

# Tesota Hills

*Community Master Plan*

*February 2004*

# ***TESOTA HILLS***

## **COMMUNITY MASTER PLAN**

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## **TESOTA HILLS**

### **COMMUNITY MASTER PLAN**

#### **INTRODUCTION**

At the base of the White Tank Mountains in the Town of Buckeye, Arizona, Tesota Hills is envisioned to be a premier master planned community. Tesota Hills, an exclusive residential community, will take advantage of the natural beauty of the rugged terrain in which it is located. With sensitivity to the environment, preservation of natural washes, establishment of multi-use trail corridors and maintenance of significant amounts of open space, Tesota Hills integrates the site's natural amenities as the foundation upon which to develop the community's character and theme. Urban and natural trails will connect neighborhoods to the neighborhood park and individual pocket parks, creating a community that can truly enjoy the beauty of its natural setting. The Tesota Hills master plan offers a large diversity in housing types and residential lot sizes within identifiable neighborhoods while providing each neighborhood visual as well as physical access to adjacent and internal preserved, natural open spaces. The existing topography of the site, coupled with the enhancement and preservation of natural site features, allows Tesota Hills to be a unique residential community.

#### **GOALS AND OBJECTIVES**

- To provide the method to preserve and enhance the natural attributes of the property and create an exceptional locale in which to live. Tesota Hills is designed to be a community with diverse residential neighborhoods and convenient access to the commercial and retail amenities found in the adjacent master planned community of Verrado.
- To take advantage of the site's varied and steep topography by preservation, integration and enhancement. The focal point of Tesota Hills is the property's abundant natural amenities and the open space and trails system that will connect neighborhoods to the park sites.
- To provide a safe residential environment, which encourages social interaction, civic pride, outdoor enjoyment and alternative modes of transportation.

**PROJECT OVERVIEW**

Tesota Hills Community Master Plan (CMP) provides a range of housing opportunities to accommodate consumer preference, ever-changing lifestyles and market parameters. This range includes a variety of lot sizes and configurations depending on topography and site conditions to respond to a large cross-section of future homeowners. The 444-acre site is planned for single-family residential use with 1,291 total dwelling units and an overall gross density of 2.9 units per acre. The Tesota Hills Conceptual Land Use Plan is shown on Figure A-1 (in Section VIII Figures) and identifies the locations of the various residential parcels, the neighborhood commercial parcel, the conceptual locations of the park sites, as well as the proposed interconnecting trail system.

The focal point of the Tesota Hills community is the property's abundant natural amenities. This CMP has been designed to take advantage of the site's natural features and topography by preserving and integrating these natural features into an open space and trails system that traverses throughout the project. The Tesota Hills Open Space and Trails Plan and Trails Cross-sections are conceptually illustrated on Figures B-1 and B-4. The trails system will connect neighborhoods with the project's natural open space and neighborhood park sites. The trails system will promote recreational opportunities as well as provide an alternate means of traveling throughout the community. The extensive trails system, special planning area (SPA), open space and park site will encompass approximately twenty-five (25) percent to thirty (30) percent of the property acreage.

A commitment to long-term land use planning and design is essential to establishing a successful and sustainable master planned community. Tesota Hills and its associated infrastructure will be developed in phases. The ultimate phasing and sequencing of development is dependent on the logistics, economics and market conditions at time of construction. The Master Phasing Plan is discussed further in Section III. G of this document. In addition, quality control throughout the property and for the duration of the project and beyond, will be established and maintained through master governance tools, such as design guidelines, architectural control, covenants, conditions and restrictions and homeowners' associations.

Directly in the path of new residential development headed westward and with almost immediate access to Interstate 10 at the new Airport Road interchange, Tesota Hills is in an exceptional location to supplement the single-family housing demands of the Buckeye area. Tesota Hills will provide a unique opportunity for prospective homeowners where they can acquire a residence within a community that has preserved and enhanced natural amenities and topographic relief that usually can only be found in large lot private communities.

**APPLICANT**

The Tesota Hills CMP applicants are as follows:

<b>JKL Partners</b> Mr. D. Kent Olson 4102 W. Hayward Ave. Phoenix, AZ 85051 (623) 915-3868	<b>White Tanks 140, L.L.C.</b> Mr. Perry Mathis Cason Tyler Communities 5108 N. 40th Street, Suite 3 Phoenix, AZ 85018 (602) 957-1799
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**DEVELOPMENT TEAM**

<b>Consultant:</b>	<b>Project Role:</b>
<b>Arizona Land Planning and Development, LLC</b> Ms. Christine Sheehy 314 E. Wagon Wheel Drive Phoenix, Arizona 85020 (602) 944-0614	Arizona Land Planning and Development is the project manager for JKL Partners.
<b>CMX, L.L.C.</b> Mr. David Burrows, P.E. 7740 North 16 <sup>th</sup> Street Suite 100 Phoenix, Arizona 85020 (602) 567-1900	CMX is the land planning, project engineering, and landscape architectural consultant.
<b>SWCA</b> Mr. Doug Mitchell 2120 North Central Ave., Suite 130 Phoenix, Arizona 85004 (602) 274-3831	SWCA is the biological and cultural resources consultant
<b>Earl, Curley and Laguard, P.C.</b> Stephen C. Earl 3101 N. Central Ave. Suite 1000 Phoenix, Arizona 85012 (602) 265-0094	Earl, Curley and Laguard is the development agreement consultant
<b>Task Engineering Co, Inc.</b> Mr. Ken Howell, P.E. 5125 North 16th St, Suite A-210 Phoenix, Arizona 85016 (602) 277-4224	Task Engineering is the traffic engineering consultant.

## **PHYSICAL SETTING**

The Tesota Hills master planned community consists of approximately 444 acres. The site is located in the Town of Buckeye, Arizona. Approximately 26 miles west of central Phoenix, Tesota Hills is situated at the base of the White Tank Mountains. (Figure C-1, Regional Map) Most of the land adjacent to the site on the south is privately owned. The lands adjacent to the east and north sides are owned by DMB White Tank, LLC for the Verrado master planned community. Both Federal Government and Arizona State Trust Land borders the site to the west and the land on which the Buckeye Flood Retarding Structure is located is owned by both the Arizona Department of Transportation and the Arizona State Trust managed by the Arizona State Land Department. Aside from Verrado, there are no adjacent communities being planned at this time. The closest planned community north of I-10 is Pasqualeti Ranch to the northeast, south of I-10 are the planned communities of Sundance, Blue Horizons and Jackrabbit Trails. (Figure C-2, Vicinity with Adjacent Ownership Map) The property is more accurately described in Appendix B, Legal Description – Boundary Survey.

## **EXISTING SITE CONDITIONS**

### **Overview**

An overview of the existing conditions on the property, as well as surrounding areas, is provided in this section. Analysis of site characteristics, including natural resources, cultural resources and other environmental characteristics have been undertaken and are summarized herein. An aerial map of the property showing the natural features which comprise the opportunities and constraints for this site (washes, floodplains and hillside slopes) are shown in Figure D, Opportunities and Constraints Map.

