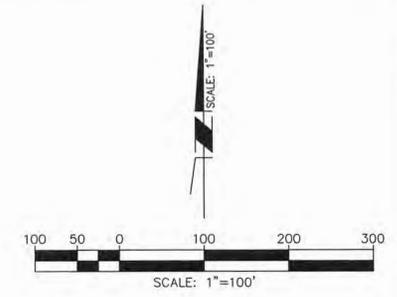
SUNCITY FESTIVAL PARCEL E1
BOOK 867, PAGE 14, MCR
ZONING: PC

SUN CITY FESTIVAL
PARCELS HH1-1 - HH1-6
PRELIMINARY PLAT

ENGINEER INFORMATION Baker 2929 NORTH CENTRAL AVENUE, SUITE 800 PHOENIX, ARIZONA 85012-2794 MICHAEL BAKER JR. INC. 602.279.0234 • FAX 602.279.0411 • WWW.MBAKERCORP.COM	
COB PERMITTING APPROVED SEAL (POSSIBLE AS-BUILT SEAL)	COB ENGINEERING APPROVED SEAL DESIGN SEAL
ORIGINAL PLAN DATE SEPT/2015	LATEST REVISION DATE -
PROJECT NUMBER 145264	SHEET NUMBER 4 of 6

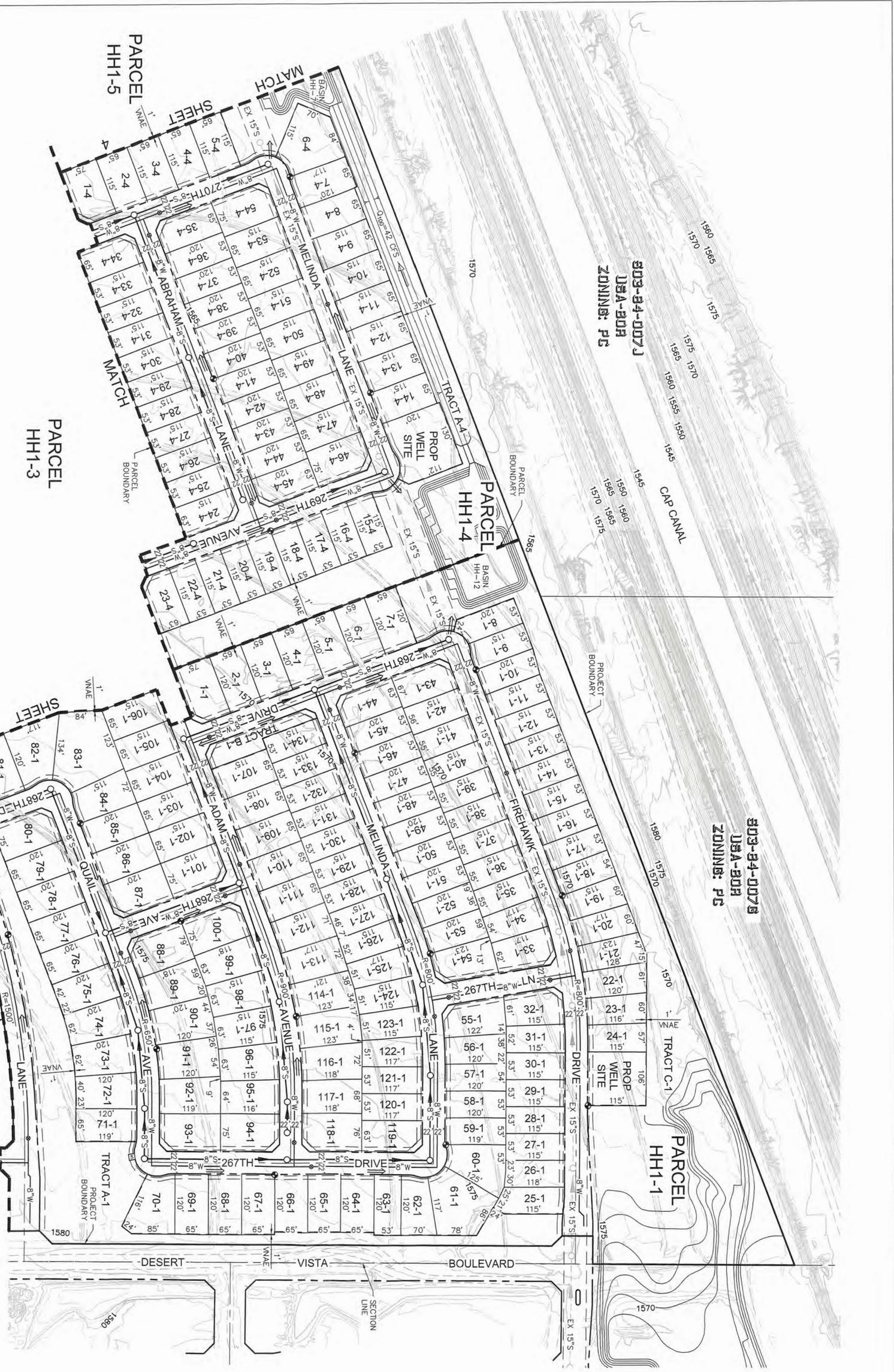


PLZ-15-00110



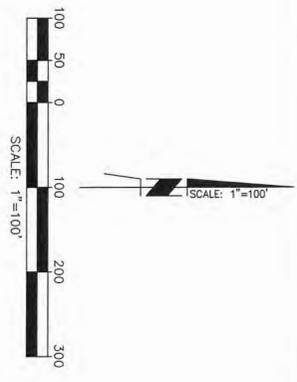
SUN CITY FESTIVAL PARCELS HH1-1 - HH1-6 PRELIMINARY PLAT	
<small>ENGINEER INFORMATION</small> Baker 2020 NORTH CENTRAL AVENUE, GATE 800 PHOENIX, ARIZONA 85022-2794 <small>MICHAEL BAKER JR. INC. 602.279.8284 • FAX 602.279.5481 • www.MBAKERCORP.com</small>	
<small>COB PERMITTING APPROVED SEAL</small> <small>DESIGN SEAL</small>	<small>COB ENGINEERING APPROVED SEAL</small> <small>DESIGN SEAL</small>
<small>DESIGN SEAL</small> <small>DESIGN SEAL</small>	<small>DESIGN SEAL</small> <small>DESIGN SEAL</small>
<small>ORIGINAL PLAN DATE</small> SEPT/2015	<small>LATEST REVISION DATE</small>
<small>PROJECT NUMBER</small> 145264	<small>SHEET NUMBER</small> 5 of 6



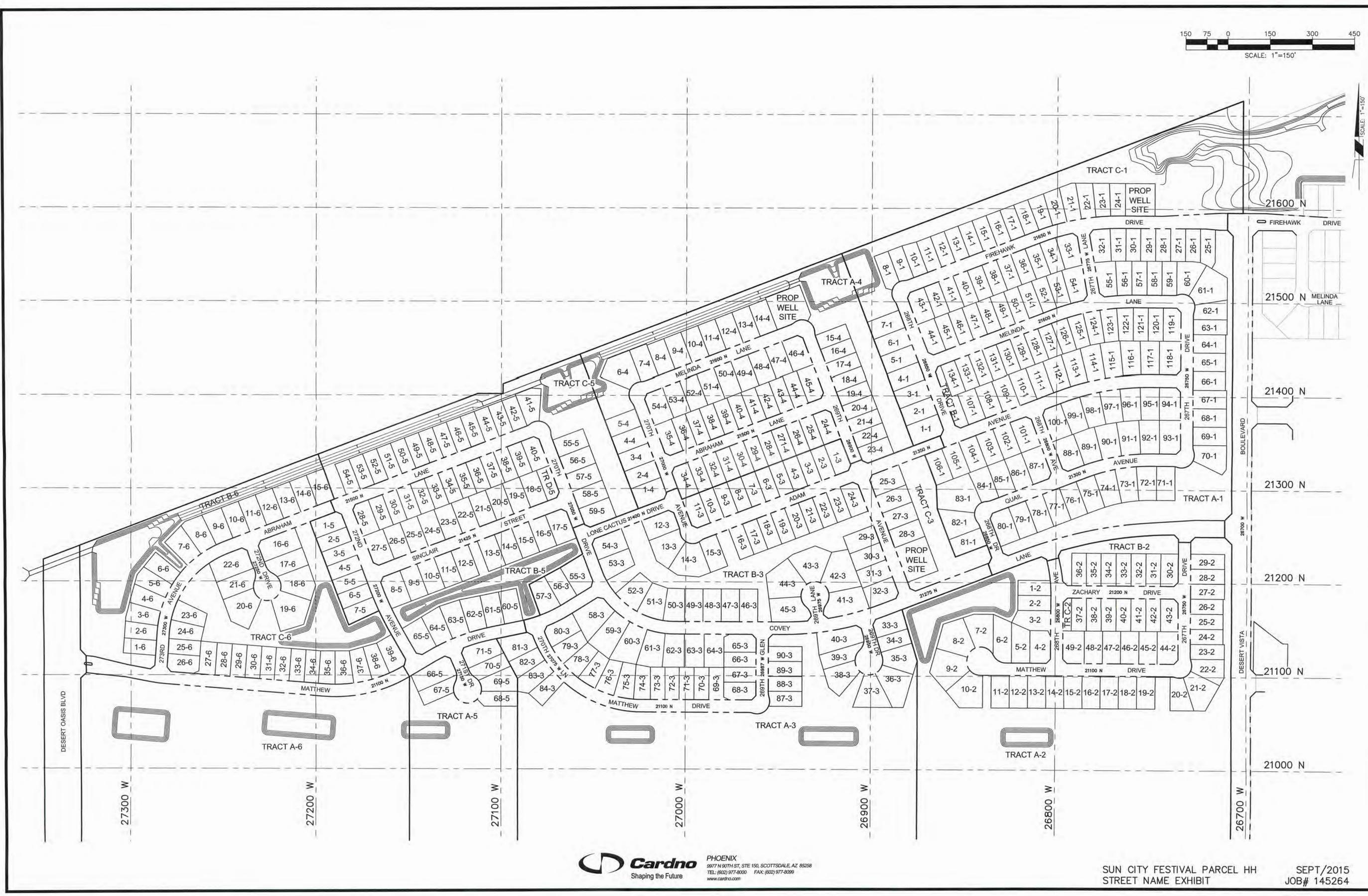
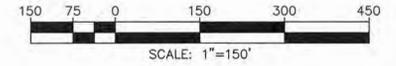


803-84-007J
 USA-30A
 ZONING: PC

803-84-007B
 USA-30A
 ZONING: PC



TITLE SUN CITY FESTIVAL PARCELS HH1-1 - HH1-6 PRELIMINARY PLAT	
PREPARED BY: Baker MICHAEL BAKER, JR., INC. 00227234 • FAX 00227236 • WWW.MICHAELBAKER.COM	DATE: 09/17/15
PROJECT NUMBER: 145264	SHEET NUMBER: 6 of 6
PROJECT TRACKING # PLZ-15-00110	DATE: 09/17/15



PARCELS HH 1-6 CONCEPTUAL LANDSCAPE & WALL PLAN

Sun City Festival by Del Webb

Wall / Symbol Legend

symbol	description
	PERIMETER THEMEWALL
	CMU PERIMETER WALL
	16" x 16" ENDWALL COLUMN
	ACCENT COLUMNS (FESTIVAL TYPICAL)
	MAILBOX KIOSK
	PRIMARY PARCEL ENTRY FEATURE

Notes:

- SCHEMATIC LAYOUT OF WALL AND COMMUNITY FACILITIES BASE UPON CONCEPTUAL LOT LAYOUT AND DESIGN. ACTUAL WALL DESIGN WITH COLUMNS, MAILBOX, & PARKS TO BE SUBMITTED W/ LANDSCAPE CONSTRUCTION DOCUMENTS
- TREES WILL NOT BE ALLOWED WITHIN ANY PUBLIC UTILITY EASEMENT AND WILL NOT CONFLICT WITH DRAINAGE ISSUES.
- FINAL SPECIES SELECTIONS MAY CHANGE, ALL SUBSTITUTIONS, ADDITIONS AND DELETIONS WILL BE FROM THE PREVIOUSLY APPROVED FESTIVAL RANCH COMMUNITY MASTER PLAN (CMP) PLANT PALETTES.
- SIGHT DISTANCE LINE AND SIGHT VISIBILITY TRIANGLES EASEMENTS WILL BE REQUIRED AND SHOWN ON FINAL LANDSCAPE PLANS PER 6-3.306 & 307 BUCKEYE CODES.
- AREAS WITHIN THE SAFETY TRIANGLE ARE TO BE CLEAR OF LANDSCAPE OBSTRUCTIONS WITH A HEIGHT GREATER THAN TWO FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CLEAR CANOPY THAT BEGINS @ SEVEN FEET IN HEIGHT.
- ALL LANDSCAPE AND SITE FEATURES TO BE MAINTAINED BY A PRIVATE HOMEOWNER'S ASSOCIATION (ESTABLISHED BY THE DEVELOPER).
- PLANTING AREAS TO RECEIVE 2" TOPDRESSING OF DECOMPOSED GRANITE (ROCK MULCH).

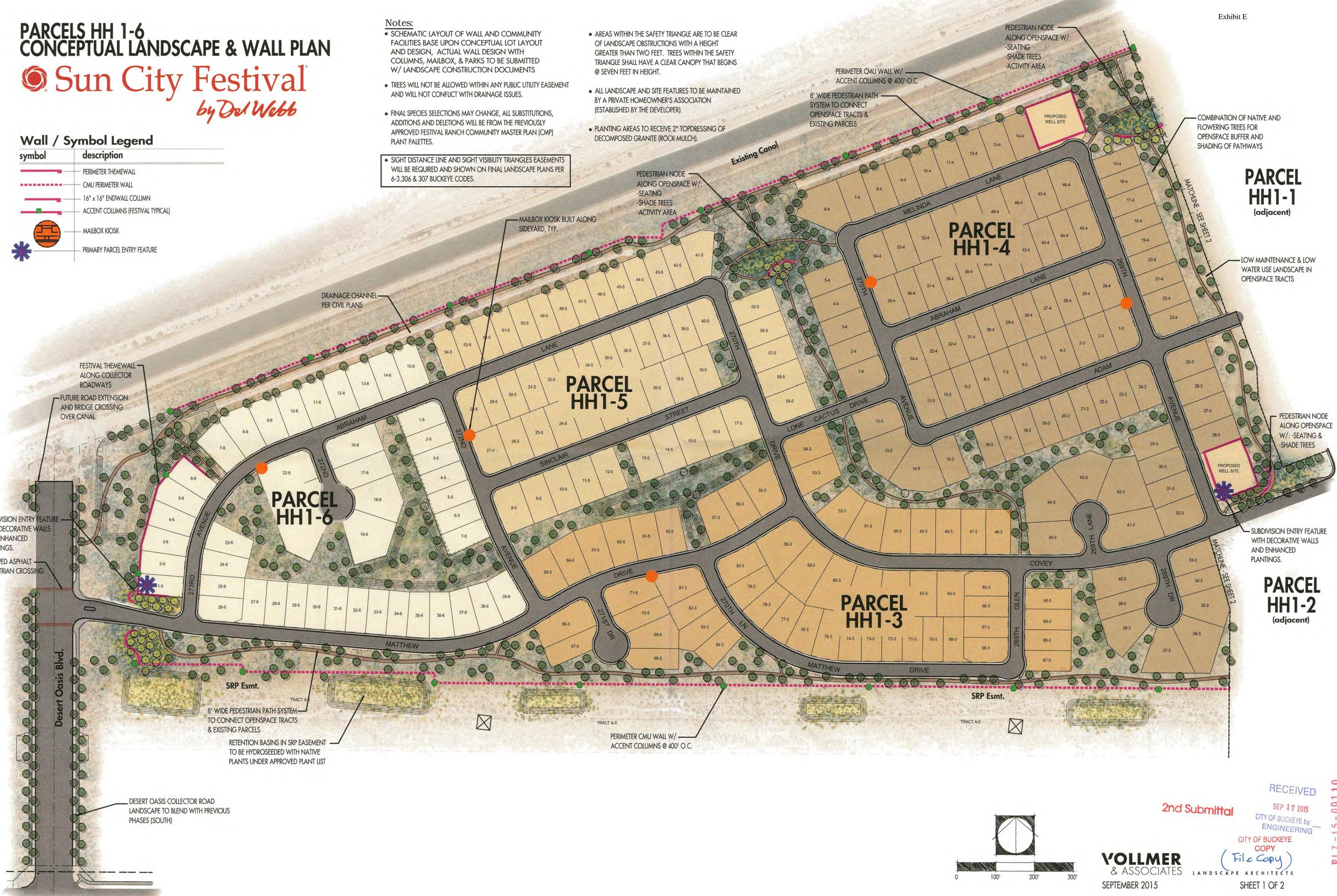


Exhibit E

PARCEL HH1-1
(adjacent)

PARCEL HH1-2
(adjacent)