### **Physical Features and Topography**

The Tesota Hills site area is undeveloped, native desert land, except for the construction of the Buckeye Flood Retarding Structure Number 3. The southeastern part of the site is mostly gently sloping from the White Tank Mountain foothills on the north to the south. The slopes of Tesota Hills rise at a steeper rate on the north and western portion of the site with several washes transversing this portion of the site in a north to south direction. A portion of the northwest corner of the site is designated above the fifteen percent slope line, which contains the highest elevation found on the property. Two other small knolls on the northeast corner also are above the fifteen percent line, creating a distinctive site character.

The overall area can be characterized as lower Sonoran Desert. The White Tank Mountains provide views toward the north and west with a maximum elevation of 4,083 feet. The site ranges from a high elevation of 1,750 feet at the northwest corner to low elevation of 1,120 feet near McDowell Road at the southeast corner of the site. Slopes on the site vary from approximately one (1) percent to greater than twenty-five (25) percent. Slightly more than one-half (½) the site has a slope less than five (5) percent.

### **Regional Drainage Patterns**

The Tesota Hills site is bounded by the White Tank Mountain foothills along the west and the north. The site surrounds the north end of the Buckeye Flood Retarding Structure (FRS) Number 3. The storm water runoff affecting the site consists of flow from the slopes of the

White Tank Mountains running in a southeasterly direction. The runoff is conveyed within well-defined washes, as well as rivulets and braided washes. The runoff from the south facing slopes of the White Tank Mountains are diverted southwesterly and collected along the north side of I-10 by the three Buckeye Flood Retarding Structures. Flow intercepted by the flood retarding structures is conveyed due west along the north side of I-10, eventually spilling into the Hassayampa River.

Existing drainage patterns on-site are greatly influenced by the Buckeye FRS Number 3. The FRS, constructed in the 1970s, was designed to protect downstream agricultural lands from stormwater runoff from the White Tank Mountains. The FRS was designed to convey the 100-year, 6-hour storm to the southwest where it would eventually discharge into the Hassayampa River. Although the FRS intercepts flow traversing the Tesota Hills site, the 100-year floodplain as delineated by FEMA does not significantly encroach onto the site. For the location of the 100-year floodplain, see Figure D. Therefore, the presence of the FRS does not restrict development on the Tesota Hills site. However, the Flood Control District of Maricopa County will require disclosure to future homeowners of the potential effects of living adjacent to a flood control structure.

#### **Hydrogeology/Groundwater**

The hydrogeology / groundwater for the Tesota Hills site is not critical to its development as water service will be provided by Arizona American Water Company through connection to the domestic water infrastructure developed at Verrado. According to Verrado's Community Master Plan narrative report, groundwater which exists within the boundaries of Verrado, is estimated to be located at a depth of 350 to 450 feet below the ground surface. Hydrogeologic conditions surrounding Verrado provide several options for water delivery. Per Verrado's Master Potable Water Plan dated April 12, 2002, an Application for Analysis of Assured Water Supply (AAWS) for Verrado has been submitted to the Arizona Department of Water Resources (ADWR). The AAWS was found to be complete and correct and was recommended for approval on January 17, 2002 by the Office of Assured Water Supply at ADWR.

#### **Soils/Geology**

According to the Aguila-Carefree Soil Survey published in 1986 by the U.S. Department of Agriculture, Soil Conservation Service, the Tesota Hills site is characterized by five different soil complexes. Soil complexes describe an area of two or more soils in an intricate pattern or in an area small enough that they cannot be shown separately on the soil maps. The following are the soil complexes that characterize the site.

- Pinamt-Tremant Complex – comprises the majority of the Tesota Hills site and consists of extremely gravelly sandy loam.
- Denure-Momoli-Carrizo Complex – this is the second most common occurring soil complex on the Tesota Hills site and is composed of fine sandy loam and gravelly sandy loam.
- Quilotosa-Vaiva-Rock Outcrop Complex – occurs in the steep slopes of the Tesota Hills site and consists of extremely gravelly sandy loam and rock outcrops.

- Antho-Carrizo-Maripo Complex – occurs in the flatter portions of the site on flood plains and drainageways and consists of sandy loam and very gravelly sand.
- Brios-Carrizo Complex – occurs in the slightly steeper portions of the site than the Antho-Carrizo-Maripo Complex on flood plains and drainageways and is composed of loamy sand and very gravelly sand.

The soil complexes that make up the Tesota Hills site are typified by well-drained, alluvial soils with moderate to rapid permeability. No significant, precious metal, metallic mineral or nonmetallic mineral deposits are known to occur in the area.

### **Access/Circulation**

The main ingress to Tesota Hills is McDowell Road. McDowell Road will be upgraded from what is currently a dirt road to an arterial half-street section. The new half-street will be constructed from Airport Road one-half mile to the east to the west boundary line of Tesota Hills along the McDowell Road alignment (on the east side of the Buckeye FRS Number 3). A new interchange has been constructed on Interstate 10 at Verrado Way (formerly Airport Road), which will be the main entrance into the Verrado development off of Interstate 10.

The primary circulation pattern is anticipated to be from the Phoenix metropolitan area west on Interstate 10 exiting on Airport Road, traveling north approximately one-eighth mile (1/8) to McDowell Road and then west slightly less than three-fourths (3/4) of a mile to the Tesota Hills entrance. A Master Street and Circulation Plan has been created for the Tesota Hills development and is contained in Figure E-1; Typical Roadway Cross-Sections are shown in Figures E-2 and E-3. A traffic impact study has been prepared for Tesota Hills by Task Engineering and is partially reproduced in Appendix A (the entire study has been submitted under separate cover to the Town of Buckeye).

### **Airport/Flight Patterns**

The Buckeye Municipal Airport is located to the southwest of the site, one mile south of Interstate 10 and immediately west of Sun Valley Parkway/Palo Verde Road. The most intense noise (65 Ldn) generated by the airport does not cross Interstate 10. The most northerly clear zone extends just slightly north of Interstate 10, which is approximately ten (10) miles to the southwest of Tesota Hills.

Luke Air Force Base (AFB) is located ten (10) miles to the northeast of the site. Luke AFB is a major tactical jet training facility for the U.S. Air Force. Although, Tesota Hills is located within the "Territory in the Vicinity of a Military Airport" as defined by ARS Section 28-8461, it is located approximately two and one-half (2½) miles away from the 65 Ldn noise contour. According to information received from Luke AFB, there are no major flight patterns that cross the Tesota Hills site, however the fact that the property is within the "Territory in the Vicinity of a Military Airport" will be noticed to homeowners within Tesota Hills.

### **Biological Evaluation**

A Biological Evaluation was prepared for the Tesota Hills site by SWCA, Inc. Environmental Consultants with the following objectives: 1) describe vegetation communities occurring on the site, and 2) evaluate habitat suitability for special status plant and animal species. Habitat suitability and impact determinations for special status species were based on a

qualitative comparison between the habitat requirements of each species and habitats found in the project area. The Biological Evaluation addressed a total of 15 species identified by the United States Fish and Wildlife Service as threatened, endangered or proposed endangered. All of these species were eliminated from further consideration in the report because their known geographic ranges are distant from the project area and/or the project area does not contain conditions similar to those known to be necessary to support these species.