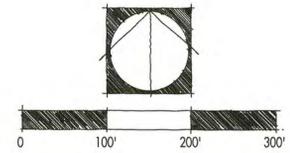
2nd Submittal

RECEIVED
SEP 17 2015
CITY OF BUCKEYE by
ENGINEERING

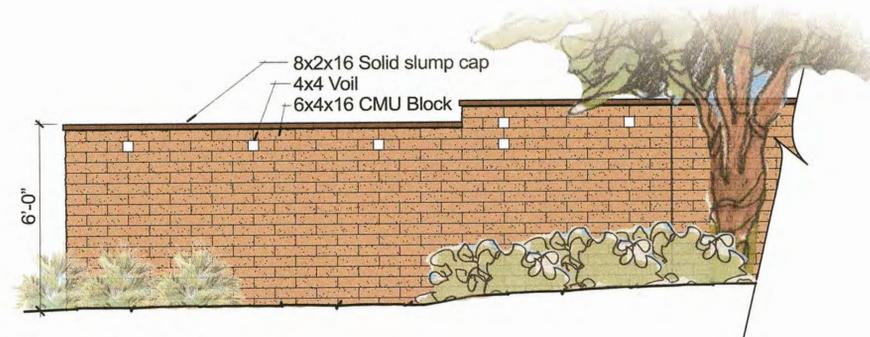
VOLLMER & ASSOCIATES
SEPTEMBER 2015

CITY OF BUCKEYE
COPY
(File Copy)
LANDSCAPE ARCHITECTS

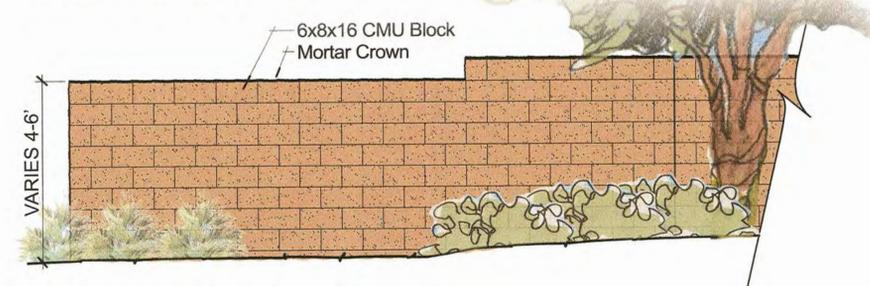
SHEET 1 OF 2



PLZ - 15 - 00110



Themewall Elevation

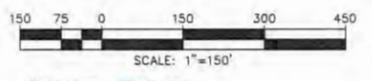


Perimeter Wall Elevation

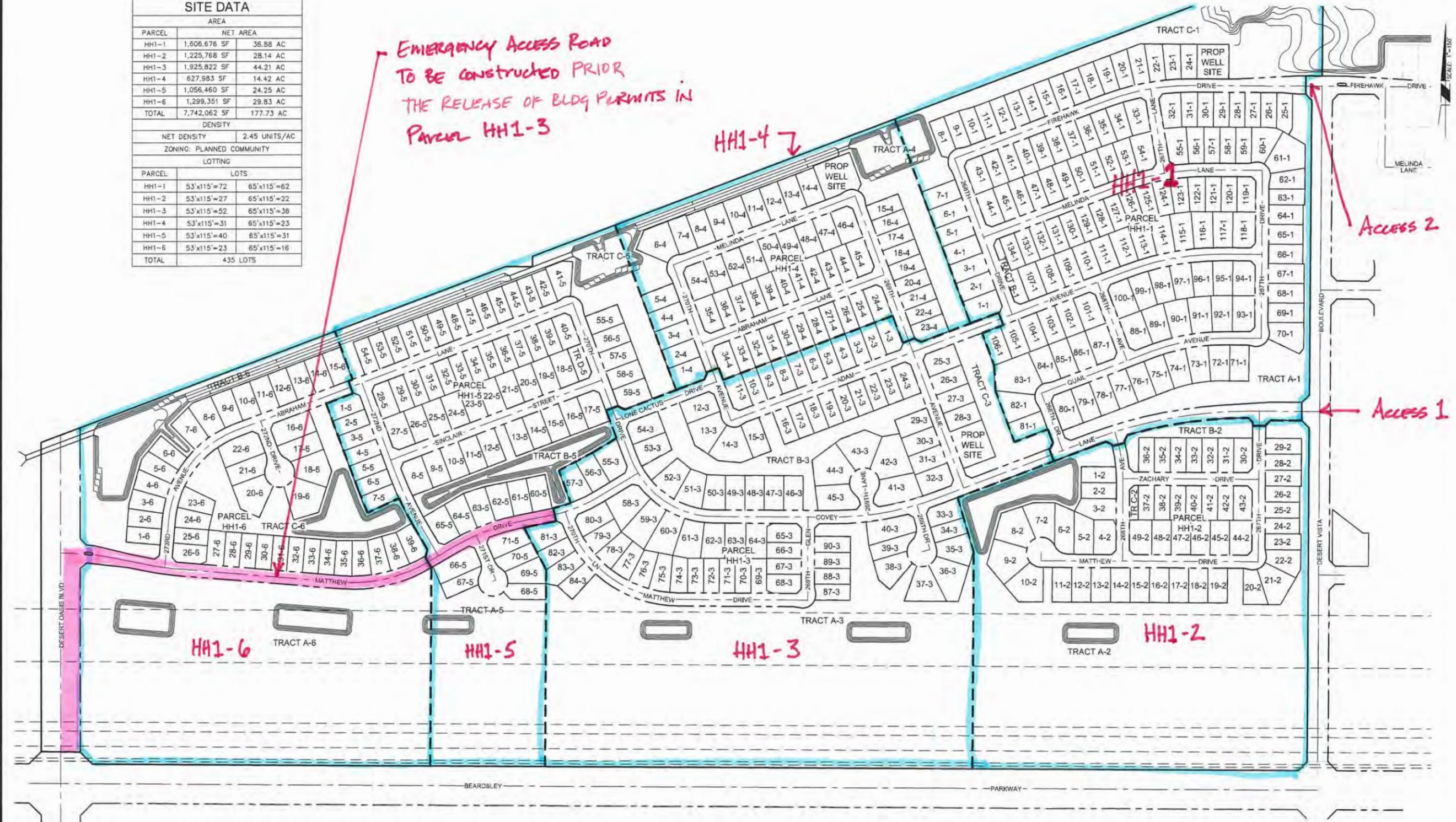
Plant Legend

common name	botanical name
trees	
MULGA	ACACIA ANEURA
WILLOW LEAF ACACIA	ACACIA SALICINA
SWEET ACACIA	ACACIA SMALLII
CASCALOTE	CAESALPINIA CACALACO
CHITALPA	CATALPA x TASHKENTENSIS HYBRID
HYBRID PALO VERDE	CERCIDIUM 'DESERT MUSEUM'
PALO BREA	CERCIDIUM PRAECOX
SISSOO	DALBERGIA SISSOO
ARIZONA ASH	FRAXINUS VELLUTINA
IRONWOOD	OLNEYA TESOTA
CHILEAN MESQUITE	PROSOPIS CHILENSIS
SOUTHERN LIVE OAK	QUERCUS VIRGINIANA 'HERITAGE OAK'
TEXAS MOUNTAIN LAUREL	SOPHORA SECUNDIFLORA
EVERGREEN ELM	ELMUS PARVIFLORA V. 'SEMPERVIRENS'
accents	
PARRY'S AGAVE	AGAVE PARRYI
OCTOPUS-AGAVE	AGAVE VILMORIANIANA
DESERT SPOON	DASYLIRION LONGISSIMUM
DESERT SPOON	DASYLIRION WHEELERI
OCOTILLO	FOUQUIERIA SPLENDENS
RED HESPERALOE	HESPERALOE PARVIFLORA
BEAVERTAIL PRICKLY PEAR	OPUNTIA BASILARIS
PURPLE PRICKLY PEAR	OPUNTIA SANTA-RITA
shrubs	
BOUGAINVILLEA	BOUGAINVILLEA SPP.
MEXICAN BIRD OF PARADISE	CAESALPINIA MEXICANA
RED BIRD OF PARADISE	CAESALPINIA PULCHERRIMA
BAJA FAIRY DUSTER	CALLIANDRA CALIFORNICA
BUSH MORNING GLORY	CONVOLVULUS CNEORUM
SIERRA NEGRA DALEA	DALEA FRUTESCENS 'SIERRA NEGRA'
DWARF JOJOBA	SIMMONDSIA CHINENSIS 'VISTA'
HOPBUSH	DODONAEA VISCOSA
EMU BUSH	EREMOPHILA SPP.
TURPENTINE BUSH	ERICAMERIA LARICIFOLIA
CHIPAROSA	JUSTICIA CALIFORNICA
MEXICAN HONEYSUCKLE	JUSTICIA SPICIGERA
TEXAS SAGE 'THUNDER CLOUD' TM.	LEUCOPHYLLUM CANDIDUM
PENSTEMON	PENSTEMON SPP.
CAPE PLUMBAGO	PLUMBAGO AURICULATA
DESERT RUELLIA	RUELLIA PENINSULARIS
DESERT GLOBE MALLOW	SPHAERALCEA AMBIGUA
YELLOW BELLS	TECOMA STANS
groundcovers	
PROSTRATE ACACIA	ACACIA REDOLENS
CENTENNIAL BACCHARIS	BACCARIS 'CENTENNIAL'
SIERRA GOLD DALEA	DALEA CAPITATA 'SIERRA GOLD'
TRAILING DALEA	DALEA GREGGII
TRAILING PURPLE LANTANA	LANTANA MONTEVIDENSIS
SALTILLO PRIMROSE	OENOTHERA STUBBEI
LADY BANK'S ROSE	ROSA BANKSIAE
DWARF PRIMROSE	ROSEMARINUS OFFICINALIS 'PROSTRATUS'
PERUVIAN VERBENA	VERBENA PERUVIANA
DWARF RUELLIA	RUELLIA BRITONIANA
MYOPORIUM	MYOPORIUM PARVIFOLIUM
WEDELIA	WEDELIA TRILOBATA
TURF	HYBRID BERMUDA

SITE DATA		
AREA		
PARCEL	NET AREA	
HH1-1	1,606,676 SF	36.88 AC
HH1-2	1,225,768 SF	28.14 AC
HH1-3	1,925,822 SF	44.21 AC
HH1-4	627,983 SF	14.42 AC
HH1-5	1,056,460 SF	24.25 AC
HH1-6	1,299,351 SF	29.83 AC
TOTAL	7,742,062 SF	177.73 AC
DENSITY		
NET DENSITY	2.45 UNITS/AC	
ZONING: PLANNED COMMUNITY		
LOTGING		
PARCEL	LOTS	
HH1-1	53'x115'=72	65'x115'=62
HH1-2	53'x115'=27	65'x115'=22
HH1-3	53'x115'=52	65'x115'=36
HH1-4	53'x115'=31	65'x115'=23
HH1-5	53'x115'=40	65'x115'=31
HH1-6	53'x115'=23	65'x115'=16
TOTAL	435 LOTS	



*EMERGENCY ACCESS ROAD
TO BE CONSTRUCTED PRIOR
THE RELEASE OF BLDG PERMITS IN
Parcel HH1-3*



PHOENIX
8077 N 80TH ST, STE 150, SUITE 150A E A2 65198
TEL: (602) 577-0000 FAX: (602) 577-0099
www.cardno.com

**SUN CITY FESTIVAL
PLANNING UNIT 1 PARCELS HH1-1, 2, 3, 4, 5, 6
PRELIMINARY PLAT NARRATIVE**

October 26, 2015

Prepared for:



16767 North Perimeter Drive, Suite 100
Scottsdale, Arizona 85260
(480) 391-6000

Prepared by:



9977 North 90th Street, Suite 150
Scottsdale, Arizona 85258
(602) 977-8000

Cardno Project No. 145264

Application Request

This application requests the approval of a preliminary plat for Sun City Festival Parcels HH1-1 thru HH1-6, a portion of the Festival Ranch Master Plan. The Preliminary Plat for Sun City Festival Parcel HH1-1 thru HH1-6 contains a total of 441 lots.

Introduction

The Festival Ranch Community Master Plan (CMP) is comprised of approximately 10,105 acres. The property is located in the northern portion of the City of Buckeye. It is bounded on the west by the Hassayampa River and by State Lands on the north and east. The south edge of the property is partially bisected by the Sun Valley Parkway and is bounded by a small portion of the White Tank Mountains, State Lands, and private landowners.

The original Festival Ranch CMP consisted of six Planning Units, identified as Planning Units A through F. Portions of the original Planning Units E and F are presently identified as Planning Unit One of the Sun City Festival Development. This preliminary plat is a portion of Sun City Festival Planning Unit One. The majority of residential development, approximately 820 acres, for Sun City Festival Planning Unit One, is proposed as an active adult community.

Within Planning Unit One there are numerous parcels identified with residential, recreation, retail, mixed use, worship and school designations. This preliminary plat submittal includes Parcels HH1-1 thru HH1-6 of Planning Unit One. These parcels will be developed as detached, single-family residential parcels with a net density of 2.48 du/ac. The remaining parcels within Planning Unit One will be subsequently submitted, under separate submittal packages, as they are developed per the City of Buckeye requirements.

Location

This preliminary plat consists of a portion of Section 23 of Township 4 North, Range 4 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona. The site is located within the City of Buckeye north of Beardsley Parkway, and west of Desert Vista Boulevard.

Zoning

The property is zoned Planned Community per the Festival Ranch CMP as approved by City Council in September of 2000.

Proposed Development

The portion of Sun City Festival Planning Unit One covered in this preliminary plat will be developed in six phases identified as Parcels HH1-1 thru HH1-6. These six parcels contain a total of 435 lots with two typical residential lot widths of 53 feet and 65 feet. All lots will have a minimum depth of a 115 feet. There will be 247 lots with a minimum width of 53 feet and 194 lots with a minimum width of 65 feet intermingled throughout these six parcels. Parcel HH1-1 is planned to contain a dog park in the northeast corner while various walking trails and open spaces will be spread throughout the development.

The gross area of the site is 181.22 acres. Landscaped open space totals 80.46 acres, which represents 44.40% of the gross area and includes the SRP and WAPA transmission line easements. This preliminary plat meets the requirements set forth in the Community Master Plan for Festival Ranch.

Street Improvements

Parcels HH1-1 thru HH1-6 are bordered by two proposed major arterial streets, Desert Oasis Boulevard to the west, Beardsley Parkway to the south. Desert Vista Boulevard is a minor collector located to the east. All residential streets have a 44-foot right of way and adjacent roadway easements, except for the two entrances off of Desert Vista Boulevard and the one entrance off of Desert Oasis Boulevard, which has a 60-foot right of way. The local streets will be 32 ft wide from back-of-curb to back-of-curb.

Sun City Festival is a golf friendly community. Per the approved Community Master Plan, golf cart access will be provided throughout the community through collector and local streets. A golf cart crossing will be proposed at Desert Oasis Boulevard to provide access to the Arts and Crafts and softball complex to the residents of Parcel HH.

Utilities

Dividing the six parcels from Beardsley Parkway, there are two existing high voltage electrical transmission easements for two SRP 500 KV lines and a one WAPA transmission line with towers and access roads. The SRP transmission lines are contained in a 330 foot wide easement while the WAPA transmission line is contained in a 175 foot wide easement. Both of these transmission lines traverse Planning Unit One from its east boundary through the center of Section 24 and continue west through Section 23. At the west section line of Section 23 the SRP easement splits and turns southwest diagonally through Sections 22 and 27 while the WAPA easement continues west over Wagner Wash and then angles off to the northwest. The transmission towers are spaced at an interval of approximately 1,300 to 1,400 feet.

The Central Arizona Project (CAP) Canal is located adjacent to the north boundary of Parcels HH1-1 thru HH1-6 and to the overall Sun City Festival project's northern boundary. The CAP is designed to bring about 1.5 million acre-feet of Colorado River water per year to Pima, Pinal and Maricopa counties. It is a 336-mile long system of aqueducts, tunnels, pumping plants and pipelines and is the largest single resource of renewable water supplies in the state of Arizona.

There is one existing 15-inch trunk sewer main within the proposed parcels that originates at the existing treatment facility south of Sun Valley Parkway. The 15-inch trunk sewer main traverses Wagner Wash, Parcel T1, Beardsley Parkway and Desert Oasis Boulevard and enters the project from the southwest at the intersection of Desert Oasis Boulevard and Matthew Drive. From this point, the existing sewer is routed through the northern portion of the project in a northeasterly direction.

There is a 36-inch high pressure gas pipeline located within a 50-foot easement that runs parallel to Beardsley Parkway along the southern portion of the project. This pipeline is owned and maintained by Transwestern Pipeline Company, LLC that delivers natural gas to various locations in Arizona including the greater Phoenix area to service customers such as Southwest Gas, APS, and SRP. All earthwork disturbance that occur over this pipeline easement, will be coordinated with Transwestern, and contained within SRP's 330 foot easement.

There are no other existing utilities in this portion of Planning Unit One within this preliminary plat.

Communications

Cox Communications will provide video, high-speed data and telephone services to Sun City Festival. Cox is currently constructing or has facilities within Sun City Festival to serve this project. Cox is aware of the development timeline for Sun City Festival and they have both expressed their ability to provide communications services in accordance with the project's needs.

Natural Gas

Pulte Homes has negotiated an agreement with Southwest Gas to provide natural gas service to Sun City Festival.

Electricity

Pulte Homes has worked with Arizona Public Service (APS) to provide electrical service to Sun City Festival. APS has installed a 69-kV, overhead transmission line that runs from approximately Bell Road and Cotton Lane west along the Salt River Project corridor to service the project. Pulte Homes and APS have also constructed a substation on the Sun City Festival property to service the project. The delivery of electrical service will be timed to meet the project's needs.

Open Space and Recreation

Sun City Festival residents have access to the amenities located throughout the community. These amenities include a 31,000 sq. ft. recreation center, the ASU Lifelong Learning Academy, an 18 hole golf course, fitness center, pickle ball, bocce ball, basketball, tennis, softball, wood shop, and crafts studio.

Offsite & Onsite Stormwater Control

A master study of the storm water system was developed by Coe & Van Loo Consultants, Inc. The study has been recently updated as part of a regional master storm water system by Erie & Associates and included as part of this submittal. Parcels HH1-1 thru HH1-6 have been designed in accordance with the updated study. (Dated September 30, 2014)

Water Supply and Distribution

A study of the water distribution system to serve the area was prepared by Coe & Van Loo Consultants, Inc. (revised September 29, 2003).

The Sun City Festival potable water infrastructure consists of a system of water distribution mains, booster pump stations, pressure control valves, wells and storage tanks.

The number of wells has been determined based on the maximum day demand and coincident irrigation and construction water use demands. Well production rates have been assumed to be 1,200 gpm, based on information from Errol Montgomery and Associates, Inc. Initially two groundwater wells will be in operation, with a third to be added when Parcel N1 is developed. The two wells currently serving Sun City Festival are located south of Beardsley Parkway and are of sufficient size and capacity to serve Parcels HH1-1 thru HH1-6. Well #1 is in Parcel E1, Well #2 is within the confines of the water campus and Well #3, when constructed, will be in Parcel N1.

The booster pump stations have been designed to meet the greater of the maximum day demand plus fire flow or the peak hour demand. The storage tanks will supplement the source

supply when demands exceed maximum day demand (i.e. peak hour and fire flow). Initial storage requirements are based on a four-hour commercial fire flow of maximum intensity and 50% maximum day demand equalization and emergency reserve.

The parcels currently being developed are located within the City of Buckeye pressure zone 6 and have been found to have adequate pressure and supply to serve the associated parcels.

Wastewater Collection and Treatment

A study of the wastewater collection and treatment system to serve this area was prepared by Coe & Van Loo, Consultants, Inc. (revised September 25, 2003).

Based on the natural topography, the wastewater collection infrastructure consists of an existing gravity trunk sewer line that parallels the CAP Canal, then goes south in Desert Oasis Boulevard, continues west in Beardsley Parkway, then down the east side of Wagner Wash. The line sizes shown on the Preliminary Plat will be verified during final design. The trunk sewer follows street alignments and/or sewer easements, and may be internalized in the residential streets where possible. The trunk sewer discharges to the Festival Ranch Water Reclamation Facility (WRF), located at the southwest corner of the development, south of Sun Valley Parkway.



Site Plan

Report to the Planning and Zoning Commission

CASE NUMBER: PLZ-15-00119
TITLE: EPCOR Water Plant 15 - Zone 3N Booster Pump Station
MEETING DATE: November 24, 2015
AGENDA ITEM: 5B

Applicant: Travis Nuttall, PE - EPCOR Water
Owner: Klondike Land Portfolios, LLC
Request: Site Plan for a water booster pump station
Location: Approximately 474' west of the east line of Section 17, T2N R2W and approximately 464' north of the midsection line of Section 17, T2N, R2W (APN: 502-28-010J)
Site size: 0.72 acres
Density: N/A
Public input: Six (6) letters of opposition
Recommendation: **Approve** with stipulations

PROJECT DESCRIPTION

1. Travis Nuttall PE, EPCOR Water, on behalf of Klondike Land Portfolios, LLC is requesting a site plan for a water booster pump station on a site less than one (1) acre in size located approximately at the northwest corner of Jackrabbit Trail and Missouri Avenue within the future Canyons Views Subdivision. The project will extend water availability to residents within the designated EPCOR water service area including residents in the Verrado Master Planned Community, Sienna Hills Master Planned Community, and any future proposed development. This site plan would typically be administratively reviewed but was referred to Planning and Zoning Commission for review due to neighborhood opposition.
2. The site was originally proposed at the immediate SEC of the property adjacent to the Maricopa Flood Control Drainage easement and approximately 50 feet north of the Missouri Avenue alignment. Due to opposition of the original site location, the applicant worked with and compromised with the existing neighboring residents in moving the site further north as currently proposed.
3. The water booster pump station will draw water from the existing 24-inch water transmission main located at the intersection of Camelback Road and Jackrabbit Trail. The site will contain a 1,500 square foot operations building that will house the chemical storage and electrical equipment. A flooded suction tank (300,000 gallon capacity), a hydropneumatic surge tank system (10,000 gallon), pump gallery and emergency generator will all be contained within 8 foot high architectural style themed site walls. Additional landscape screening will be placed along the west and south side of the property. At the time of residential platting additional landscape requirements will be required. Refer to the site plan for conceptual landscape plans in addition to the view shed rendering in the "Site Plan Narrative" (Exhibits D and E).
4. The station will be utilizing 12.5% sodium hypochlorite (NaClO) at the site for rechlorination purposes (a common concentration utilized by public and private water providers). The site will generate typical noise associated with this use. The site is walled and landscaped and will utilize a Cummins Quiet Site Stage 2 enclosure to mitigate sound generated when in operation.

AREA CONTEXT

5. **Table 1: Existing Land Use, General Plan Designation, and Zoning District**

	LAND USE	GENERAL PLAN	ZONING
Subject Property	Vacant	Medium Density Residential 3.01-6 du/ac	Planned Residential
North	Vacant	Low Density 1.01-3 du/ac and Regional Commercial	RU-43
South	Residential	Low Density 1.01-3 du/ac	RI-35
East	Vacant	Low Density 1.01-3 du/ac	R1-62, Overlay R.U.P.D./P.A.D (County) Zanjero Trails
West	Vacant	Master Planned Community	Planned Community -Verrado

PUBLIC PARTICIPATION SUMMARY:

6. This proposal would typically be an administratively approved site plan but due to the pre application neighborhood opposition, the request was referred to the Planning and Zoning Commission by the Director. Regardless, this site plan application does not require a public hearing. The applicant was required to send out a “notice of application” to property owners within 300’ of the subject property. In addition to the “notice of application”, the applicant held a neighborhood meeting at Verrado High School, on August 17, 2015. In addition, all residents of Beautiful Arizona Estates, an unincorporated county subdivision located south of the subject parcel, were notified, as well as, property owners within 600 feet of the proposal. Exhibit F contains correspondence of opposition from the neighboring residents received by the City.

7. Letters and emails regarding opposition of the proposal are summarized below:
- a. Residents requested that the project to be held in a public venue to allow for public comment. In response, the Director referred the site plan from “administrative review” to Planning and Zoning Commission (public meeting) review.
 - b. Concerns regarding the proposal refer to Exhibit F for all matters of concern. In summary, existing residents are concerned for property values, location of hazardous chemicals, excessive noise and odor, as well as visual and environmental impact.

In response, the applicant has relocated the water station and has addressed other concerns within the text of their narrative. In addition the proposed booster pump station is for both existing water users in a designated EPCOR water service area and for future residents. Water treatment is a necessary process to provide potable (safe drinking) water; the booster pump station will be designed to meet all applicable

codes, i.e. city code, Environmental Protection Agency (EPA) and the State of Arizona Department of Environmental Quality, etc. Staff has worked with the applicant to lessen the visual impact by requiring extensive buffering and screening with walls and landscape. In addition, a native plant inventory and archeological survey will be required prior to any disturbance of the site.

8. **Table 2: Public Notice**

Notification Element	Date
Published in Buckeye Valley News	Not required
Site Posted	Not required
Mailing to Property Owners w/in 600'	August 4, 2015, Notice of Application August 17, 2015, Neighborhood meeting (Not required)

BACKGROUND:

- 9. A03-17 Annexed into the City of Buckeye: Ordinance No. 09-04 February 17, 2004
- 10. RZ-06-23 Rezoned to Planned Residential: Ordinance No. 47-07 August 7, 2007
- 11. PLZ-14-00056 Planning case currently in review for PP14-05 Preliminary Plat Canyon Views Subdivision approximately 984 lots.

ANALYSIS:

- 12. Conformance with General Plan:
The City of Buckeye General Plan designates this property as Medium Density Residential. The existing zoning for the site, Planned Residential, is in concert with the General Plan designation.
- 13. Zoning
The property is currently zoned Planned Residential (PR). The proposal is an allowed by right use subject only to a site plan approval. Setbacks are contingent on PR zoning requirements as stated on the final plat. The property currently does not have a recorded final plat and setback requirements will default to Rural Residential standards as shown below.

Table 3: Lot Setbacks

Setback	Requirements for (Rural Residential)	Actual
Front	40 feet (minimum)	474
Back	40 feet (minimum)	450' +
Side	20 feet (minimum)	465
Side (corner lot)	25 feet (minimum)	N/A

14. *Circulation*

Access to the site will be from the existing 195th Avenue (Jackrabbit Trail). The temporary access drive easement will extend from the terminus of 195th Ave and turns west and north to the site. Future access will be via public right-of-way developed to serve the residents of the proposed subdivision.

15. *Infrastructure*

Water, will be provided through the proposed distribution lines within the proposed facility. Wastewater collection will not be available at this time for this site.

RECOMMENDATION:

16. Staff recommends the Planning and Zoning Commission motion for approval with stipulations a – bb for PLZ-15-00119 for the following reasons:

- The proposal is a by right use within the existing zoning district and meets all requirements of the Development Code.
 - No outstanding issues from reviewing departments.
 - Concerns expressed from the public have been reasonably addressed.
- a. Development of the property shall be in general conformance with the site plan entitled “EPCOR WATER Agua Fria District Water Plant 15-Zone 3N Booster Pump Station” consisting of seven (7) sheets, dated September 24, 2015 and stamped received September 24, 2015, 2nd Submittal, except as modified by the following stipulations.
- b. Development of the property shall be in general conformance to the project narrative report entitled “EPCOR Water Plant 15 Water Infrastructure Improvements Project No. 53198, Site Plan Narrative 2nd Submittal” consisting of seven (7) pages, stamped received September 24, 2015, except as modified by the following stipulations.

- c. All development must be in accordance with the City of Buckeye Development Code, as amended.
- d. A native plant inventory shall be required prior to any development or construction activities. The native plant inventory shall define methods for transplanting materials to a nursery, on-site or off-site, during construction and transplanting back to the site when a landscaping plan is implemented. Formal transplanting guidelines are available from the Planning Division.
- e. An archeological survey shall be submitted to and approved by the Arizona State Historic Preservation Office prior to issuance of a grading permit. The applicant must contact the State office prior to initiating disturbance of the site. The applicant shall provide the Planning Division written proof of compliance with this stipulation.
- f. In accordance with the Development Code, this Site Plan is valid for a period of two (2) years from its approval date. The Director may grant a one-time extension of 12 months upon written request of the applicant prior to the expiration of the site plan.
- g. The property owner/s and their successor waive any and all claims for diminution in value of the property with regard to any action taken by City of Buckeye as result of this approval.
- h. The Buckeye Fire Chief and City Engineer shall determine the number, location, and types of all fire hydrants.
- i. Prior to delivery of any combustible materials to the site, the fire protection system shall be completely operational, with proper fire flow, and in accordance with the plans approved by the Buckeye Fire Chief and City Engineer.
- j. All building shall be equipped with a fire protection system as required by City of Buckeye Ordinance 37-02.
- k. Provide a “KNOX” box for emergency access.
- l. Address for site needs to be on building or gate plans

- m. Fire suppression will require plans review and Fire Department approval.
- n. All gates require Fire Department “KNOX” boxes: If gate is electric owner to provide plans to Fire Department for review and approval (sec. 503) IFC 2012: (Fire Department emergency access control).
- o. An approved emergency access road will need to be installed, prior to construction.
- p. The following outstanding Engineering comments are to be addressed during the final design phase:
 - 1. The spot elevations around the XFMR, ATS & SES pads appear to be incorrect in comparison to the adjacent contours.
 - 2. Offsite sheet flow drainage will have to be satisfactorily addressed.
 - 3. Site’s Ultimate Outfall – Provide additional clarification as to the exact location of the ultimate outfall and how runoff will drain away from the site based upon the adjacent contours. Documentation of a Drainage Easement will be required with the construction documents.
- q. Final landscaping and irrigation plans, including all lighting improvements, shall be reviewed and approved by the City of Buckeye in conjunction with construction documents.
- r. The Property Owner/Developer shall provide for channelization of off-site storm water that will be intercepted by this project in accordance with a Final Drainage Report as approved by the City Engineer, which shall be submitted along with the first submittal of the improvements plans. In the case where work related to interception of off-site storm water is required on adjacent parcels of land not controlled by the Property Owner/Developer, the Property Owner/Developer shall first obtain a drainage easement from the adjacent parcel owners. When required, said easement shall include an acknowledgment by the adjacent parcel owner(s) that historic drainage discharge points may be altered. Said drainage easements shall be executed and submitted to the City prior to approval of the Grading Plans and shall be recorded.
- s. Prior to improvement plan approval, the Property Owner/Developer shall obtain approval from the applicable utility interests for easement location and width as required for utility purposes.

- t. At the time of improvement plan submittal, the Property Owner/Developer shall provide a comprehensive Drainage Master Plan, which addresses all on-site and off-site drainage requirements and issues.
- u. The City Engineer shall approve all engineering and construction plans and reports for the required infrastructure for the project.
- v. All existing overhead power lines less than 69 kV capacity, or any other overhead utilities within the project area or along its boundaries, shall be installed underground.
- w. The Applicant will submit an electronic CAD and GIS file with full construction documents of the development to the City Engineer, Public Works Department, and GIS Administrator in order to maintain current street records and assist in emergency dispatch and response.
- x. Pavement sections for all streets shall be determined in accordance with a City Engineer-approved geotechnical analysis, but shall not be less than the City's minimum requirements.
- y. In the event that access to and within the site is proven to be of a threat to public safety and security, the Property Owner/Developer shall be responsible for revising the Site Plan to the extent necessary to alleviate said concerns. Such changes shall be considered a minor Site Plan amendment Development Services and shall be approved by the City Engineer and the Director.
- z. All existing irrigation facilities located on the site shall be abandoned, relocated off the property, or installed underground. Any District-owned facilities to be located within the right-of-way shall be located near the rear of the right-of-way and the right-of-way shall be extended at least five (5) feet. Any additional right-of-way for District-owned facilities (not to exceed five feet) can be de-deducted from the depth of the perimeter landscape tracts.
- aa. The Property Owner/Developer is responsible for providing water at the project for construction purposes including obtaining the necessary water rights for the water supply to be used for construction purposes.

bb. Abandonment of wells shall be performed pursuant to and in compliance with State law and shall be completed prior to the issuance of any building permits.

EXHIBITS

- Exhibit A Vicinity Map (Aerial Photo)
- Exhibit B General Plan Land Use Map
- Exhibit C Zoning Map
- Exhibit D Site Plan (Landscape, drainage and Architectural drawings)
- Exhibit E Narrative
- Exhibit F Letters of Opposition

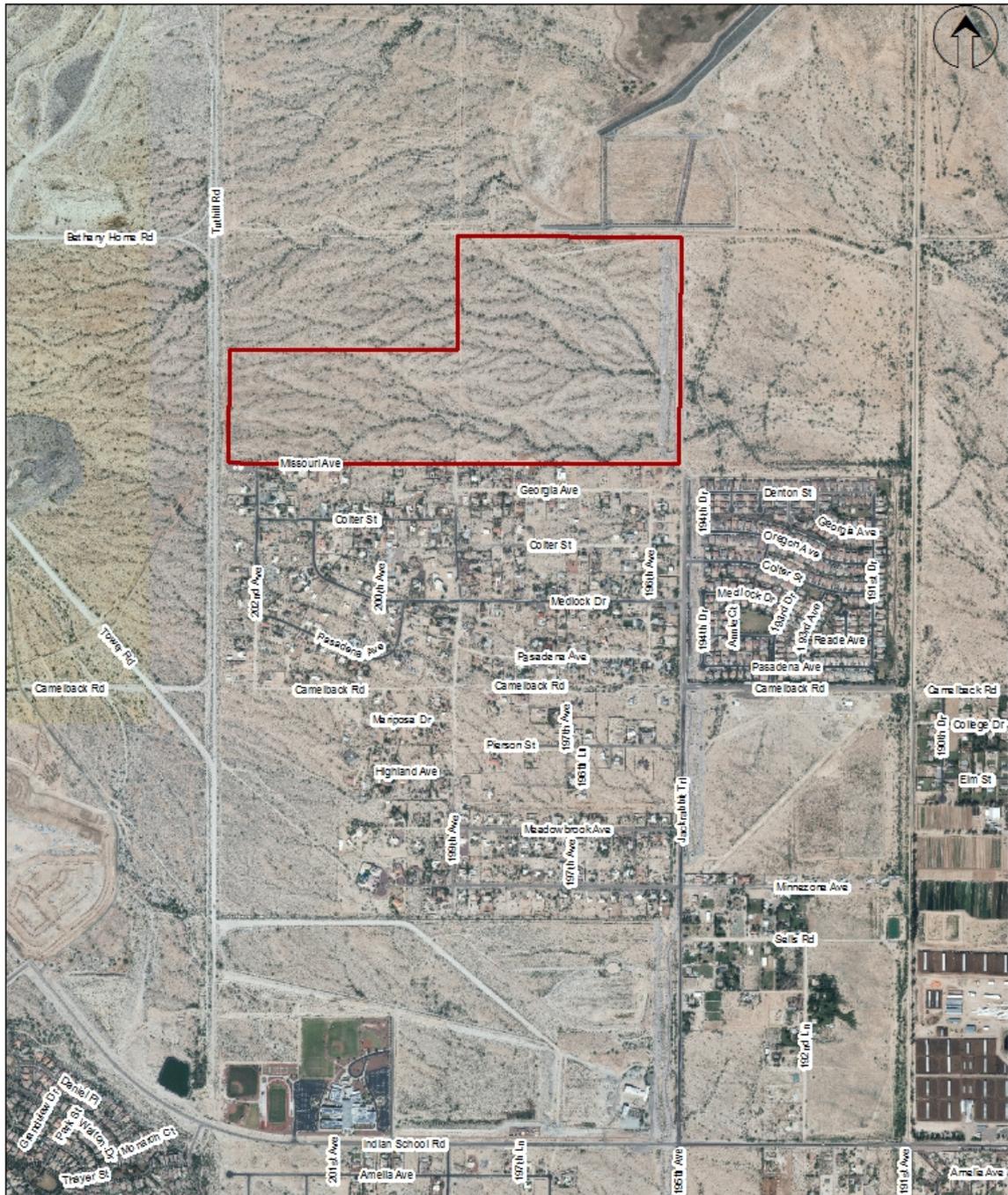
Prepared By:
Andrea M. Marquez, Planner II