Protected native plants classified under the Arizona Native Plant Law are present in the project area, however, no highly safeguarded plants are known to exist or were observed in the project area. The plants observed within the project area that are protected are categorized as either salvage assessed or harvest restricted. These categories do not preclude removal, however, the submittal of a Notice of Intent to Clear Land form to the Arizona Department of Agriculture will be required prior to vegetation removal activities.

The Biological Evaluation concluded through a detailed survey of the site that there are no endangered, threatened, proposed endangered or proposed threatened plants or animals known to occur on the Tesota Hills site. No additional surveys were recommended for this project. The Biological Evaluation of the Tesota Hills property is included as Appendix D. As the reports were written for each property owner, for their individual properties, Appendix D includes the entire Biological Evaluation with separate figures and cover pages specific to each property.

#### **Archaeological Survey**

An archaeological survey report of the Tesota Hills site has been prepared by SWCA, Inc. Environmental Consultants. As a part of this report, site file searches were conducted at the Arizona State Museum (ASM) and the State Historic Preservation Office (SHPO) to determine the location and content of any previously recorded sites or archaeological work within one-half mile of the project boundary. These searches revealed that there are no previously recorded sites or surveys on the Tesota Hills site.

An on-the-ground survey of the project area was conducted from September 16<sup>th</sup> to September 19<sup>th</sup>, 2002. Parallel transects spaced at 20 meter intervals were walked in both north-south and east-west directions to provide 100 percent project area coverage. No archeological sites were discovered and 20 isolated occurrences were found within the Tesota Hills site. The prehistoric artifacts found within the isolated occurrences consisted of eight ceramic and four stone artifacts.

Two separate archeological survey reports, which combined cover the entire site, were prepared for the convenience of the two groups of landowners. Figures showing the locations of the isolated occurrences and the descriptions of the occurrences for each property along with the text that is common to both reports are included as Appendix E. The reports conclude that no further work is recommended for the isolated occurrences, however, if buried cultural resources should be encountered during work within the site, all ground disturbing activities should cease until qualified archaeologists study the remains.

#### **Jurisdictional Waters Delineation**

Tesota Hills has numerous wash corridors traversing the site. The United States Clean Water Act, through the Section 404 permitting process, requires that washes "jurisdictionally

delineated" by the U.S. Army Corps of Engineers will require permitting for even minor disturbance. A jurisdictional delineation analysis has been performed by CMX on the existing washes within the Tesota Hills site. The analysis revealed that there are portions of three washes on the southwest corner of the site, and a portion of what has been called "Bulldozer Wash" in the northeast corner of the site that are proposed to be jurisdictional. The jurisdictional washes are shown in Figure D, Opportunities and Constraints Map. The proposed jurisdictional delineation for this project has been submitted to the U.S. Army Corps of Engineers for their review and concurrence. The response from the Corps of Engineers on the submittal of the jurisdictional waters delineation has been received and confirms the analysis by CMX. The washes that have been delineated as jurisdictional are shown on Figure A-1 as "Approved JD Wash".

**TESOTA HILLS  
COMMUNITY MASTER PLAN**

**I. PURPOSE AND RELATIONSHIP**

**A. PURPOSE**

Pursuant to the Town of Buckeye's Development Code, the purpose of a Community Master Plan (CMP) is to provide a means of regulating large master planned developments in the Planned Community Land Use District (PC District). A CMP establishes land use designations and regulations, densities, provisions for public facilities, design regulations, phasing schedules and procedures for administration and implementation. The PC District is intended by the Town of Buckeye to establish land uses and development standards approved by the Town of Buckeye as part of a CMP.

**B. ADOPTION VIA DEVELOPMENT AGREEMENT**

The CMP shall be adopted as part of a Development Agreement between the Town of Buckeye and the Applicant in accordance with Section 7-8-4 of the Development Code. The Development Agreement specifies all provisions and regulations needed to implement the CMP. The Tesota Hills Development Agreement is currently being drafted and will be included in a subsequent submittal of the CMP.

**C. RELATIONSHIP WITH DEVELOPMENT CODE**

The regulations and provisions for land use and property development standards contained in the CMP take precedence over regulations covering land use and property development standards in the Development Code. Administrative procedures and development standards contained in the Development Code not covered by the proposed CMP remain applicable to development within the property. In case of a conflict between the provisions of the CMP and the Development Code, the provisions of the CMP shall prevail.

**D. DEFINITIONS**

Definitions provided in the Town of Buckeye Development Code shall be utilized when interpreting this CMP unless an alternative definition is provided in Appendix G or elsewhere in this CMP, in which case, the definitions contained in this CMP shall apply. In the event of a conflict between the definitions provided in this CMP and those provided in the Town of Buckeye Development Code, the definitions in this CMP shall prevail. Definitions are provided in Appendix G, of this document.

**E. RELATIONSHIP WITH THE LAND USE DISTRICT MAP**

Pursuant to the Town of Buckeye Development Code, the CMP establishes land use designations for the property. Land uses for the property shall only be permitted, if in accordance with the CMP, unless specifically approved otherwise.

The Tesota Hills project is in conformance with the Town of Buckeye Development Code (the Code), adopted in 1996. The Town Council adopted Ordinance No. 81-00 that designated the property comprising Tesota Hills as Planned Community (PC) Land Use District in October 2000. This Ordinance amended the Land Use District Map for the Town of Buckeye. The Tesota Hills CMP is consistent with the Planned Community (PC) Land Use District established by the Code.

The Tesota Hills CMP reflects the goals and objectives of the Town of Buckeye General Plan and is consistent with its purpose and intent. Specifically, this CMP will achieve the following goals:

- Establish a defined sense of community and distinct identity.
- Create a sustainable community.
- Provide a safe and efficient system of vehicle and pedestrian transportation with a balanced hierarchy of roadways and interconnected trails.
- Preserve and enhance the master planned community's natural environment by establishing a system of integrated open spaces, parks and trails that compliment the area's character and surroundings and create a sense of distinctiveness.
- Provide accessible recreational amenities, which are practically located within walking distance of the neighborhoods.
- Include a blend of residential densities and subdivision designs that compliment the physical terrain and afford a broad setting of housing opportunities essential for a sustainable community.

**F. AMENDMENTS TO THE COMMUNITY MASTER PLAN**

Amendments to this CMP may be necessary, from time to time, to accommodate natural constraints, such as drainageway delineation or topographic conditions, to reflect changes in market conditions and development financing and/or to meet new requirements of one or more of the potential users or builders of any part of the property. When revisions or adjustments are necessary or appropriate, such revisions shall, unless otherwise required by applicable law, be effectuated as a minor revision to this CMP through the administrative approval of the Buckeye Town Manager or the assigned Town of Buckeye Land Use Administrator. After approval, such

minor revision shall be attached to this CMP as an addendum and become a part hereof. No such minor revision shall require prior notice or hearing. All major revisions shall be reviewed by the Town of Buckeye Development Board and approved by the Town of Buckeye Town Council and shall be subject to all typically applicable notice and hearing requirements.