Reviewed By:
Terri Hogan, AICP, Planning Manager

Vicinity Map



Exhibit A

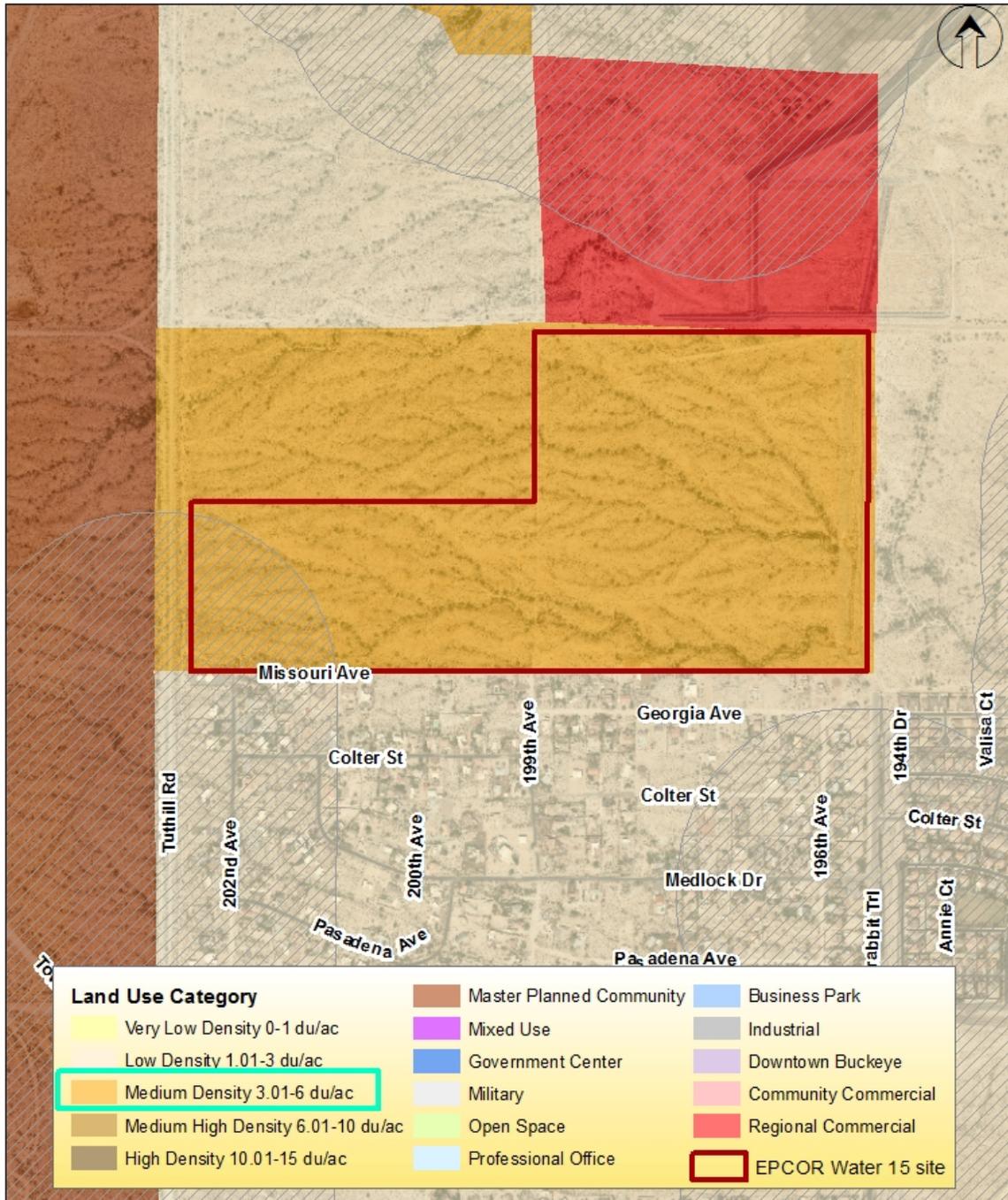


Case:SP15-06 (PLZ-15-00119)
Title: EPCOR WATER (15) Zone 3 North

Land Use



Exhibit B

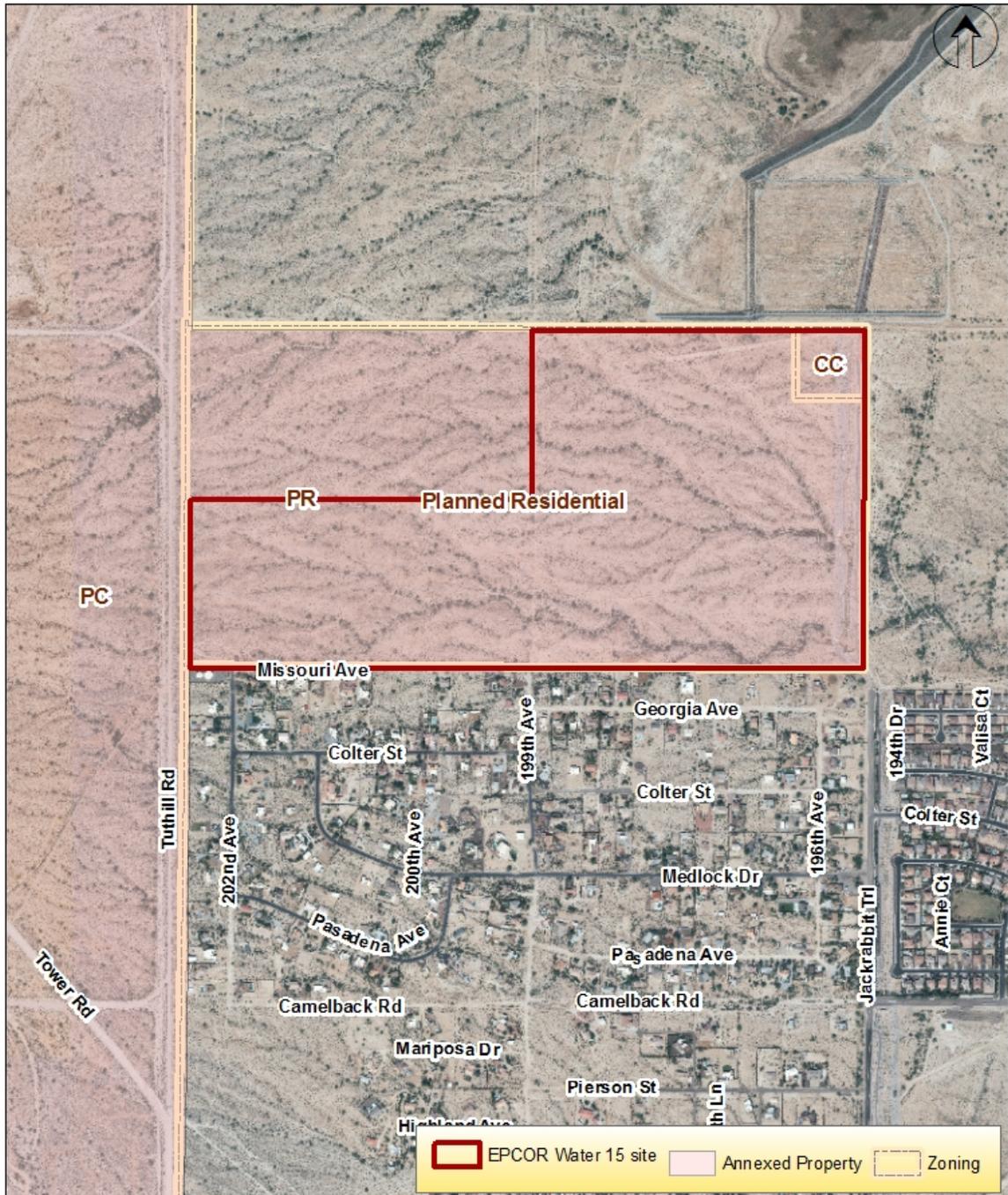


Case: SP15-06 (PLZ-15-00119)
Title: EPCOR WATER (15) Zone 3 North

Zoning



Exhibit C



Case: SP15-06 (PLZ-15-00119)
Title: EPCOR WATER (15) Zone 3 North

EXHIBIT D

SITE PLAN

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EPCOR WATER

AGUA FRIA DISTRICT

WATER PLANT 15 - ZONE 3N BOOSTER PUMP STATION

SITE PLAN REVIEW

A PORTION OF SECTION 17, TOWNSHIP 2 NORTH, RANGE 2 WEST
OF THE GILA AND SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA.

SHEET INDEX

- COVER
- AREA MAP
- OVERALL FACILITIES
- SITE PLAN
- CONCEPTUAL GRADING AND DRAINAGE
- CONCEPTUAL LANDSCAPE LAYOUT
- ARCHITECTURAL ELEVATION VIEWS

GENERAL NOTES

- ALL SETBACKS SHALL CONFORM TO CITY OF BUCKEYE REQUIREMENTS AS NOTED IN THE CITY DEVELOPMENT CODE DATE DECEMBER 5, 2013.
- LIGHTING WILL COMPLY WITH CITY OF BUCKEYE STANDARDS
- SETBACKS WILL COMPLY WITH CANYON VIEWS FINAL PLATT.

6	5	4	3	2	1
7	8	9	10	11	12
18	17	16	15	14	13
19	20	21	22	23	24
30	29	28	27	26	25
31	32	33	34	35	36

VICINITY MAP
TOWNSHIP 2N RANGE 2W



LOCATION MAP
TOWNSHIP 2N RANGE 2W

FEMA FLOOD ZONE INFORMATION

COMMUNITY NUMBER	PANEL # PANEL DATE	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEV. (IN AO ZONE, USE DEPTH)
040039	1965	L	10/16/2013	X	N/A

ALL FLOOD ZONES ARE SHOWN IN THIS PLAN SET.

THE MARICOPA COUNTY, ARIZONA AND INCORPORATED AREAS FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 04013C1665L, DATED OCTOBER 16, 2013 INDICATES THE SITE FALLS WITHIN ZONE X.

ZONE X IS DEFINED BY FEMA AND PER THE FIRM PANEL AS FOLLOWS:
AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

OWNER

COMPANY: KLONDIKE LAND PORTFOLIOS, LLC
C/O DEVELOPMENT SERVICES DEPARTMENT
CONTACT: DAVID HENRY - PROJECT MANAGER
ADDRESS: 530 EAST MONROE AVE
BUCKEYE, AZ 85326
PHONE NUMBER: (480) 800-7994
EMAIL ADDRESS: DHENRY@SWVP.COM

APPLICANT

COMPANY: EPCOR WATER ARIZONA, AGUA FRIA DISTRICT
CONTACT: TRAVIS NUTTALL, P.E. - SENIOR PROJECT MANAGER
ADDRESS: 2355 W. PINNACLE PEAK, SUITE 300
PHOENIX, AZ 85027
PHONE NUMBER: (623) 445-2437
FAX NUMBER: (623) 587-1044
EMAIL ADDRESS: TNUTTALL@EPCOR.COM

ENGINEER

COMPANY: BURGESS & NIPLE, INC.
CONTACT: TRACY A. GRUNDEN - SENIOR PROJECT MANAGER
ADDRESS: 1500 N. PRIEST DR., SUITE 101
TEMPE, AZ 85281
PHONE NUMBER: (602) 244-8100 EXT. 5326
FAX NUMBER: (602) 244-1915
EMAIL ADDRESS: TRACY.GRUNDEN@BURGESSNIPLE.COM

BASIS OF BEARING

ALL COORDINATES AND ELEVATIONS ARE BASED ON THE MARICOPA COUNTY GDACS RECORD INFORMATION.

THE BASIS OF BEARING FOR THE EPCOR WATERLINE PROJECT IS THE EAST LINE OF THE SOUTHEAST ¼ OF SECTION 17, TOWNSHIP 2 N., RANGE 2 W.

THE SOUTHEAST CORNER OF SECTION 17, TOWNSHIP 2 N., RANGE 2 W., BEING A FOUND MCDOT BRASS CAP, FLUSH WITH PAVEMENT, AND THE EAST ¼ CORNER OF SECTION 17 TOWNSHIP 2 N., RANGE 2 W., BEING A FOUND MCDOT BRASS CAP IN HANDHOLD, BEING N 00°23'47" W, A DISTANCE OF 2625.24 FEET.

BENCH MARK

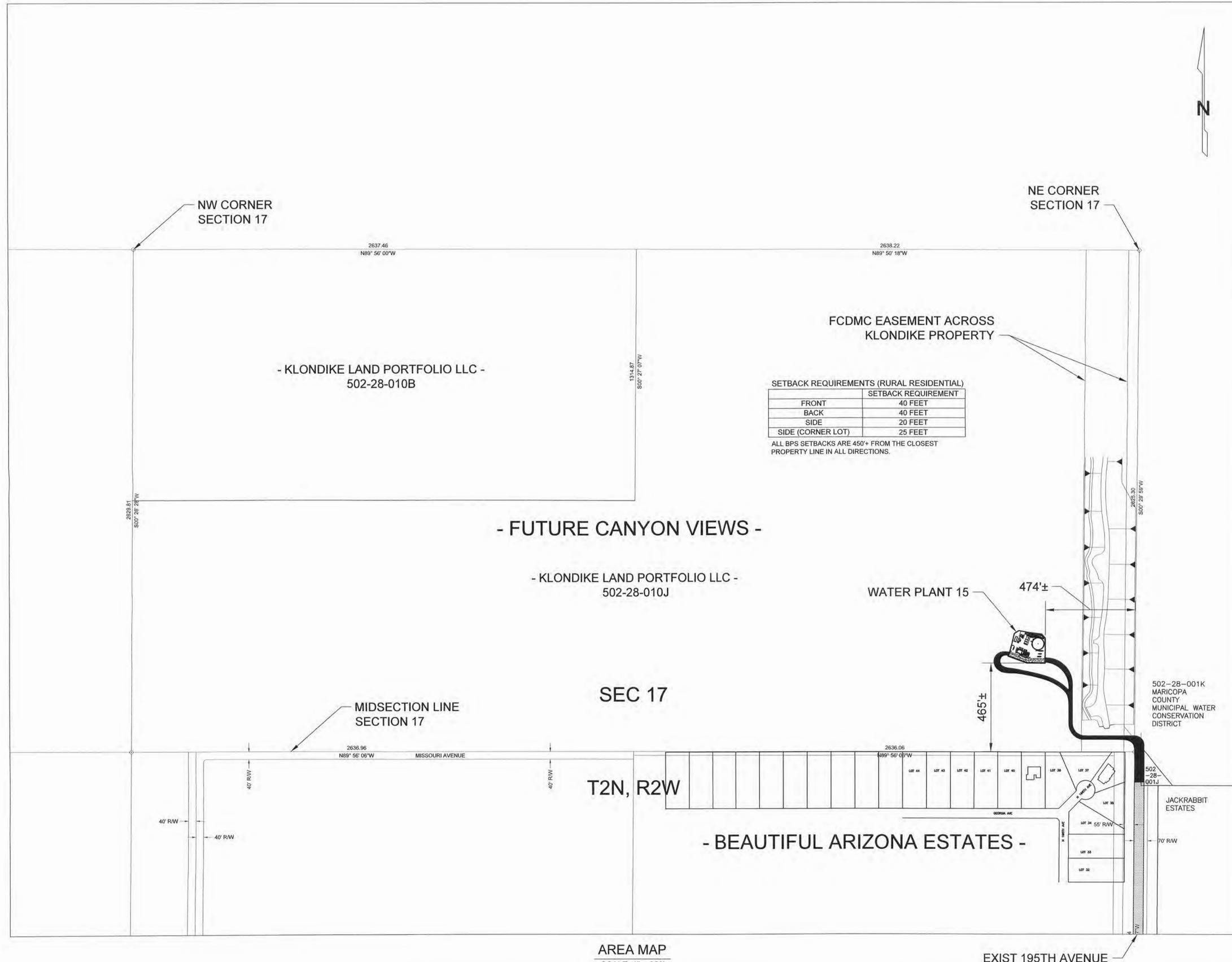
THE BENCH MARK FOR THIS SITE IS THE SOUTHEAST CORNER OF SECTION 17, TOWNSHIP 2 N., RANGE 2 W., BEING A FOUND MCDOT BRASS CAP, FLUSH WITH PAVEMENT, AND HAVING AN ELEVATION OF 1186.38 FEET.

RECEIVED
SEP 24 2015
CITY OF BUCKEYE by
ENGINEERING
2nd Submittal

CALL TWO WORKING DAYS
BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

PLAN TYPE	ENGINEER INFORMATION	DESIGNED BY:	DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:	SCALE:
WATER PLANS	BURGESS & NIPLE, INC. 1500 N. PRIEST DR. STE 101 TEMPE, AZ 85281	EVN	BDB	TAG	RNC		AS NOTED
PROJECT:	EPCOR WATER ARIZONA, AGUA FRIA DISTRICT WATER PLANT 15 - ZONE 3N BOOSTER PUMP STATION	PR53198	EVN	BDB	TAG		AS NOTED
REVISIONS:							
1							
2							
3							
COB PERMITTING APPROVED SEAL	COB ENGINEERING APPROVED SEAL						
AS-BUILT SEAL	DESIGN SEAL						
ORIGINAL PLAN DATE	DRAWING NUMBER						
PROJECT NUMBER	SHEET NUMBER						
PR53198	COVER 01 OF 07						
SUBMITTAL: SITE PLAN 2 ND REVIEW							
COB PERMIT # -PLZ-15-001.19							

P:\PR53198\cadd\civil\2_1-WP15 New Location\2_Site Plan Review - Area Map.dwg 9/24/2015 9:58:47 AM Haun, Adam



SETBACK REQUIREMENTS (RURAL RESIDENTIAL)

FRONT	SETBACK REQUIREMENT
FRONT	40 FEET
BACK	40 FEET
SIDE	20 FEET
SIDE (CORNER LOT)	25 FEET

ALL BPS SETBACKS ARE 450'+ FROM THE CLOSEST PROPERTY LINE IN ALL DIRECTIONS.

- GENERAL NOTES**
1. NORTH AND WEST SETBACKS ARE A MUCH GREATER THAN CAN BE DISPLAYED ON THE OVERALL FACILITIES PLAN AND ARE NOT SHOWN FOR CLARITY.
 2. TEMPORARY ACCESS DRIVEWAY SHALL HAVE A MINIMUM WIDTH OF 20- FEET AND SHALL BE ASPHALTIC CONCRETE, A PENETRATION TREATMENT OF BITUMINOUS MATERIAL AND SEAL COAT OF BITUMINOUS BINDER AND A MINERAL AGGREGATE, OR A STABILIZATION METHOD APPROVED BY THE CITY OF BUCKEYE
 3. WALL MOUNT AND AREA LIGHTS SHALL BE DARK SKY COMPLIANT
 4. ALL GATES REQUIRE FD KNOX BOXES: IF GATE IS ELECTRIC, OWNER TO PROVIDE PLANS TO FD FOR REVIEW AND APPROVAL (SEC. 503) IFC 2012: (FD EMERGENCY ACCESS CONTROL)
 5. ADDRESS FOR SITE TO BE ON GATE ACCESS.



REVISIONS:

1	
2	
3	

EPCOR WATER
AGUA FRIA DISTRICT
WATER PLANT 15 - ZONE 3N BOOSTER PUMP STATION

AREA MAP

ENGINEER INFORMATION
BURGESS & NIPLE, INC.
1500 N. PRIEST DR. STE 101
TEMPE, AZ 85281

JOB NO: PR53198
DESIGNED BY: EVB
DRAWN BY: BOB
CHECKED BY: TAG
APPROVED BY: RNC
DATE: AS NOTED
SCALE: AS NOTED

COB PERMITTING APPROVED SEAL	COB ENGINEERING APPROVED SEAL	SUBMITTAL: SITE PLAN 2ND REVIEW
AS-BUILT SEAL	DESIGN SEAL	
ORIGINAL PLAN DATE	DRAWING NUMBER	COB PLAN TRACKING # COB PERMIT #
PROJECT NUMBER PR53198	SHEET NUMBER 02 OF 07	

AREA MAP
SCALE: 1" = 250'

- FUTURE CANYON VIEWS -

LANDSCAPE EASEMENT
TEMPORARY EASEMENT WEST AND SOUTH
OF SITE TO BE TERMINATED ONCE CANYON
VIEWS SUBDIVISION PLAT IS APPROVED

PUMP STATION EASEMENT
TEMPORARY EASEMENT TO BE
TERMINATED ONCE CANYON
VIEWS SUBDIVISION PLAT IS
APPROVED, AT WHICH TIME THE
BOOSTER STATION PROPERTY
WILL BE DEEDED OR SOLD TO
EPCOR WATER

WATER PLANT 15

TEMPORARY ACCESS DRIVE

502-28-010J
KLONDIKE LAND
PORTFOLIO, LLC

ACCESS EASEMENT
TEMPORARY EASEMENT TO BE TERMINATED ONCE CANYON
VIEWS SUBDIVISION PLAT IS APPROVED, AT WHICH TIME
ACCESS WILL BE WITHIN PUBLIC RIGHTS-OF-WAY

MIDSECTION LINE
SECTION 17

- BEAUTIFUL ARIZONA ESTATES -

OVERALL FACILITIES

SCALE: 1" = 60'

474' ±

465' ±

R=31'

R=130'

R=105'

R=66'

R=44'

502-28-010J
KLONDIKE LAND
PORTFOLIO, LLC

EASTERN SECTION LINE
SECTION 17

FCDMC EASEMENT

EXIST FCDMC
DRAINAGE CHANNEL

LOCKING GATE TO PREVENT
UNAUTHORIZED ACCESS TO
PRIVATE DRIVEWAY.
PROVIDE FIRE DEPARTMENT
KNOX BOX

502-28-001K
MARICOPA
COUNTY
MUNICIPAL WATER
CONSERVATION
DISTRICT

FLOOD CONTROL
DISTRICT
OF MARICOPA
COUNTY

APPROXIMATE
END OF
PAVEMENT FOR
195TH AVENUE

502-28-001J

502-28-581
FLOOD CONTROL DISTRICT
OF MARICOPA COUNTY



GENERAL NOTES

1. TEMPORARY ACCESS DRIVEWAY SHALL HAVE A MINIMUM WIDTH OF 20- FEET AND SHALL BE ASPHALTIC CONCRETE, A PENETRATION TREATMENT OF BITUMINOUS MATERIAL AND SEAL COAT OF BITUMINOUS BINDER AND A MINERAL AGGREGATE, OR A STABILIZATION METHOD APPROVED BY THE CODE COMPLIANCE OFFICER
2. WALL MOUNT AND AREA LIGHTS SHALL BE DARK SKY COMPLIANT

OWNERS WITHIN 300' OF SITE

1. KLONDIKE LAND PORTFOLIO, LLC



REVISIONS:

- 1
- 2
- 3

EPCOR WATER
AGUA FRIA DISTRICT
WATER PLANT 15 - ZONE 3N BOOSTER PUMP STATION

OVERALL FACILITIES

ENGINEER INFORMATION
BURGESS & NIPLÉ, INC.
1500 N. PRIEST DR. STE 101
TEMPE, AZ 85281

JOB NO. PR53198
DESIGNED BY: EVB
DRAWN BY: BDB
CHECKED BY: TAG
APPROVED BY: RNC
DATE: AS NOTED
SCALE: AS NOTED

COB PERMITTING
APPROVED SEAL

COB ENGINEERING
APPROVED SEAL

AS-BUILT SEAL

DESIGN SEAL

ORIGINAL PLAN DATE

DRAWING NUMBER

PROJECT NUMBER

SHEET NUMBER

PR53198

03 OF 07

SUBMITTAL: SITE PLAN 2ND REVIEW

P:\PR63198\cadd\civil\2-1-WP15 New Location's Site Plan Review - Overall Facilities.dwg 9/23/2015 11:55:29 AM Haun, Adam

STRUCTURE	HEIGHT	FINISHED FLOOR
GENERATOR	9' - 6"	1197.50
OPERATIONS	15' - 10"	1198.50
SUCTION TANK	20' - 1"	1195.75
PUMP GALLERY		1196.50
HYDRO TANK	8' - 6"	1197.50

PROPERTY CORNER COORDINATES	NORTHING	EASTING
1	916139.04	528052.34
2	916154.86	528077.11
3	916136.97	528198.55
4	916114.33	528219.08
5	915981.02	528217.97
6	915981.82	528120.96
7	916018.59	528020.15

SITE DIMENSIONS	
SQUARE FOOTAGE	ACREAGE
31554.12	0.72±

SITE INFORMATION		
LOT	SQUARE FOOTAGE	PERCENTAGE
SITE	31554.12	100%
PAVING	27936.64	88.54%
OPEN	3990.50	12.65%
COVERAGE		
MAX COVERAGE		

STRUCTURES		
STRUCTURE	QUANTITY	SQUARE FOOTAGE
FLOODED SUCTION TANK	1	3117
OPERATIONS BUILDING	1	1360

PROPOSED INTENSITY	
WATER PLANT	

- GENERAL NOTES**
- FOR SITE GRADING, DRAINAGE AND PAVING, SEE SHEET 5
 - SITE IS A UTILITY FACILITY, MINOR - PARKING NOT REQUIRED
 - WALL MOUNT AND AREA LIGHTS SHALL BE DARK SKY COMPLIANT
 - EPCOR DOES NOT PROVIDE OR UTILIZE RECEPTACLES FOR REFUSE AT ITS BOOSTER PUMP STATION SITES AND WILL NOT REQUIRE TRASH SERVICE AT THIS SITE.

OWNER
 EPCOR WATER
 2355 W. PINNACLE PEAK ROAD
 SUITE 300
 623-445-2437

LAND USE	
Location	Land Use
Site	Planned Residential
North	Planned Residential
South	Planned Residential
East	Planned Residential
West	Planned Residential

- POLE MOUNTED AREA LIGHT
LITHONIA DSX2 LED 80C 1000 40K T3M MVOLT
SSC HEIGHT SHALL NOT EXCEED RESIDENTIAL HEIGHT STANDARDS. 275 WATTS.
- WALL MOUNT LED TYPE DARK SKY COMPLIANT
WALL PAK - LITHONIA DSXW1-LED-20C-700-40K-T3M 47 WATTS
- DRY WELL

WALL LEGEND

	THEME WALL
	CMU WALL



REVISIONS:

1	
2	
3	

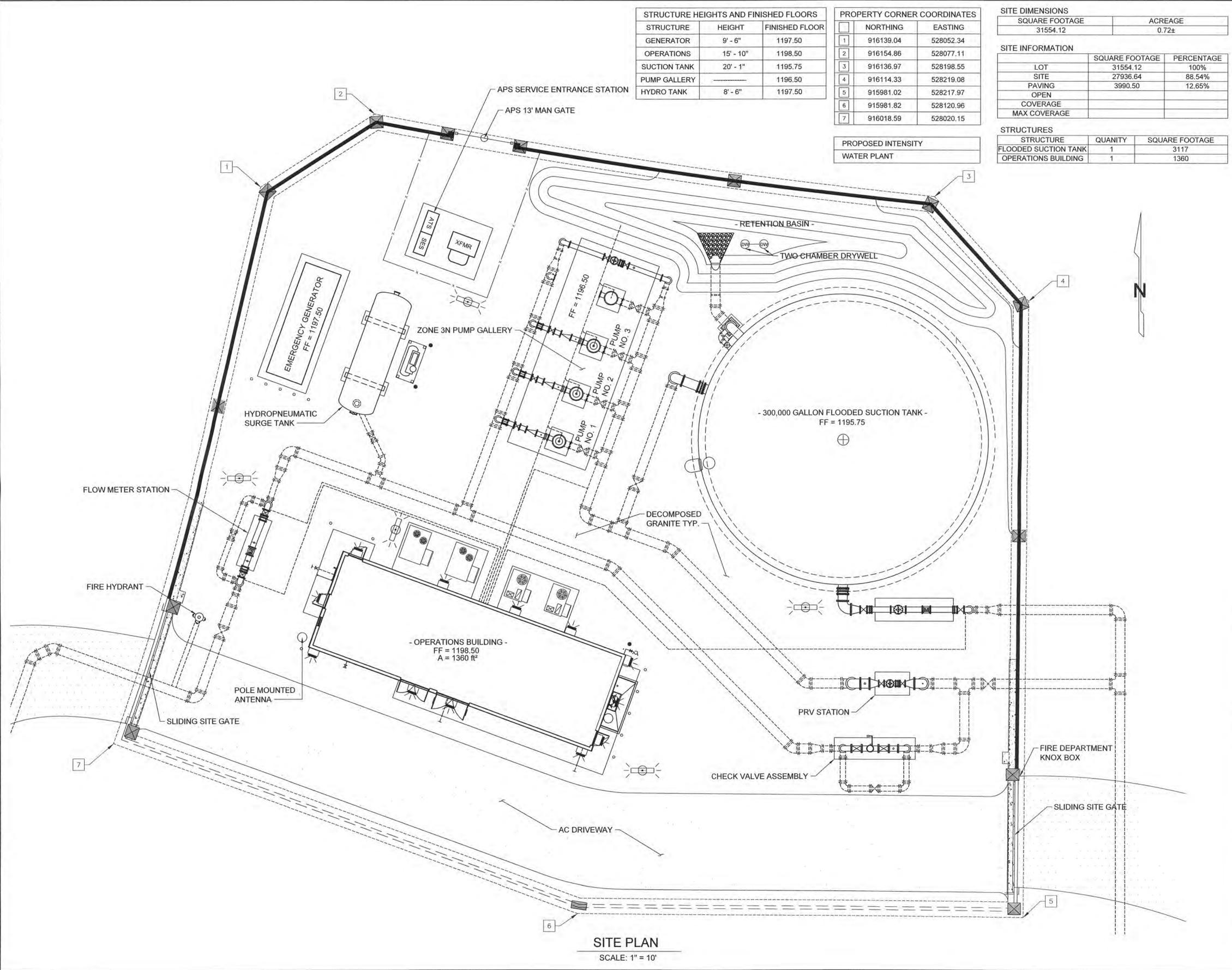
EPCOR WATER
 AGUA FRIA DISTRICT
 WATER PLANT 15 - ZONE 3N BOOSTER PUMP STATION
 SITE PLAN

ENGINEER INFORMATION
 BURGESS & NIPLÉ, INC.
 1500 N. PRIEST DR. STE 101
 TEMPE, AZ 85281

JOB NO.: PR53198
DESIGNED BY: EVB
DRAWN BY: BOB
CHECKED BY: TAG
APPROVED BY: RNC
DATE:
SCALE: AS NOTED

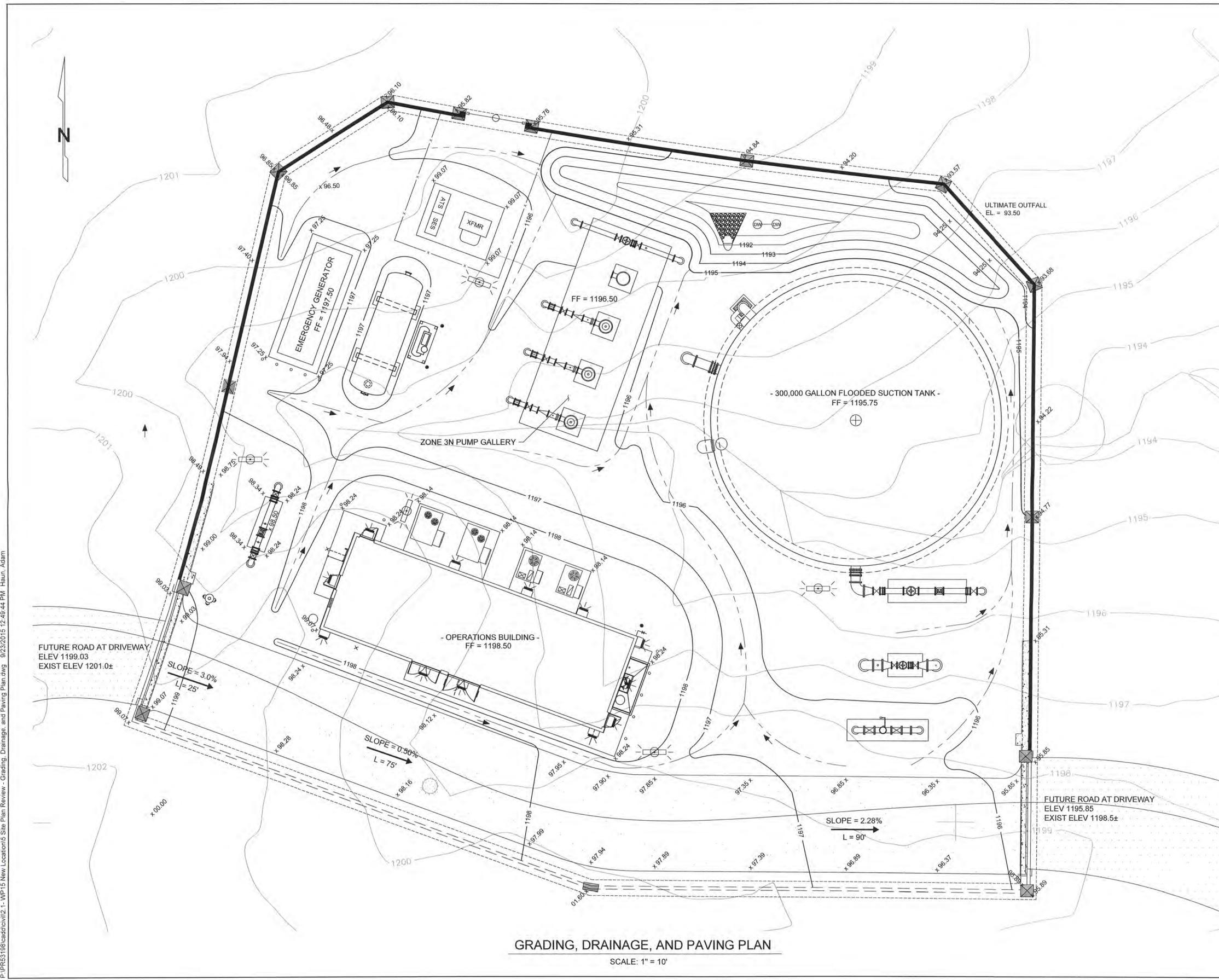
COB PERMITTING APPROVED SEAL	COB ENGINEERING APPROVED SEAL	SUBMITTAL REVIEW
AS-BUILT SEAL	DESIGN SEAL	
ORIGINAL PLAN DATE	DRAWING NUMBER	SHEET TRACKING #
PROJECT NUMBER PR53198	SHEET NUMBER 04 OF 07	

P:\PR53198\cadd\civil\2-1-WP15 New Location\4 Site Plan Review - Site Plan.dwg 9/23/2015 5:51:49 PM Hau, Adam



SITE PLAN
 SCALE: 1" = 10'

P:\PR53198\cadd\civil\2-1-WP15 New Location's Site Plan Review - Grading, Drainage, and Paving Plan.dwg 9/23/2015 12:49:44 PM Haun, Adam



GRADING, DRAINAGE, AND PAVING PLAN

SCALE: 1" = 10'

GENERAL NOTES

1. THE MARICOPA COUNTY, ARIZONA AND INCORPORATED AREAS FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 04013C1665L, DATED OCTOBER 16, 2013 INDICATES THE SITE FALLS WITHIN ZONE X.
2. ZONE X IS DEFINED BY FEMA AND PER THE FIRM PANEL AS FOLLOWS: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
3. ALL FINISH FLOOR ELEVATIONS ARE A MINIMUM OF (1) FOOT ABOVE THE 100-YEAR STORM WATER SURFACE ELEVATION.
4. OFFSITE DRAINAGE WILL BE ROUTED AROUND THE SITE. A DRAINAGE REPORT WILL BE SUBMITTED FOR THE DESIGN.