The following are examples of major revisions:

- Any substantial alteration to the list of permitted uses of the property set forth in this CMP, as deemed to be substantial by the Town Manager or assigned Land Use Administrator.
- Except as otherwise allowed in this CMP, an increase in the overall total residential units approved for the project, or a reduction in the overall open space acreage below twenty percent (20%) of the gross property acreage.
- The transfer or reallocation of dwelling units from one residential parcel to another such that the transfer would cause either the parcel receiving the transfer to exceed the density range maximum established for that parcel or the parcel conveying the transfer to drop below the density range minimum established for that parcel (as identified in Section II. B., Land Use Budget).

The following are examples of minor revisions:

- The transfer or reallocation of dwelling units from one residential parcel to another provided the density range does not drop below the minimum or exceed the maximum established for each parcel (as identified on the Land Use Budget Figures A-1 and A-2).
- Adjustments to the open space locations and acreages within any parcel and from one parcel to another provided the total overall open space acreage does not drop below twenty percent (20%) of the total gross acreage of the property pursuant to Section II. B., Land Use Budget.
- Any minor alteration to the list of permitted uses or prohibited uses of the property set forth in this CMP, as deemed to be minor by the Town Manager or the assigned Land Use Administrator.
- Adjustments of number of dwelling units in a parcel below the minimum established in the Land Use Budget due to unavoidable constraints such as 404 delineated washes, steep topography or erosion setbacks.
- Other alterations that are deemed to be minor revisions as listed throughout this CMP.

#### **G. APPENDICES AND FIGURES**

Each Appendix and Figure referenced in this CMP is incorporated by this reference as if fully presented herein.

**II. LAND USE PLAN**

The Conceptual Land Use Plan for Tesota Hills is shown on Figure A-1. The Plan identifies the conceptual locations of various land uses in relationship with existing known constraints, as well as proposed arterial and collector roadways.

**A. LAND USE DESIGNATIONS**

The land use designations have been defined and located to a level of detail necessary to fit the character and needs of the Tesota Hills CMP. Tesota Hills will provide a range of lot sizes to create a community that emphasizes diversity in housing. Sizes and configuration of lots will provide for homes that respond to a variety of income levels, family types and lifestyles. Lot sizes and configurations will also be arranged in order to accommodate drainageway preservations, topographic, environmental and human-made constraints.

In order to ensure the variety of lot sizes required to create a diverse community, a Land Use Budget has been established as Figure A-2. The Land Use Budget describes the density ranges and target densities that will be allowed within each of the parcels within Tesota Hills. The density range for each parcel is the minimum and maximum density (dwelling units per acre) allowed for each parcel. The minimum and maximum number of dwelling units (or range) allowed on any residential parcel is shown in the Land Use Budget. Revisions to the number of lots and lot configurations for any given parcel will inevitably occur due to variables such as topography, retention requirements, open space requirements, market conditions and consumer preference. While these variables are determined during the platting process, the density range for each parcel will not change. The number of dwelling units for any residential parcel shall not drop below the range minimum or exceed the range maximum without effecting a major revision to this CMP.

Target density is the density used to calculate the maximum number of dwelling units allowed for each residential parcel without transfer of units from another parcel. Therefore, the target density assigned to each residential parcel cannot be exceeded unless dwelling units from another residential parcel are transferred to that parcel. The parcel from which density was transferred shall then hold a reduced target density to correspond to the transferred units. This flexibility in the layout of the development will allow the incorporation of natural site amenities, mainly wash corridors, hillsides and mountainsides to enhance the livability and connectivity of the community, while achieving a blend of housing choices. See Section II. B., Land Use Budget, for further explanation on density range and target density.

There are eight land use designations within Tesota Hills. These land use designations are Estate Residential (ER), Low Density Residential (LDR), Low/Medium Density Residential (L/MDR), Medium Density Residential (MDR), Commercial (COM), Special Planning Area (SPA), Open Space (OS) and PUBLIC. To further assure diversity of lot sizes, the Tesota Hills CMP has incorporated a minimum of five different lot widths with at least five-foot

differentials between widths in the Single Residence Minimum Development Standards, Table 1 Section VII. The conceptual configuration of these lot sizes are shown in Figure A-1, however this configuration may change so long as the parcel densities do not drop below the minimum or exceed the maximum density range established for each parcel. Also, no one lot size shall compose more than forty percent of the total land area. Additionally, as noted in the development standards, Table 1, no more than twenty-five (25) percent of the lots will be less than fifty (50) feet wide. These land use designations are defined as follows:

**1. Estate Residential (ER)**

Estate Residential development is intended to facilitate large, single-family sites (typically custom or semi-custom homes) often located in the steeper sloped areas and at the higher hillside elevations of the community or adjacent to the large incised wash areas in the southwest portion of the community. Estate Residential designates parcels with a density range of a minimum of 0.8 to a maximum of 1.8 dwelling units per acre. Lots may be irregular in shape and size to conform to the varied topography and other natural features. Lots in this designation also may be part of a gated community. These lots may incorporate development envelopes to ensure minimum impact to natural vegetation and features.

**2. Low Density Residential (LDR)**

The Low Density Residential designation is most suited to areas with constraints such as sloping terrain, significant vegetation and drainageways. Low Density Residential designates parcels with a density range of a minimum of 1.8 to a maximum of three (3) dwelling units per acre. This category is for single-family detached dwellings with a range of lot sizes and configurations. Irregular lot shapes may occur, however, uniformity in lot layout will be greater than in the Estate Residential designation. Lots in this designation also may be part of a gated community. Some lots may accommodate semi-custom and occasionally custom homes.

**3. Low/Medium Density Residential (L/MDR)**

The Low/Medium Density Residential designation is most suited to areas with gentle or flat slopes, without significant incised washes or vegetation. Low/Medium Density Residential designates parcels with a density range of a minimum of three (3) to a maximum of six (6) dwelling units per acre. The L/MDR designation will allow for housing diversity in owner-occupied, high amenity neighborhoods.

**4. Medium Density Residential (MDR)**

Medium Density Residential is designated for housing following the development options shown in Table 2, Section VII, such as single residence attached or detached townhomes, patio homes, clustered

dwelling and attached or detached court homes. It is anticipated that homes in these parcels will be similar to the conceptual exhibits shown in Figures A-3, A-4 and A-5. The density range for these parcels is from four and one-half (4.5) to eight (8) dwelling units per acre. In order to respond to changing consumer preferences, market conditions, or other factors and constraints, all or a portion of these parcels have the option to be converted to conventional single-family residential lots at a density consistent with the target densities of the adjacent parcels. If the conversion to single-family housing occurs, the converted parcel will be redesignated to the L/MDR category, with the corresponding density range and minimum and maximum numbers of units. This conversion will constitute a minor amendment under this CMP.