LEGEND

- x 96.37 PROPOSED GRADE SPOT ELEVATION
- PROPOSED CONTOUR
- - - EXISTING CONTOUR
- - - DRAINAGE FLOW LINE

WALL LEGEND

- THEME WALL
- - - CMU WALL



REVISIONS:

- 1
- 2
- 3

**EPCOR WATER
AGUA FRIA DISTRICT
WATER PLANT 15 - ZONE 3N BOOSTER PUMP STATION
GRADING AND DRAINAGE**

ENGINEER INFORMATION
BURGESS & NIPLÉ, INC.
1500 N. PRIEST DR. STE 101
TEMPE, AZ 85281

COB PERMITTING APPROVED SEAL
CONCEPT

COB ENGINEERING APPROVED SEAL
CONCEPT

AS-BUILT SEAL
DESIGN SEAL

ORIGINAL PLAN DATE
-

PROJECT NUMBER
PR53198

DRAWING NUMBER
-

SHEET NUMBER
05 OF 07

SUBMITTAL: SITE PLAN 2 AND REVIEW

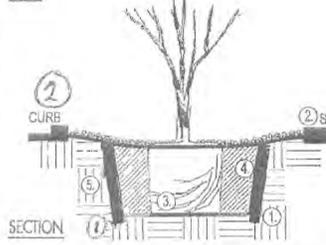
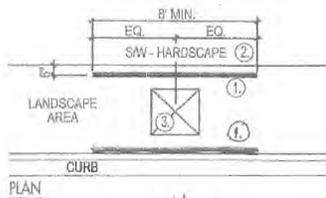
COB PLAN TRACKING #

COB PERMIT #

**LANDSCAPE EASEMENT
TEMPORARY EASEMENT WEST AND SOUTH
OF SITE TO BE TERMINATED ONCE CANYON
VIEWS SUBDIVISION PLAT IS APPROVED**

GENERAL NOTES:

TREE BARRIERS ARE REQUIRED FOR ALL TREES ALONG PARKWAYS, LANDSCAPE ISLANDS, UNDERGROUND UTILITIES AND NARROW PLANTING AREAS THAT NECESSITATE TREE LOCATIONS WITHIN 5' OF WALLS, WALKS, OR CURBS.

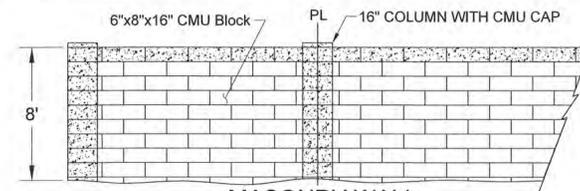


TREE BARRIER
SCALE: NTS

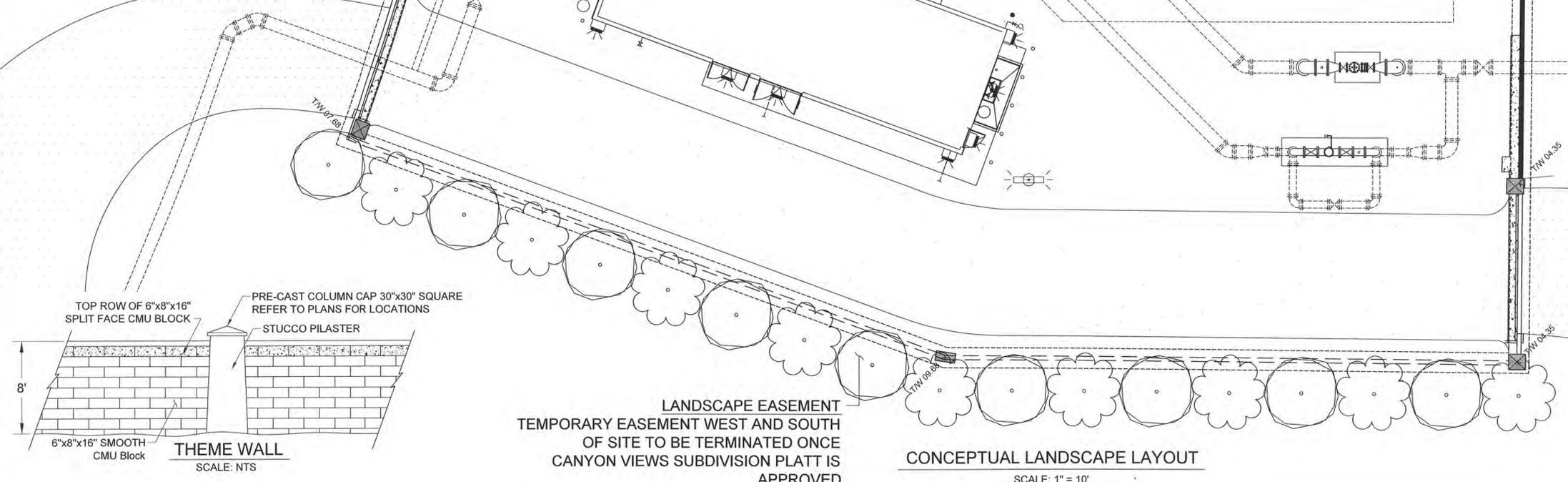
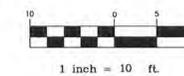
NOTES:

- ① 24" DEEP - 8' LONG 'DEEP ROOT' MOLDED PANELS. TOP BURIED 1" BELOW SUB GRADE. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- ② ADJACENT HARDSCAPE TO PROTECT.
- ③ TREE ROOTBALL TO REST ON UNDISTURBED SOIL.
- ④ AMENDED BACKFILL. REFER TO DETAIL A FOR TYPE.
- ⑤ NATIVE SOIL.

ROOT BARRIER:
MANUFACTURER: DEEP ROOT
MODEL: #UB-24-2
(OR APPROVED EQUAL)
SIZE: 24" DEEP x 24" WIDE



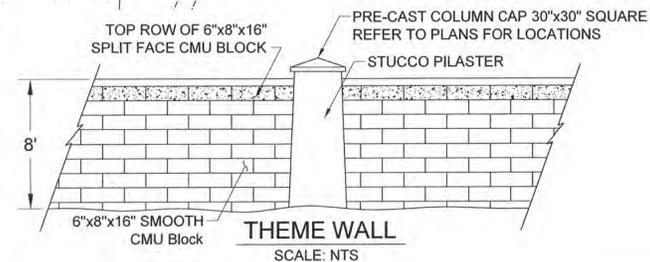
MASONRY WALL
SCALE: NTS



**LANDSCAPE EASEMENT
TEMPORARY EASEMENT WEST AND SOUTH
OF SITE TO BE TERMINATED ONCE
CANYON VIEWS SUBDIVISION PLATT IS
APPROVED**

CONCEPTUAL LANDSCAPE LAYOUT

SCALE: 1" = 10'



THEME WALL
SCALE: NTS

GENERAL NOTES

1. OPERATIONS BUILDING SHALL BE CMU WALL WITH STANDING SEAM METAL ROOF
2. FENCE SHALL BE CMU WALL AND THEME WALLS IN CONFORMANCE WITH CANYON VIEWS WALL THEME PAINT COLORS ARE:
SITE AND OPS BUILDING - WOODEN PEG
SITE WALLS TOP COURSE SPLIT/FACE - ROADRUNNER BROWN
SITE WALL PRECAST CONCRETE CAP - WOODEN PEG (LRV 31)
TANK - WOODEN PEG (LRV 31)
3. WALL DROPS, WHEN UTILIZED, SHALL CONSIST OF 1 OR 3 COURSE DROPS SPACED AT 1/3 INTERVALS.

PRELIMINARY PLANT PALETTE

BOTANIC NAME	COMMON NAME
TREES	
DALBERGIA SISSOO	SISSOO (INDIAN ROSEWOOD)
PROSOPIS	MESQUITE

LANDSCAPING NOTES

1. TREES SHALL BE SPACED AT APPROXIMATELY 12- FEET AND SHALL ALTERNATE BETWEEN DALBERGIA SISSOO (INDIAN ROSEWOOD) AND PROSOPIS (MESQUITE).
2. CONCEPTS ARE PRELIMINARY AND FOR ILLUSTRATIVE PURPOSES ONLY.
3. RELOCATE EXISTING SACUARO CACTI PER ARIZONA DEPARTMENT OF AGRICULTURE PROCEDURES FOR REMOVING AND TRANSPORTING A PROTECTED NATIVE PLANT.
4. TREES WILL BE IRRIGATED AS NEEDED UNTIL CANYON VIEWS DEVELOPS, AT WHICH TIME THE HOMEOWNERS ASSOCIATION WILL ASSUME RESPONSIBILITY FOR IRRIGATION

WALL LEGEND

- x PROPOSED TOP OF THE WALL ELEVATION
- THEME WALL
- - - CMU WALL



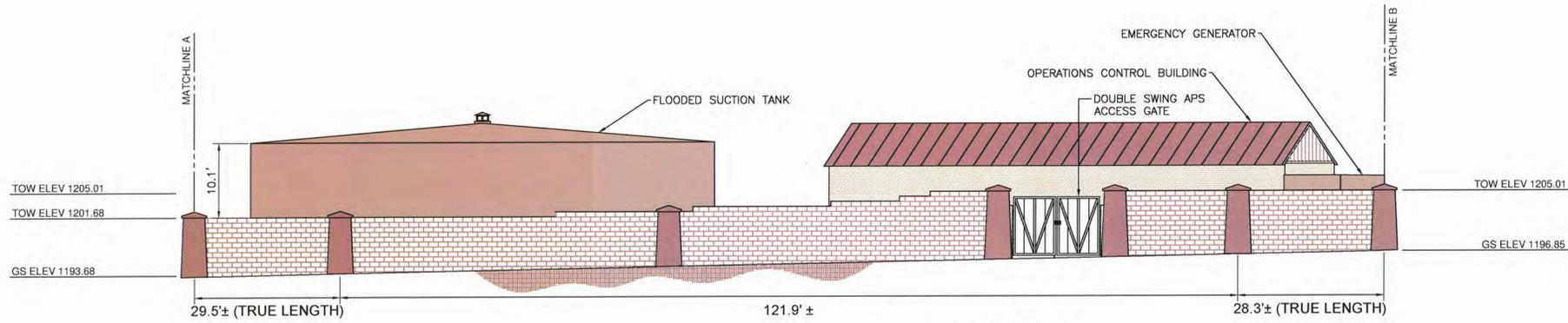
REVISIONS:

- 1
- 2
- 3

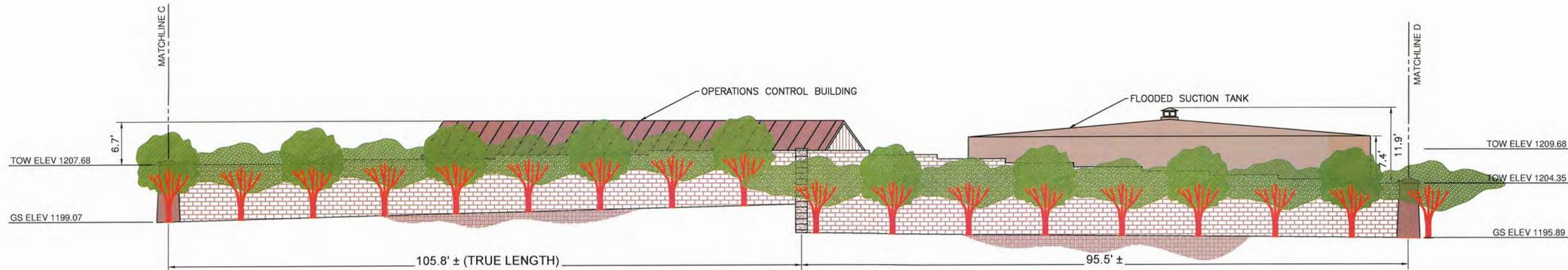
**EPCOR WATER
AGUA FRIA DISTRICT
WATER PLANT 15 - ZONE 3N BOOSTER PUMP STATION
CONCEPTUAL LANDSCAPE LAYOUT**

ENGINEER INFORMATION BURGESS & NIPL, INC. 1500 N. PRIEST DR. STE 101 TEMPE, AZ 85281		JOB NO.: PR53198 DESIGNED BY: EYB DRAWN BY: EYB CHECKED BY: TAG APPROVED BY: RNC DATE: AS NOTED SCALE: AS NOTED	
COB PERMITTING APPROVED SEAL	COB ENGINEERING APPROVED SEAL	SUBMITTAL SITE PLAN 2 REVIEW	COB PLAN TRACKING # COB PERMIT #
AS-BUILT SEAL	DESIGN SEAL		
ORIGINAL PLAN DATE	DRAWING NUMBER	ORIGINAL PLAN DATE: - DRAWING NUMBER: -	
PROJECT NUMBER	SHEET NUMBER	PROJECT NUMBER: PR53198 SHEET NUMBER: 06 OF 07	

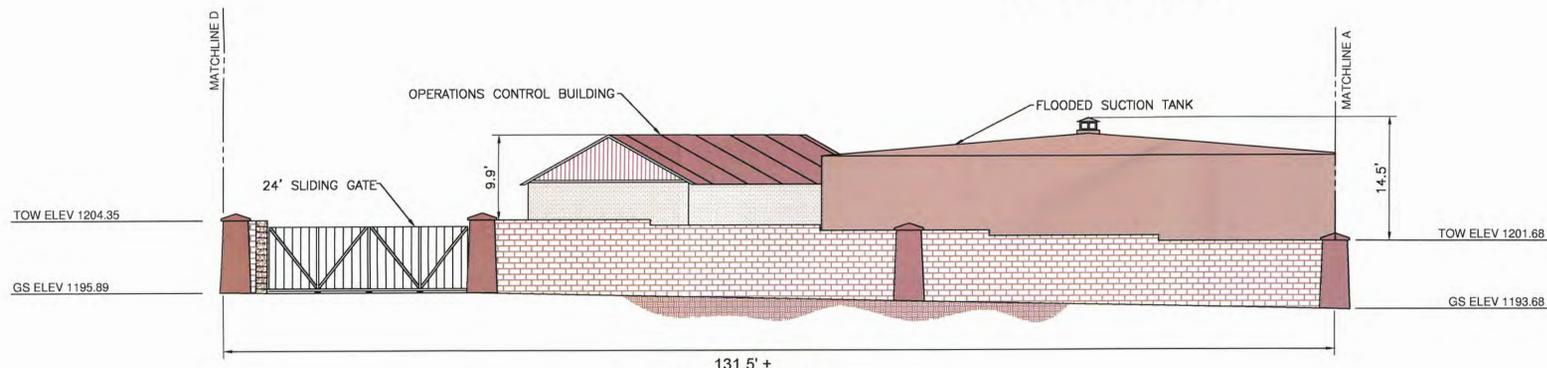
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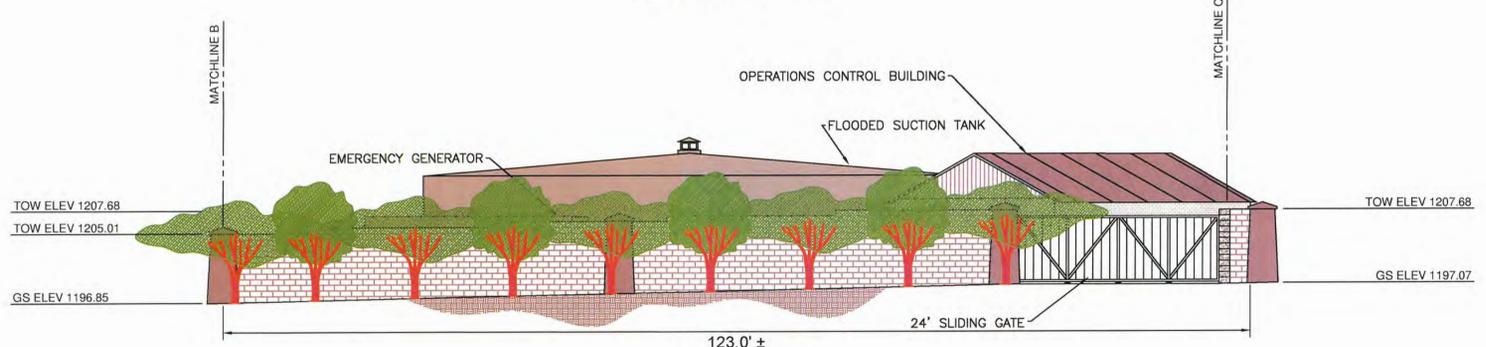
VIEW FROM NORTH



VIEW FROM SOUTH



VIEW FROM EAST



VIEW FROM WEST

WP 15 ELEVATION VIEWS
SCALE: 1" = 10'

- GENERAL NOTES**
- OPERATIONS BUILDING SHALL BE CMU WALL WITH STANDING SEAM METAL ROOF
 - FENCE SHALL BE CMU WALL AND THEME WALLS IN CONFORMANCE WITH CANYON VIEWS WALL THEME PAINT COLORS ARE:
 SITE AND OPS BUILDING - WOODEN PEG
 SITE WALLS TOP COURSE SPLIT/FACE - ROADRUNNER BROWN
 SITE WALL PRECAST CONCRETE CAP - WOODEN PEG (LRV 31)
 TANK - WOODEN PEG (LRV 31)



REVISIONS:

1	
2	
3	

EPCOR WATER
AGUA FRIA DISTRICT
WATER PLANT 15 - ZONE 3N BOOSTER PUMP STATION
ARCHITECTURAL ELEVATION VIEWS

ENGINEER INFORMATION
BURGESS & NIPLÉ, INC.
1500 N. PRIEST DR. STE 101
TEMPE, AZ 85281

COB PERMITTING APPROVED SEAL
COB ENGINEERING APPROVED SEAL

AS-BUILT SEAL
DESIGN SEAL

ORIGINAL PLAN DATE
DRAWING NUMBER

PROJECT NUMBER
SHEET NUMBER

PR53198
07 OF 07

SUBMITTAL: SITE PLAN 2ND REVIEW

EXHIBIT E

NARRATIVE

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PLZ-15-00119

EPCOR Water Plant 15
Water Infrastructure Improvements
Project No. 53198

Site Plan Narrative
2ND Submittal

Prepared For
The City of Buckeye Arizona

CITY OF BUCKEYE
COPY

RECEIVED

SEP 24 2015

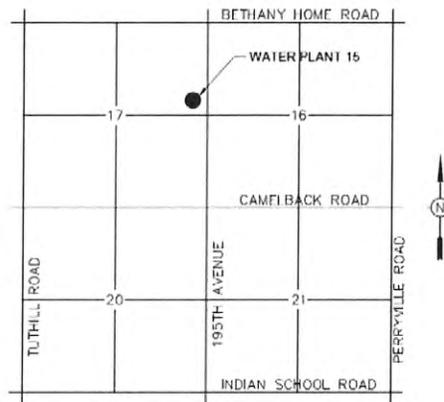
CITY OF BUCKEYE by: 
ENGINEERING

2nd Submittal

6	5	4	3	2	1
7	8	9	10	11	12
18	17	16	15	14	13
19	20	21	22	23	24
30	29	28	27	26	25
31	32	33	34	35	36



VICINITY MAP
TOWNSHIP 2N RANGE 2W



LOCATION MAP
TOWNSHIP 2N RANGE 2W



BURGESS & NIPLE
Engineers ■ Planners

1.0 DESCRIPTION OF REQUEST

The purpose of this application is to request approval of a site plan for the EPCOR Water Arizona Inc. (EPCOR) proposed Agua Fria Water Plant 15 Zone 3 North Booster Pump Station (WP 15 or Water Facility). The Water Facility site is 0.72 acres and will be located approximately 464 feet north and 474 feet west of the intersection of Missouri Avenue and 195th Avenue. WP 15 is located within the interior of a 320-acre property, which is owned by Klondike Land Portfolios, LLC (Klondike) and which is being planned as the Canyon Views residential neighborhoods (Canyon Views Property or Klondike Property). At this time, the property is undeveloped. Klondike is currently working with the City of Buckeye (City) on the subdivision of this property. EPCOR is the applicant for this request and will be developing the proposed Water Facility.

2.0 BACKGROUND

EPCOR is a private, regulated utility providing water service to approximately 94,000 customers through approximately 41,000 service connections in its Agua Fria water district. The intent of the proposed Water Facility, which will be located within the Agua Fria water district, is to extend water availability to residents within the EPCOR water service area including residents in the Verrado Master Planned Community and the future Canyon Views community. In order to keep pace with anticipated growth, it is necessary to expand on the existing facilities and construct a new potable water booster pump station and associated distribution mains.

EPCOR has retained the professional engineering services of Burgess & Niple, Inc. (B&N) to prepare detailed drawings and specifications for the design of WP 15, which includes a new booster pump station, flooded suction tank and approximately 14,800 linear feet of 24-inch pipeline. The Water Facility will be located near the northerly terminus of 195th Avenue as seen in the accompanying site plan.

EPCOR's water distribution plan is based on pressure zones. Pressure zones typically receive flow and are pressurized from storage tanks at an upper elevation of the zone. These tanks are normally filled by booster pump stations located at a lower elevation of the zone. Within this area of the EPCOR Agua Fria district is an existing 24-inch transmission main in Camelback Road that is fed from EPCOR's White Tanks Regional Water Treatment Plant (located at 18736 W. Cactus Road) or, depending on the time of the year, from wells that are owned and operated by EPCOR. These sources deliver water to the Verrado system via an existing Water Plant 9 (WP 9) booster pump facility located in EPCOR's Zone 3 South (Z3S), and they will be augmented by the proposed booster pumps for Zone 3 North (Z3N) located at WP 15. These two Zone 3 water plants will supply water to the entire Verrado system and meet the adjacent system demands of Sienna Hills and Canyon Views by pumping and maintaining the hydraulic grade line (HGL) of the Zone 3 storage reservoirs at 1,420 feet.

3.0 WATER PLANT DESIGN AND LANDSCAPING

Scope

WP 15 is located within the boundaries of the future Canyon Views development, and will draw water from the existing 24-inch water transmission main located at the intersection of Camelback Road and 195th Avenue as noted above.

Site Facilities

WP 15 will be screened with an eight (8) foot masonry wall. Within the confines of the perimeter wall are typical components found within a water booster pump facility. Below is a description of the primary components to be constructed within WP 15:

Operations Building

The Operations Building will house the chemical storage, chemical feed equipment and the electrical equipment. The chemical and electrical components will be in separate rooms that are climate controlled with separate HVAC systems. Within this building, the electrical room will have a waterless fire suppression system and the chemical room will be protected with a traditional water sprinkler system. The Operations Building will be masonry wall construction with a standing seam metal roof. This building will be approximately 1,500 square feet.

Flooded Suction Tank

The Flooded Suction Tank (FST) will have a capacity of 300,000 gallons and be constructed of steel with a side water depth of approximately 16 feet. The tank will include epoxy lining, cathodic protection, exterior painting and standard appurtenances such as a roof hatch and vent, man-ways, overflow pipe with in-line security protection, interior and exterior ladder equipped with a flexible cable fall prevention system, exterior story board and roof walkway with safety hand-railing in compliance with OSHA standards. As needed, the tank will drain to the new on-site retention basin.

Hydropneumatic Surge Tank System

The Hydropneumatic Surge Tank System will include a hydropneumatic tank, which has been sized at 10,000 gallons, air compressor and control panel. The tank will be installed on the discharge header for surge protection.

Metering and Flow Control

The measurement and control of flow through the site will be accomplished with a flow meter, control valves and pressure reducing valves.

Pump Gallery

The pump gallery will be comprised of vertical turbine pumps with variable frequency drives for a total build-out of four vertical turbine pumps. Initial construction will consist of three pumps. One pump will serve as a backup while the remaining pumps provide flow. The gallery will also include isolation and check valves.

APS Service

Electrical power to the site will be provided by APS. The service location will be sized and separately gated as required by APS.

Emergency Generator

The emergency generator will be a diesel engine driven unit sized to provide power for operations in the event of a power loss or interruption. The generator will be equipped with sound attenuation.

Rechlorination

EPCOR has chosen to utilize 12.5% sodium hypochlorite (NaClO) at WP 15 for rechlorination. Sodium hypochlorite, which is commonly called liquid bleach, is a colorless to pale yellow liquid that is

inflammable. While household bleach is approximately a 5% concentration, a 12.5% concentration is a commonly utilized by public and private water providers throughout Arizona. The chemical storage tanks in the Operations Building are sized to hold 30 days of average demand – approximately 1,700 gallons. The chemical room within the Operations Building will have secondary containment that can contain the entire volume of the chemical storage tank in the unlikely event of a rupture.

Landscaping

Additional screening will be installed along the south and west walls of the WP 15 site. Mesquite and sissou trees will be planted at a spacing of approximately 15-18 feet. These trees will be maintained by EPCOR until Canyon Views develops, at which time they will be maintained by the homeowner's association or the adjacent lot owner. Irrigation will be provided as needed to establish and maintain these trees. When Canyon Views develops, additional landscaping is anticipated on the Klondike Property.

Noise

The proposed WP 15 does not generate significant noise other than what is typically associated with a pump electrical motor. The site will be walled and the emergency generator will utilize a Cummins Quiet Site Stage 2 enclosure to mitigate sound generated when in operation. The emergency generator will be exercised weekly; however, it will only be operated on a continual basis in the event of a power loss or interruption.

Access

During the time period prior to the development of the Canyon Views community, WP 15 will be accessed via a temporary access drive that extends from the terminus of 195th Avenue and turns west and north to the site. When Canyon Views develops, access will be via the roadways developed to serve the residential homes.

Parking

This site is a Minor Utility Facility, therefore parking is not required. Vehicles entering the facility through the access gates will likely be stationed inside the facility when on site to perform maintenance or other operations.

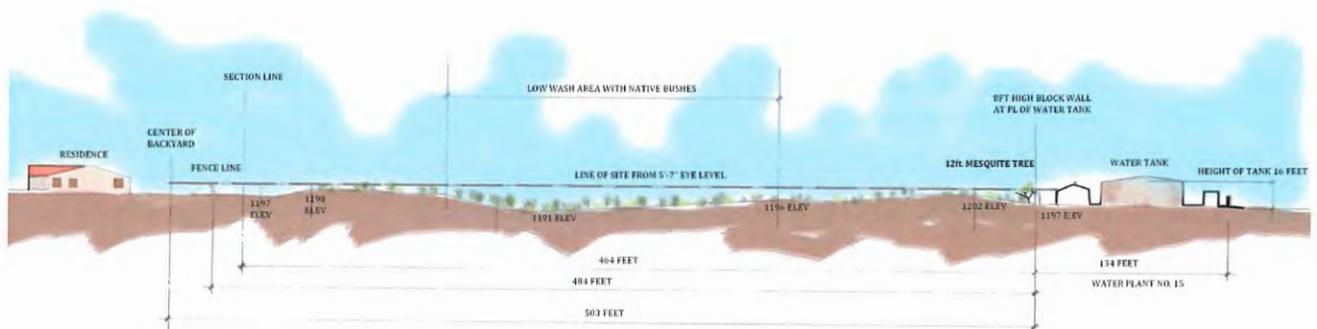
4.0 RELATIONSHIP TO SURROUNDING PROPERTIES

The Canyon Views Property is zoned Planned Residential and is undeveloped desert. From an ownership perspective, the WP 15 site, access drive and pipeline will be located on an easement provided by Klondike. This easement will remain in effect until the Canyon Views community develops, at which time the property encompassing WP 15 will be transferred to or leased by EPCOR. The WP 15 site is located in the interior of the Canyon Views community and more than 300 feet from any border.

Property to the south of the Klondike Property (and south of the Missouri Road alignment) is the Beautiful Arizona Estates neighborhood. This area is located within unincorporated Maricopa County, is zoned R1-35 and is developed with custom homes. Property to the east of 195th Avenue and east of the Klondike Property is owned by the Maricopa County Municipal Water Conservation District and is undeveloped. Property east of 195th Avenue and south of the Missouri Road alignment is the Jackrabbit Estates subdivision which is zoned R1-10 and developed with residences.

EPCOR originally sited WP 15 along the Missouri Road alignment and immediately adjacent to the Beautiful Arizona Estates subdivision. In response to concerns raised by residents of Beautiful Arizona Estates, and based on recommendations from the City, EPCOR worked with Klondike to relocate the site to be interior to the planned Canyon Views community. The proposed site is located a substantial distance from the south boundary of the Klondike Property with a distance of 464 feet from the property line to the south wall of the WP 15.

The following exhibit depicts an architectural line of sight for WP 15 and identifies the distance from Beautiful Arizona Estates.



Line of Sight for WP 15 Proposed Improvements from Mid-Section Line of Section 17 (Missouri Avenue Alignment)

The following conceptual rendering depicts the proposed pump station as viewed from the midsection line at the Missouri Avenue alignment south of the site.



*WP 15 Proposed Improvements as Viewed from Mid-Section Line of Section 17
(Missouri Avenue Alignment)*

As future homes are constructed within Canyon Views, it is anticipated that views of WP 15 from Beautiful Arizona Estates will be obscured by the homes and additional landscaping as part of the development.

5.0 WATER, SEWER AND REFUSE

Water for the site will be provided through the proposed distribution lines within the WP 15 site. Sewer will eventually connect to the sewer main for Canyon Views. Until that time, sewer will not be available at the site. Fixtures such as toilets, sinks etc. will not be installed until after sanitary sewers are installed for the Canyon Views Subdivision. EPCOR does not provide or utilize receptacles for refuse at its booster pump station sites and will not require trash service.

6.0 FIRE AND POLICE PROTECTION

The site will be located within the limits of the City of Buckeye. Fire and police protection will be provided by the City. The access driveway will be constructed to standards allowing emergency vehicle access as required by the City.

7.0 IMPACT ON LOCAL SCHOOLS AND PARKS

This pump station facility will have no impact on local schools or parks.

8.0 PROPOSED PERCENTAGE AND ACREAGE OF PARKS AND OPEN SPACE

The proposed site is a Utility Facility, Minor and contains no parks or open space.

9.0 ALTA SURVEY

Per a conversation with City staff, it was determined that an ALTA survey would not be necessary because WP 15 will be located on an easement until Canyon Views develops.

10.0 DRAINAGE

On-site storm water retention calculations will be based upon the *"Town of Buckeye Storm Water Drainage System Design Manual"* dated August 2007. Retention includes only the portion of the site within the perimeter wall. Calculations for volume required of storm water storage facilities are based on: $VREQ = (D/12) * A * C$; Where:

VREQ = Storage volume required, cubic feet; D = 100-year, 2-hour depth of rainfall, inches

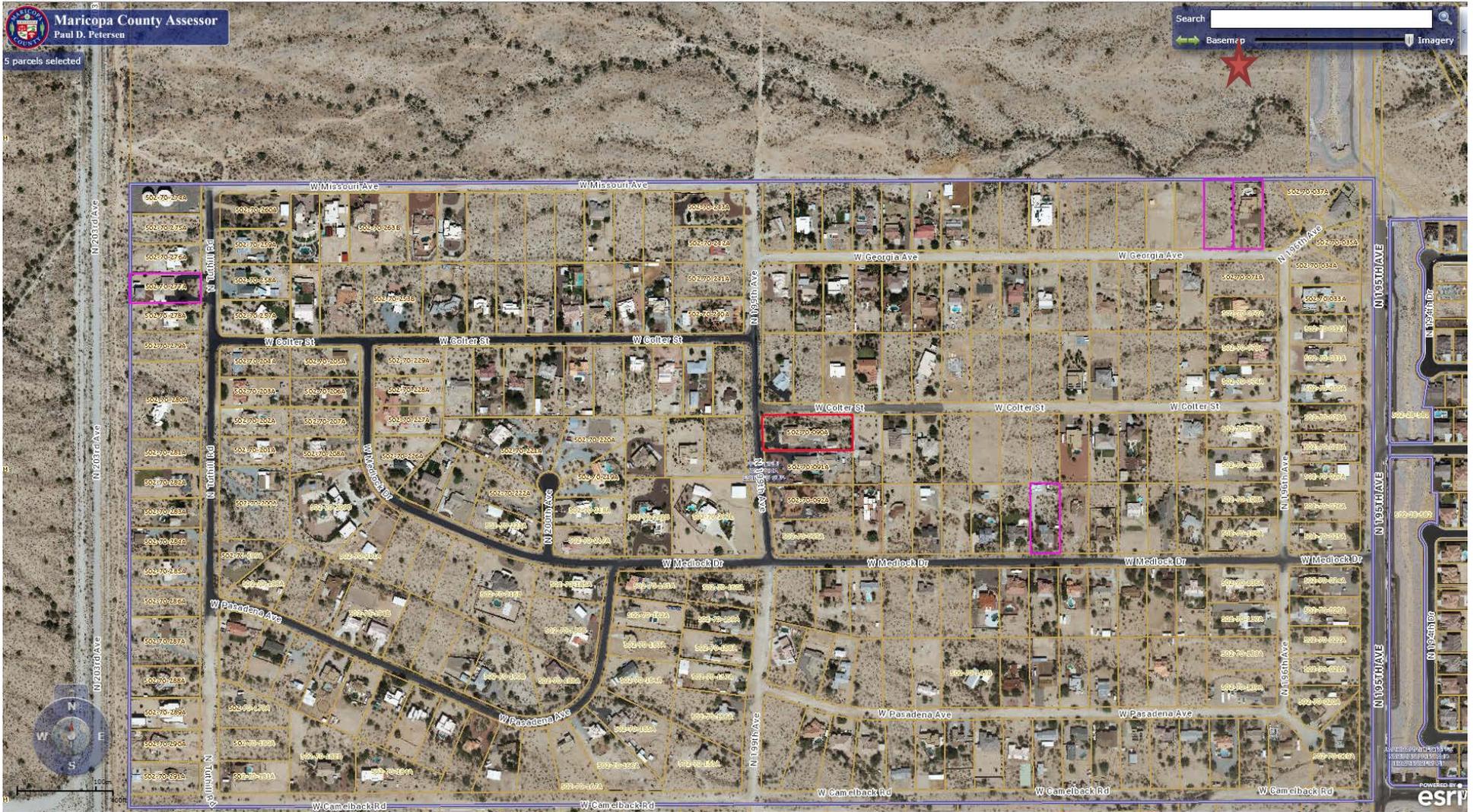
A = Area of project in square feet; C = Runoff coefficient

Runoff coefficient C is 0.95 for concrete, asphalt, and roofs, and 0.55 for desert landscaping. D is based upon the NOAA 100 year two hour isopluvial map provided in the Maricopa County Drainage Design Manual, Hydrology. Approximately 1,760 CF of retention storage is being provided. The retention basin will contain a dual chamber drywell as directed by the City of Buckeye. The ultimate outfall is located in the northeast corner of the site, following the existing natural course of drainage of the site. Onsite drainage and offsite flows will be fully assessed in the drainage report.