**a) Residential Permitted Uses**

- (1) Residential dwellings adhering to the development standards documented in Tables 1 and 2, Section VII, with construction / disturbance limits not extending beyond the twenty-five (25) percent slope line;
- (2) Assisted living and senior housing as a conditional use;
- (3) Publicly or privately owned and maintained parks, community gardens, recreation areas pathways, trails, and recreation centers;
- (4) Educational facilities;
- (5) Religious facilities;
- (6) Golf courses and associated facilities;
- (7) Resorts and associated facilities;
- (8) Guest houses, attached or detached as approved by the Town Manager or Land Use Administrator;
- (9) Temporary uses including sales/marketing facilities, model home complexes, and related accessory uses;
- (10) Facilities and storage, incidental to a construction project, located on the project site and properly screened;
- (11) Public utility buildings and facilities, including emergency service facilities;
- (12) Governmental uses and facilities, including parking structures;
- (13) Accessory uses and buildings as approved by the Town Manager or Land Use Administrator;
- (14) Cellular communication facilities, subject to architectural review, site plan approval and conditional use permit;
- (15) Home occupations, subject to the following:
  - The number of employees shall be limited to one non-family member or permanent resident in addition to the principal occupant;
  - Activity shall be limited to the hours between 7:00 A.M. and 7:00 P.M.;
  - Activity shall have no adverse impact on the surrounding neighborhood;
  - Heavy machinery and outdoor storage of any kind related to the home occupation shall not be permitted, along with

indoor storage of chemicals, materials or equipment not normally found in a residential area;

- Vehicle traffic flow and parking may increase by no more than one additional vehicle at a time;
- No increase in the use of any one or more utilities (water, sewer, garbage, etc.) so that the combined total use for dwelling and home occupation purposes does not exceed the average for residences in the neighborhood;
- No more than one room or twenty-five (25) percent of the gross area of one floor of said residence, whichever is less, shall be used for such purpose. Use of accessory buildings or garages for such purposes is prohibited;
- Signage of home occupations shall not be permitted.

**b) Residential Prohibited Uses**

- (1) Adult uses;
- (2) Motor vehicle repair and body shops;
- (3) Tanneries, meat packing, and slaughter houses;
- (4) Cement, gravel and paving material mixing plants.

Reference Section VII – Tables, for the single-family residential development standards, Table 1; the residential development standards allowed in Medium Density Residential (MDR) Parcels, Table 2; and residential density ranges, Table 3. The development options specify such things as setbacks, minimum lot areas, and building heights.

**5. Commercial (COM)**

Parcel 3 South has been designated as commercial and is intended to accommodate a neighborhood commercial use. As there is a significant amount of commercial area approved for Verrado just to the east of Tesota Hills and commercial use is highly likely to be proposed for the private property to the south, due to its proximity to Interstate-10, only a small amount of commercial is justifiable for Tesota Hills. In fact, Verrado has been approved for slightly more than fourteen (14) million square feet of commercial / mixed use area which corresponds to more than one hundred fifty (150) square feet per person living within Verrado at build-out. This amount is well above what can reasonably be supported by the residents of Verrado alone, therefore, the commercial designated for that community will have to appeal to residents of other communities, including Tesota Hills, to be successful. The future may very well prove that there are ample commercial opportunities to the east and south, so that the parcel designated for commercial within Tesota Hills will not be able to find an interested commercial user. Additionally, the property to the west is State Land constrained by the lack of access by McDowell Road over the Buckeye FRS Number 3, which is very likely to remain undeveloped for the foreseeable future, thus not contributing to the population needed to support additional commercial services in the area.

In order to respond to the possibility of not being able to interest a commercial user in Parcel 3 South, and so that the parcel will not remain vacant for an indefinite period of time, this commercial designation carries with it an option to convert to conventional single-family residential lots at a density consistent with the target density Parcel 1 South if after five (5) years from the date of CMP approval the commercial parcel remains undeveloped. If the conversion to single-family housing occurs, the converted parcel will be redesignated to the L/MDR category, with the corresponding density range and minimum and maximum numbers of units. This conversion will constitute a minor amendment under this CMP.

**a) Commercial – Permitted Uses**

- (1) Retail Sales including food stores, apparel, and accessory stores;
- (2) Personal service businesses, such as but not limited to, beauty shops, barber shops, laundry and dry cleaning establishments, and repair services for small appliances, watches, bicycles and similar items;
- (3) Restaurants and restaurants with bars, a restaurant with a bar is a conditional use;
- (4) Banking and financial services;
- (5) Child care facilities;
- (6) Libraries;
- (7) Educational uses;
- (8) Copying and printing businesses;
- (9) Medical and dental offices and clinics;
- (10) Veterinary offices and clinical laboratories;
- (11) Convenience uses, drive-in and drive-thru service as a part of the facility are conditional uses;
- (12) Drug stores;
- (13) Health Clubs;
- (14) Sales/leasing offices and associations;
- (15) General merchandising, including variety and specialty stores;
- (16) Home and home furnishings;
- (17) Plant nurseries, wholesale and retail;
- (18) Hardware stores;
- (19) Gas/service stations, including indoor automobile repair, outdoor auto repair as a conditional use;
- (20) Enclosed self-storage facilities;
- (21) Religious facilities;
- (22) Public and quasi-public facilities.

**b) Commercial - Prohibited Uses**

- (1) Adult uses;
- (2) Outside mechanical repair or services, unless ancillary to an enclosed use;
- (3) Motor vehicle salvage and wrecking yards;

- (4) Tanneries, meat packing and slaughter houses;
- (5) Cement, gravel and paving material mixing plants, unless temporary for on-site construction as a conditional use;
- (6) Extraction of sand, gravel, oil, gas, and other mining operations;
- (7) Industrial uses.

Reference Section VII – Tables, for the commercial development standards, Table 4.

## **6. Open Space (OS)**

This land use category includes a range of open space uses from active recreational areas to passive natural areas. These areas include floodways, drainageways, arroyos, paths and trails, natural area open space, active and passive parks, hillsides, and other private and public recreation areas. The Conceptual Open Space and Trails Plan is shown on Figure B-1. This open space, trail and path system will connect neighborhoods, parks, open space and scenic vista lookout points.

Two types of parks are planned for Tesota Hills, which includes a neighborhood park and numerous pocket parks. The neighborhood park site, approximately 6.5 acres in size, will provide local recreational opportunities and amenities such as ramadas, picnic tables, playground equipment, tot lots, open play areas, volleyball courts and sports courts. A conceptual depiction of the neighborhood park is shown on Figure B-2.

Near each neighborhood parcel, there will be a pocket park conveniently located for the neighborhood's residents. Amenities will be provided in the pocket parks and may include such items as tot lots, playground equipment, ramadas and picnic tables. Conceptual locations of the parks are shown on Figure B-1; however, the location and numbers of the pocket parks will remain conceptual until they are defined during the preliminary plat stage. Pocket parks may also provide areas of stormwater retention. A conceptual depiction of the pocket parks is shown on Figure B-3.

## **7. Special Planning Area (SPA)**

This land use category holds areas above the twenty-five percent (25%) slope line as open space preserve. The SPA will be maintained in its natural condition, with no alterations except for hiking trails and benches at the designated scenic vista lookout points. As this area will be open to the community as an actively used amenity for walking, hiking and enjoying scenic look-out points, this land use category will be considered open space for open space calculations and included in the acreage for overall density calculations.

**8. PUBLIC**

Parcel 2 South has been designated as public and is intended to accommodate a fire and emergency services station for the Town of Buckeye Fire Department. It is anticipated that this station will service the entire Tesota Hills development, the southern portions of Verrado and future developments to the south and west.

**B. LAND USE BUDGET**

The Tesota Hills Conceptual Land Use Plan, Figure A-1, conceptually identifies the locations and size of the various land use designations in this CMP. However, the determination of exact densities is governed by a complex set of parameters. These parameters include the various natural constraints on the property, such as drainage corridors, jurisdictional waters, floodplains, topographic features, archaeological resources and biological habitats. These parameters also include human-made constraints, such as easements, right-of-ways and arterial street alignments. Changing economic and market conditions also need to be taken into consideration.

The Tesota Hills Land Use Budget is the mechanism that provides the needed flexibility to allow this CMP to respond to the various parameters. The Land Use Budget will give the developer the ability to adjust and/or reallocate the designated land use locations and densities as the above parameters become known or established. This approach will provide a basis for a more integrated, balanced and appealing community layout.

Acreage and maximum residential densities for the land use designations shown on the Conceptual Land Use Plan, Figure A-1, are tabulated on the Land Use Budget, Figure A-2. The Land Use Budget identifies the various land use areas by parcel number and assigns approximated gross acreage to each parcel. Applying the density range (Tables 1 and 3, Section VII) to each residential land use parcel provides the minimum and maximum density (dwelling units per acre) allowed for each parcel. The number of dwelling units for any residential parcel shall not drop below the range minimum or exceed the range maximum without effecting a major revision to this CMP.

Applying the target densities identified on Land Use Budget, Figure A-2, to each residential land use parcel determines the maximum number of dwelling units allowed without transfers from another residential parcel. The parcel from which density was transferred shall then hold a reduced target density reflecting the transferred units. Revisions to the number of lots and lot configurations for a given subdivision will inevitably occur. As these necessary revisions are determined during the platting process, the actual density of the parcel may change, but the density range for the parcel will not. In no case, shall the maximum dwelling units allowed, shown on Figure A-2, be exceeded without a major revision to this CMP.

The detailed information provided on Figures A-1 and A-2, specifically the location and acreage of the various open space uses, is for conceptual

planning purposes only and is not to be construed as the actual site-specific location and acreage of open space approved for this CMP. The actual site-specific information will be defined, once the drainageway delineations are determined, and preliminary platting has been completed. Any changes to the location and acreage of the open space will be made pursuant to Section II. B. 2 below.

**1. Land Use Density – Residential**

The residential density shall be defined as the number of dwelling units divided by the number of acres contained within a parcel. The density calculation includes all areas planned for residential use, common areas, open space areas, street rights-of-way (excluding half-street right-of-way for McDowell Road) and drainage retention/detention areas. The reallocation of residential dwelling units from the allocations as shown on Figure A-2, the Land Use Budget, shall be subject to the following provisions:

**a) Residential Land Use Density Transfers**

Tesota Hills developers/builders may transfer residential dwelling units from one residential parcel to another and amend the budget allocation (as identified on Figure A-2, the Land Use Budget) subject to approved documentation as required in item (b) below. Reallocation of dwelling units in accordance with this section shall not be considered as a major change to this CMP pursuant to Section I. G., as long as the residential parcels affected by the transfer remain within the density range (minimum and maximum number of dwelling units per acre) established for each parcel per the Land Use Budget, Figure A-2.

**b) Residential Documentation of Density Transfer**

Any submittal to the Town of Buckeye Town Manager or the assigned Town of Buckeye Land Use Administrator which includes a request for a density transfer shall include: (1) the written consent of the Tesota Hills Land Owner(s); and (2) documentation which sets forth the reallocation of residential dwelling units within the Land Use Budget and which indicates the parcels that have a reduction or increase in the number of dwelling units. At the time of preliminary plat or development site plan approval, the developer shall submit to the Town of Buckeye Town Manager or Administrator documentation for inclusion in the Land Use Budget indicating the final status of intensity of the affected parcels. Regardless of any reallocation, the developer shall not exceed the density range (minimum and maximum number of dwelling units per net acre) allowed for each residential parcel as set forth in the Land Use Budget, Figure A-2, without prior amendment of this CMP pursuant to Section I. G.

**2. LAND USE ACREAGE – COMMERCIAL**

Because of Tesota Hills' location close to the commercial opportunities of Verrado and the more commercially viable private property to the south adjacent to Interstate-10, a very limited amount of commercial acreage is proposed for Tesota Hills. The reallocation or transfer of commercial acreage from the allocations as shown on Figure A-2, the Land Use Budget, shall be subject to the following provisions:

**a) Commercial Location**

Parcel 3 South has been designated as commercial and is intended to accommodate a neighborhood commercial use.

**b) Commercial Acreage Transfers**

Although Parcel 3 South was determined to be the most appropriate location for commercial land use, market conditions, phasing and development of adjacent properties may influence its ultimate location within Tesota Hills. The owner of any portion of the property may transfer commercial acreage, equal to or greater than the acreage of Parcel 3 South, and amend the budget allocation as identified on the Land Use Budget, Figure A-2, subject to approved documentation as required in item (c) below. Reallocation of commercial acreage in accordance with this Section shall not be considered a major revision to the CMP pursuant to Section I. F.

**c) Documentation of Commercial Acreage Transfers**

Any submittal to the Town Manager or Land Use Administrator which includes a request for an acreage transfer shall include: (1) the written consent of the land owner(s); and (2) documentation which sets forth the reallocation of commercial acreage within the Land Use Budget and which indicates the parcels that are affected. At the time of preliminary plat or development site plan approval of an affected parcel, the developer shall submit to the Town Manager or Land Use Administrator documentation for inclusion in the Land Use Budget indicating the final status of acreage of the affected parcels and/or planning units. Regardless of any reallocation, developer shall not decrease the total commercial acreage as set forth in per the Land Use Budget, Figure A-2, without prior amendment of the CMP pursuant to Section I. F.

**3. LAND USE ACREAGE – OPEN SPACE**

An estimated twenty percent (20%) to thirty percent (30%) of Tesota Hills acreage will be preserved as open space within the Open Space and Special Planning Area designations. The ultimate size and location of open space parcels will be defined at the preliminary subdivision platting stage. The amount of open space within any given parcel will vary depending on the finalized locations and sizes of the various open space uses. However, in no case will the total open space acreage in Tesota Hills drop below twenty percent (20%).

The adjustment of open space acreage will be documented, as the size and location of the various open space uses are identified and as the parcels are developed. The adjustments of the estimated open space location and acreage as depicted on the Land Use Budget, Figure A-2, shall be subject to the following provisions:

**a) Open Space Locations**

The site-specific location and size of each open space use within Tesota Hills will be established in the preliminary plat, which is required to be submitted pursuant to Section IV.

**b) Open Space Acreage Adjustments**

The open space uses and acreage on any portion of Tesota Hills may be adjusted from the estimated open space as identified on the Land Use Budget, Figure A-2, subject to approved documentation as required in item (c) below. Adjustments to the open space uses, locations and acreages in accordance with this section shall not be considered as a major revision to this CMP pursuant to Section I. G., as long as the total open space acreage does not drop below twenty percent (20%) of the gross acreage of Tesota Hills.