Offsite flows will be routed around the site by means of a temporary channel that will be removed when Canyon Views Subdivision is developed. At that time, drainage will be conveyed and retained per the Canyon Views drainage report and drainage design.

EXHIBIT F
LETTERS OF OPPOSITION

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snapshot oppositions' property location in relation to water booster pump station

*5312 North Tuthill Road
Beautiful Arizona Estates
Litchfield Park, AZ 85340*

August 17, 2015

Jackie A. Meck, Mayor
City of Buckeye
530 East Monroe Avenue
Buckeye, AZ 85326

Dear Mayor Meck,

EPCOR has submitted an application to the City of Buckeye for site plan approval of their proposed Water Plant 15, to provide water to Verrado Victory District and Canyon Views Development.

The purpose of this letter is to request that City of Buckeye hold public hearings with opportunity for public comments and input prior to finalizing Buckeye's decision on the EPCOR Water Plant 15 site plan application.

Beautiful Arizona Estates (BAE) is a pre-existing neighborhood located in unincorporated Maricopa County south of Canyon Views and east of Verrado Victory District, which are proposed subdivisions located in the City of Buckeye. The plat for our neighborhood was finalized and approved in the early 1960's over 50 years ago. BAE is not in the EPCOR certificated service territory as we receive our water services from Arizona Water Company. In addition, BAE receives our fire and emergency services from Buckeye Valley Fire District. In other words, EPCOR's activities and site plan request provide no benefits to the residents of BAE.

We are requesting that, at the very least, City of Buckeye should do no harm in their decision with regard to approval or disapproval of the EPCOR Water Plant 15 site plan.

The residents of Beautiful Arizona Estates are being harmed by the current EPCOR site plan proposal for Water Plant 15 since the value of our properties and homes will be decreased as a result of EPCOR's site proposal.

We are requesting that City of Buckeye hear our concerns (summarized below)

****EPCOR's Water Plant 15 is a hazardous chemical facility where water will be both pumped and treated with chlorine. This hazardous chemical facility should not be located near existing homes.**

****The proposed location of the plant will result in excessive noise and visual impairment to existing BAE homes and properties.**

****The proposed location is an environmentally sensitive area with a large wash, and**

endangered animal and plant species.

Beginning in the fall of 2014 prior to commencement of EPCOR's on-site work on this project, BAE residents provided an alternative site recommendation. Over the past year, BAE has repeatedly requested to meet with EPCOR to provide input on their plans. We also requested in a November 2014 hearing before the Arizona Corporation Commission that we be allowed to provide input on EPCOR's site plan for the water pumping and chlorination facility.

The BAE alternative site recommendation at the corner of Jack Rabbit/195th Ave and Bethany Home Road was rejected. Further, after EPCOR has assured us repeatedly over the past year that they were going to meet with BAE residents, EPCOR is now having a meeting on August 17, 2015 to explain their finalized plans, not to get comments and input.

The residents of Beautiful Arizona Estates are asking City of Buckeye to be a good neighbor. Beautiful Arizona Estates was here a long time before any planning for water infrastructure and platting of subdivisions in areas adjacent to our neighborhood. We understand that properties adjacent to BAE in City of Buckeye will ultimately be developed. However, we are asking that City of Buckeye hear and consider our comments, and that, at the very least, "Do No Harm" with your decision-making.

Please give our request for a public hearing on EPCOR's Water Plant 15 site application your serious consideration and approval.

Thank You



Jean Gray Huerta

CC

Stephen Cleveland, City Manager

Scott Zipprich P.E., City Engineer

George Flores, Director, Development Services

Sean Banda, Associate Planner

Andrea Marquez

From: Sean Banda
Sent: Tuesday, August 18, 2015 1:11 PM
To: Andrea Marquez
Subject: FW: EPCOR

Sean Banda | Planner
City of Buckeye | Planning & Zoning Division
530 E Monroe Ave | Buckeye, Arizona 85326
P 623-349-6215 | sbanda@buckeyeaz.gov
Monday thru Thursday 7am to 6pm CLOSED FRIDAYS

From: Charles Kendall [<mailto:redr222@juno.com>]
Sent: Monday, August 17, 2015 7:01 PM
To: Sean Banda
Subject: EPCOR

The purpose of this letter is to request that City of Buckeye hold public hearings with opportunity for public comments and input prior to finalizing their decision on the EPCOR site plan application.

Beautiful Arizona Estates is a pre-existing neighborhood located in unincorporated Maricopa County south of Canyon Views and east of Verrado, proposed subdivisions located in the City of Buckeye. The plat for our neighborhood was finalized and approved in the early 1960's over 50 years ago. BAE is not in the EPCOR certificated service territory as we receive our water services from Arizona Water Company. BAE receives our fire and emergency services from Buckeye Valley Fire District. In other words, EPCOR's activities and site plan request provide no benefits to the residents of BAE.

We are requesting that, at the very least, City of Buckeye should do no harm in their decision with regard to approval or disapproval of the EPCOR Water Plant 15 site plan.

The residents of Beautiful Arizona Estates are being harmed by the current EPCOR site plan proposal for Water Plant 15 since the value of our properties and homes will be decreased as a result of EPCOR's proposal.

We are requesting that City of Buckeye hear our concerns (summarized below)

**EPCOR's Water Plant 15 is a hazardous chemical facility where water will be both pumped uphill to Verrado and will be treated with chlorine.

**The proposed location of the plant will result in excessive noise and visual impairment.

**The proposed location is an environmentally sensitive area with a large wash, and endangered animal and plant species.

** Beginning back in late 2014 prior to the commencement of EPCOR's work on this project, BAE residents provided alternative siting recommendations, and have repeatedly requested to meet with EPCOR to provide input on their plans. We also requested in a November 2014 hearing before the Arizona Corporation Commission that we be allowed to provide input on EPCOR's plans. The BAE alternative site recommendation at the corner of Jack Rabbit/195th Ave and Bethany Home Road was rejected. Further, after EPCOR has assured us repeatedly over the past year that they were going to meet with us, EPCOR is now meeting with BAE residents to explain their finalized plans, not to get comments and input.

Bottom line, we are asking City of Buckeye to be a good neighbor. Beautiful Arizona Estates was here a long time before any planning for water infrastructure and platting of subdivisions in areas adjacent to our neighborhood. We understand that the subdivisions in City of Buckeye will ultimately be developed. However, we are asking that City of Buckeye consider our request and at the very least "Do No Harm".

Sent from my iPad Charles L Kendall resident 18 yrs BAE

Andrea Marquez

From: Sean Banda
Sent: Wednesday, August 19, 2015 11:42 AM
To: Andrea Marquez
Subject: FW: EPCOR Water Plant 15

Sean Banda | Planner
City of Buckeye | Planning & Zoning Division
530 E Monroe Ave | Buckeye, Arizona 85326
P 623-349-6215 | sbanda@buckeyeaz.gov
Monday thru Thursday 7am to 6pm CLOSED FRIDAYS

From: Maria Sachs [<mailto:mariasachs1@yahoo.com>]
Sent: Wednesday, August 19, 2015 11:38 AM
To: Jackie Meck; Stephen Cleveland; Scott Zipprich; George Flores; Sean Banda
Subject: EPCOR Water Plant 15

The purpose of this letter is to request that City of Buckeye hold public hearings with opportunity for public comments and input prior to finalizing their decision on the EPCOR site plan application.

Beautiful Arizona Estates (BAE) is a pre-existing neighborhood located in unincorporated Maricopa County south of Canyon Views and east of Verrado, proposed subdivisions located in the City of Buckeye. The plat for our neighborhood was finalized and approved in the early 1960's over 50 years ago. BAE is not in the EPCOR certificated service territory as we receive our water services from Arizona Water Company. BAE receives our fire and emergency services from Buckeye Valley Fire District. In other words, EPCOR's activities and site plan request provide no benefits to the residents of BAE.

We are requesting that, at the very least, City of Buckeye do no harm in your decision with regard to approval or disapproval of the EPCOR Water Plant 15 site plan.

The residents of Beautiful Arizona Estates are being harmed by the current EPCOR site plan proposal for Water Plant 15 since the value of our properties and homes will be decreased as a result of EPCOR's proposal.

We are requesting that City of Buckeye hear our concerns (summarized below)

**EPCOR's Water Plant 15 is a hazardous chemical facility where water will be both pumped uphill to Verrado and will be treated with chlorine.

**The proposed location of the plant will result in excessive noise and visual impairment.

**The proposed location is an environmentally sensitive area with a large wash, and endangered animal and plant species.

** Beginning back in late 2014 prior to the commencement of EPCOR's work on this project, BAE residents provided alternative siting recommendations, and have repeatedly requested to meet with EPCOR to provide input on their plans. We also requested in a November 2014 hearing before the Arizona Corporation Commission that we be allowed to provide input on EPCOR's plans. The BAE alternative site recommendation at the corner of Jack Rabbit/195th Ave and Bethany Home Road was rejected. Further, after EPCOR has assured us repeatedly over the past year that they were going to meet with us, EPCOR is now meeting with BAE residents to explain their finalized plans, not to get comments and input.

Bottom line, we are asking City of Buckeye to be a good neighbor. Beautiful Arizona Estates was here a long time before any planning for water infrastructure and platting of subdivisions in areas adjacent to our neighborhood. We understand that the subdivisions in City of Buckeye will ultimately be developed. However, we are asking that City of Buckeye consider our request and at the very least "Do No Harm".

Thank you
Maria Sachs

August 19, 2015

Jackie A. Meck, Mayor
City of Buckeye
530 East Monroe Avenue
Buckeye, Arizona 85326

SUBJECT: EPCOR Water Plant 15

Dear Mayor Meck:

The residents of Beautiful Arizona Estates (BAE) are being harmed by the current EPCOR site plan proposal for Water Plant 15 being located in Klondike Canyon Views.

EPCOR's plan will devalue the property values of BAE (which interestingly EPCOR does not provide services to) while increasing the value and attractiveness of DMB Victory Verrado (a competing subdivision to BAE, which interestingly EPCOR does provide services to). In other words, putting their "trash" next to BAE, while clubhouses, pools, golf courses, and parks are being built in Victory Verrado.

We are requesting that the City of Buckeye (Buckeye) hear our concerns which are summarized below:

- 1 – EPCOR's Water Plant 15 is a hazardous chemical facility where water will be both pumped uphill to Victory Verrado and will be treated with chlorine. There is also a 300,000 gallon water tank in the plan.
- 2 – The proposed location of the plant will result in excessive noise, smell, and visual impairment to BAE.
- 3 – Arizona Game and Fish has deemed this location an environmentally sensitive area with large washes, and endangered animal and plant species.
- 4 – There are thousands and thousands of acres of undeveloped land in the surrounding areas where this could be built without affecting existing homes.
- 5 – EPCOR has been, and continues to be, deceitful, misleading, unprofessional, and disrespectful in its dealings with BAE. Beginning in 2014, prior to the commencement of EPCOR's work on this project, BAE residents provided alternative siting recommendations, and have repeatedly requested to meet with EPCOR to provide input on their plans - on the pipeline itself and now the pumping station. While assured we would be included, we have never been afforded that opportunity.

BAE is a pre-existing neighborhood located in unincorporated Maricopa County south of Canyon Views and east of Victory Verrado, proposed subdivisions located in Buckeye. The plat for our neighborhood was finalized and approved in the early 1960's over 50 years ago.

We are asking the City of Buckeye to continue to be a good neighbor. We understand that subdivisions in Buckeye will ultimately be developed, but that shouldn't be at the expense of a neighboring subdivision, especially when it CLEARLY does not have to be – again, there is a great deal of undeveloped land and areas where this could be built without affecting existing homes. This would allow people the choice of whether they want to build/buy a home around a toxic, industrial, noisy, smelly, eyesore, not have one forced on them.

We respectfully request that the City of Buckeye "Do No Harm" to Beautiful Arizona Estates by rejecting any EPCOR Water Plant 15 site plans located in Klondike Canyon Views. Thank you for your time and consideration.

Sincerely,



Anthony & Karen Sciuilli
19532 W. Georgia Avenue
Litchfield Park, AZ 85340
623-572-4788

cc: Stephen Cleveland, City Manager
Scott Zipprich P.E., City Engineer
George Flores, Director of Development Services ✓
Sean Banda, Associate Planner

August 20, 2015

Jackie A. Meck, Mayor

City of Buckeye

530 East Monroe Avenue

Buckeye, Arizona 85326

Re: EPCOR Water Plant 15

Dear Mayor Meck:

Although I now live in Desert Hills, AZ, I purchased an acre of land in Beautiful Arizona Estates to build my future retirement home. My land sits on Georgia Avenue nestled between gorgeous and expensive custom homes. I was impressed by the beautiful landscapes of Buckeye and the White Tank Mountains, but mostly by the friendly people in your town.

I am writing to you now to implore your intervention by preventing the building of EPCOR's Water chemical facility that is proposed to be "right in my backyard". My property will be tremendously affected by this proposed location because of the visual impairment, the odors, and excessive noise.

There are hundreds of acres of land upon which EPCOR can build this plant. As it stands right now, they want to build it only 400 feet from my future retirement home. I am deeply disappointed and angered. My property will be devalued immediately, while the properties in Verrado and Canyon Views will increase in value and benefit from this chlorination plant.

I am writing on behalf of myself and the entire neighborhood of Beautiful Arizona Estates for you to analyze this situation carefully and hopefully favor our wishes to move this water plant to the Verrado area or the far north side of Canyon Views. It is completely unacceptable to build a chlorination plant in such close proximity to the homes in Beautiful Arizona Estates.

This issue needs to be resolved before it explodes into a litigious situation. Property values, environmental damage, and health concerns are at stake. If this proceeds, it will create bad publicity for EPCOR and the City of Buckeye.

Thank you for your anticipated cooperation in this matter.

A handwritten signature in cursive script that reads "Carol K. Jensen".

Carol K. Jensen

2233 E. Joy Ranch Road

Desert Hills, AZ 85086

cc: Stephen Cleveland, City Manager
Scott Zipprich P.E., City Engineer
George Flores, Director of Development Services
Sean Banda, Associate Planner

5312 North Tuthill Road
Beautiful Arizona Estates
Litchfield Park, AZ 85340

August 27, 2015

Jackie A. Meck, Mayor
City of Buckeye
530 East Monroe Avenue
Buckeye, AZ 85326

Dear Mayor Meck,

The purpose of this letter is to provide comments on the EPCOR site plan application submitted to the City of Buckeye for the proposed Water Plant 15, to provide water to Verrado Victory District and Canyon Views Development.

EPCOR held a meeting with residents of Beautiful Arizona Estates on August 17, 2015 to present their proposed Water Plant 15 site plan. During the preliminary remarks presented by Andrew Brown, EPCOR Director of Engineering, EPCOR stated that residents of Beautiful Arizona Estates would have the opportunity to provide comments and input during the City of Buckeye's Planning & Zoning Commission and City Council consideration of the site plan application.

Comments on the EPCOR site plan proposal for Water Plant 15 are provided below.

Location: EPCOR is proposing that Water Plant 15 be located within the future Canyon Views Community 470 feet north of the Missouri Road alignment on the northern border of Beautiful Arizona Estates. This proposed location is unacceptable to the residents of Beautiful Arizona Estates. The Water Plant should be located as far away from Beautiful Arizona Estates as possible, preferably on the Canyon Views northern border at Bethany Home Road.

EPCOR's planning for this project has failed to consider that the Beautiful Arizona Estates neighborhood has existed for over 50 years. The remainder of the Canyon Views site is completely open desert. Locating the Water Plant near Beautiful Arizona Estates devalues our properties, whereas there are no existing homes in the northern portion of Canyon Views that would be adversely devalued.

EPCOR has stated that the proposed site is most cost effective because of their existing infrastructure. Again, this is an example of EPCOR's inadequate planning for the total project. The first phase of the project consisted of a water pipeline from 195th Avenue west to the Verrado Victory property. Buckeye should not let EPCOR hold them hostage with regard to location stating that it is too costly to move the site further north since they have already installed a water pipeline along the Missouri Road alignment. EPCOR should have gotten approval for their entire project, including Water Plant 15 before any pipeline was

put in the ground. Buckeye should not be forced by EPCOR's poor planning to approve a site that is unacceptable to Beautiful Arizona Estates residents.

Hazardous Chemical Facility: Sodium hypochlorite will be added to the water at this Water Plant facility. Weekly deliveries via tank trucks of this concentrated hazardous chemical will be taking place. City of Buckeye should ensure that any roadways used by the tanker trucks to deliver these hazardous chemicals are not allowed to be any where near the vicinity of Beautiful Arizona Estates.

Permits: EPCOR has repeatedly demonstrated that their way of doing business is to start projects before they have all permits and approvals from all affected regulatory bodies. City of Buckeye should ensure that EPCOR has all required permits before EPCOR is allowed to start work.

Height of Privacy wall: EPCOR states that an 8-foot privacy wall will surround the pumping facility. Buckeye should require a 12-foot privacy enclosure. In addition, EPCOR should be required to plant vegetation that will achieve a minimum 16-foot height at full maturity, and EPCOR should be required to provide water to maintain this vegetation for as long as the Water Plant is in operation.

Noise: It is my understanding that City of Buckeye will allow no more than a 50-decibel noise level outside the Water Plant facility. EPCOR will have a backup generator at this facility to ensure continued operation in the event of a power outage. The backup generator will be tested for 15 minutes every week. The noise level testing should be done during the weekly generator test period to ensure compliance with the 50-decibel standard. EPCOR should be required to install noise abatement materials to ensure compliance with the Buckeye standard at all times and under all conditions.

Thank you for this opportunity to provide comments. If you have any questions or need additional information, please feel free to contact me at 623-853-0980 (home) or 602-320-7683 (cell).

Sincerely,

Jean Gray Huerta

CC

Stephen Cleveland, City Manager

Scott Zipprich P.E., City Engineer

George Flores, Development Services

Terri Hogan, Development Services