**c) Open Space Documentation of Acreage Adjustments**

Any submittal to the Town of Buckeye Town Manager or Buckeye Administrator which includes an adjustment to open space location and/or acreage shall include the documentation which sets forth the adjustment of open space use within the Land Use Budget and which indicates the parcels that have an adjustment in the open space use location and/or acreage. At the time of preliminary plat or development site plan approval, the Tesota Hills Developer shall submit to the Buckeye Town Manager or Buckeye Land Use Administrator documentation for inclusion in the Land Use Budget indicating the final status of open space acreage of the affected parcels. Regardless of any adjustments, the developer shall not decrease the overall open space use acreage below twenty percent (20%) of the total gross acreage of Tesota Hills without prior amendment of this CMP pursuant to Section I. G.

**III. MASTER PLANS AND REPORTS**

Development of this CMP requires planning for both public and private infrastructure, as well as planning for actual development, which such infrastructure supports. It is anticipated that infrastructure planning will occur at varying times and levels of detail, depending on the nature and geographic scope of the planning objectives. This CMP identifies two levels of infrastructure planning, 1) project master plans, the foundation for more detailed studies and 2) preliminary plats.

Project master plans in conjunction with their respective reports are required by the Town of Buckeye as part of this CMP approval and provide community-wide infrastructure plans for Tesota Hills. The project master plans and associated reports are intended to identify constraints, provide overall concepts, establish design guidelines and become the foundation for more detailed studies, which shall be prepared with each parcel of development.

Each parcel of development through the preliminary plat process will be required to update the master plans and reports to incorporate more detailed topographic data, the detailed land planning of that parcel and prior adjacent parcels, and the sequence of development. In addition, plans and studies will be submitted as necessary showing that they are in conformance with the assumptions and guidelines reflected in the project master plans and reports. The concepts and design guidelines provided within the master plans and reports shall not be altered without an amendment to Tesota Hills' CMP according to Section I. G., and approved by the Town of Buckeye staff.

Appendices, figures and reports submitted under separate cover which set forth the various required site plans and studies are incorporated into this CMP, as if fully set forth within this CMP.

**A. CONCEPTUAL OPEN SPACE AND TRAILS PLAN**

The foundation of the Tesota Hills community is the site's abundant natural amenities. Tesota Hills will take advantage of the site's natural and open space features, mainly wash corridors, hillsides and mountainsides, the preservation and/or improvement of which are a cornerstone of the CMP, to create community connections and allow nature to be part of the future resident's way of life.

The wash corridors, drainageways and scenic mountain vistas are the basis of the general layout of the overall open space, trail and path system. This open space, trail and path system will, in turn, connect neighborhoods to the neighborhood park, open space areas and scenic vista lookout points. In this manner, the conceptual open space and trails plan provides an important part of the overall circulation system and provides alternative transportation opportunities for the community.

The goals of the Conceptual Open Space and Trails Plan include:

- Providing community character

- Providing community connectivity
- Providing recreational opportunities
- Providing continuous open space
- Enhancing the community's quality of life
- Increasing property value
- Providing alternative transportation opportunities
- Providing wildlife corridor connections

In addition to the extensive trails system planned for the community, open space will also include a neighborhood park, and several pocket parks, all strategically located so they connect to the trails system. The various components of the Open Space and Trails System are identified described below:

## **1. TRAILS SYSTEM**

The Conceptual Trails System consists of two (2) types of corridors: pathways and trails. The pathways and trails will utilize wash corridors as well as tie into the community street system, and where possible, will have significant separation from vehicular traffic. The Conceptual Open Space and Trails Plan, including an example cross-section for the trails, is set forth in Figures B-1 and B-4. The final trail locations and design criteria shall be defined in the individual parcel plats pursuant to Section IV. A. of this document.

### **a) Pathways**

The pathway system that consists of both bike lanes and sidewalks will be located in areas of more intense land uses where more people would be using the system. Pathways will be aligned along major roadways and drainageways and will also meander within open space areas. Pathways will connect neighborhoods to neighborhoods and neighborhoods to the parks. Pathways will have solid, paved surfaces, consisting of concrete, asphalt, pavers, brick or other similar materials. The pathway system will include:

- (1) Pedestrian Pathway (sidewalk), a minimum of 4 ft. to 6 ft. and paved, and used for walking.
- (2) Bike lanes, a minimum of 5 ft. to 6 ft. and paved, within the road right-of-way and used for bicycling.

### **b) Trails**

The trails system will be located in natural areas, such as wash corridors, hillsides and mountainsides and in the vicinity of less intense land uses. Trails will link neighborhoods to the site's natural and open space areas and will provide views to the site's natural features. Trails will be soft, unpaved surfaces consisting of decomposed granite, fibrous material, soil cement, compacted soil, gravel, sand or other similar materials.

The trail system will include unpaved natural trails, approximately 6 ft. wide used for walking, jogging, running, etc. Except in areas of steeper slopes where the unpaved trail will be used for hiking, the width shall be reduced to approximately 3 ft.

## **2. PARKS**

The open space system within Tesota Hills will contribute to the creation of a strong sense of community. Parks within the open space system will be designed to meet a variety of active and passive recreational needs. Each park will be programmed individually in terms of size, amenities, landscaping and, where appropriate, incorporation of natural features and retention basins. Conceptual locations of parks are shown on the Open Space and Trails System Plan, Figure B-1.

Two basic types of parks are planned for Tesota Hills; these are a neighborhood park and pocket parks. The neighborhood park site, approximately six and one-half (6.5) acres in size, will provide local recreational opportunities and amenities such as ramadas, picnic tables, playground equipment, tot lots, open play areas, and volleyball and sports courts. A conceptual depiction of the neighborhood park is shown in Figure B-2.

Pocket parks will be provided per the Open Space and Trails System Plan, Figure B-1. The pocket parks will be distributed at convenient locations within the neighborhood to provide for the passive and/or active recreational needs of the immediate neighborhood area. Amenities will be provided in the pocket parks and may include such items as tot lots, playground equipment, ramadas and picnic tables. A conceptual depiction of the pocket parks is shown in Figure B-3.

Design criteria for each park type will be defined in the Open Space and Trails Plan pursuant to Section IV. A. of this document.

## **B. MASTER PUBLIC FACILITIES PLAN**

### **1. SCHOOLS**

The Property is currently within the boundaries of the Saddle Mountain Unified School District (SMUSD), formerly called the Ruth Fischer School District. As Tesota Hills is in the extreme southeast corner of the District, the closest existing SMUSD educational facility (currently the only school in the District) is the Ruth Fischer School (K-8), located just north of Interstate 10 at the Wintersburg Road exit in Tonopah. This school is approximately twenty-five (25) miles from Tesota Hills; therefore, it is not practical to plan for the future students living in the community to endure a fifty (50) mile commute each day. Because the SMUSD has a future school site within the second phase of Verrado, they are not requiring another school site within Tesota Hills.

Numerous meetings have been held with the various school districts in the vicinity of Tesota Hills regarding defining a practical plan to meet the future educational needs of this community. The Developer has consulted with the Superintendent of the SMUSD, as well as the Litchfield Elementary School District (LESD), and the Agua Fria Union High School District (AFUHSD). The SMUSD plans on opening a new school within Verrado in 2005 or 2006, and at that time, according to the Superintendent at the SMUSD, it could serve the students in Tesota Hills. However, until that school is built, the LESD and the AFUHSD have indicated that they can accommodate the educational needs of Tesota Hills within the framework of open enrollment. If the SMUSD ultimately builds a K-8 school in Verrado, the students at Tesota Hills could continue to attend the AFUHSD for grades 9-12.

The Developer is currently working with the various school districts to arrange donations that would mitigate any burdens placed upon the districts by the project. The donations, which would be made at the time of each house closing, would be similar in amount to that being made by other Town of Buckeye projects, and would be directed to the appropriate districts serving the students at the time of each house closing.

**2. FIRE AND EMERGENCY SERVICES**

A fire and emergency services station has been located at Parcel 2 South. This location has been determined as part of a coordinated effort between the Town, the Developer, and adjacent landowners to ensure the most efficient placement of the fire and emergency services station. It is anticipated that this station will serve the entire Tesota Hills development, the southern portions of Verrado and future developments to the south and west.

**C. MASTER DRAINAGE PLAN AND REPORT**

The master drainage report provides a conceptual hydrologic and hydraulic analysis of Tesota Hills' existing and proposed drainage system and sets guidelines for development of the CMP property.

The design guidelines of the master drainage report include the following:

1. Accept upstream drainage in its historical condition;
2. Release runoff downstream at its historical location with no increase in peak runoff (unless easements or other rights are obtained);
3. Protect in place and utilize natural washes where practical for conveying runoff;
4. Provide mitigation acceptable to the United States Army Corps of Engineers for the natural washes that cannot reasonably be saved;

5. Flood Control measures shall be approved by the Town of Buckeye and shall comply with the requirements of the United States Army Corps of Engineers, and to the extent they are not superceded by the Corps of Engineers or the Laws and Regulations, the requirements of the Maricopa County Flood Control District.
6. Provide detention/retention basins, stormdrain and landscaped drainageways as necessary to assure:
  - a) Peak runoff leaving Tesota Hills does not exceed the predevelopment peak runoff.
  - b) Detention / retention basin sizing will provide the necessary volume for the 100-year, 2-hour rainfall event.
  - c) The 100 year peak runoff must be contained within the street right-of-way, and finished floors must be at least 12 inches above the computed 100-year water surface elevation.

Figure G, the Master Drainage Plan, identifies major drainageways and floodplains within Tesota Hills. The Master Drainage Plan and Study for this CMP is submitted under separate cover. A detailed and refined drainage analysis for each subdivision will be completed with submission of each preliminary plat.

**D. MASTER STREET AND CIRCULATION PLAN AND TRAFFIC REPORT**

The Master Street and Circulation Plan for Tesota Hills is set forth in Figure E-1. Roadway standards applicable to Tesota Hills, including roadway classifications for major and minor arterials, collectors, and local streets, are set forth in Figures E-2 and E-3. The phased development of the internal street network will be based on traffic volumes on arterial and collector streets within Tesota Hills and shall be in accordance with the "Master Traffic Analysis" prepared by Task Engineering, which will be submitted under separate cover.

Conceptual locations of major roadways within Tesota Hills are provided in the Master Traffic Analysis. The Analysis has determined that traffic disperses in such a way that it can be accommodated on the internal roadways and connecting arterial system with recommendations cited within the Analysis. A connection at Encanto Boulevard to the east into the Verrado development has been removed from the Tesota Hills Master Plan at the request of Verrado's developer. The recommendations for the future transportation system needs are reflected in Figure E-1. The future transportation system as recommended by the Analysis, not only serves the needs of Testota Hills, but surrounding communities as well. The design and locations of street and circulation improvements shall be further defined pursuant to Section IV of this document, upon submittal of a preliminary plat.

**E. MASTER POTABLE WATER SYSTEM PLAN AND STUDY**

The Master Potable Water Report is submitted under separate cover and is incorporated by this reference. The Master Potable Water Report presents the concept of tying into the Arizona American Water Company (AAWC) system being constructed by DMB for the Verrado master planned community. The water infrastructure needed to provide potable water service to the property will be extended from Verrado as a part of the Tesota Hills development. A water and sewer franchise election was held in the Town of Buckeye on September 10, 2002, which included Tesota Hills within AAWC's service area. The passage of the franchise election paved the way for filing an expansion of AAWC's Certificate of Convenience and Necessity with the Arizona Corporation Commission to include Tesota Hills. Once this is accomplished, AAWC will have the authority to be the water and wastewater service provider for Tesota Hills. The Town attorney will review this agreement.

Studies are now ongoing in order to define the optimal way of connecting to Verrado's water infrastructure. The actual details involved in the connection will be worked out through the platting process. The conceptual location and sizes of water infrastructure needed to support Tesota Hills are shown in the Master Potable Water Plan, submitted under separate cover. Design and locations of all water improvements shall be defined in each plat, which is required to be submitted pursuant to Section IV. of this document.

**F. MASTER WASTEWATER SYSTEM PLAN AND STUDY**

The Master Wastewater System Report, as submitted under separate cover, is incorporated by reference. Similar to the water infrastructure, the Master Potable Wastewater System Report presents the concept of tying into the Arizona American Water Company (AAWC) system being constructed by DMB for the Verrado master planned community. The wastewater infrastructure needed to provide sewage disposal service to the property will extend to Verrado as a part of the Tesota Hills development. Final design and locations of wastewater improvements shall be defined in each plat required to be submitted pursuant to Section IV. of this document. While studies are now ongoing to define the optimal connection to Verrado's wastewater infrastructure, Figure G, Master Wastewater Plan, shows the conceptual location and sizing of the sewer lines.

**G. MASTER PHASING PLAN**

The development planned for Tesota Hills, including the infrastructure, public facilities and other community amenities is intended to be carried out in phases over a number of years. Development is contemplated to progress in phases, that may or may not develop concurrently, and/or in phases that may not be contiguous. It is anticipated that the property will be divided into phases of between 350 to 500 dwelling units each. The boundaries of each phase and the sequence for development of the infrastructure and amenities shall be identified in each preliminary plat required pursuant to Section IV. of this document.

The phases, when determined, shall be subject to modification by Developer based upon changing residential real estate market conditions, industry factors and/or business considerations. Additionally, Tesota Hills is currently owned by two separate entities (one owning the northern portion of the site and one owning the southern portion) that may phase developments in each area differently. Any such modifications to the phases shall not necessitate an Amendment to this CMP, but shall be retained in the Town's official file for the project. The Conceptual Master Phasing Plan, Figure H shows the conceptual plan of phasing Tesota Hills at the time of writing this CMP.

**IV. LAND SUBDIVISION AND DEVELOPMENT SITE PLAN PROCEDURES AND PROVISIONS**

The procedures and requirements for property development contained in this CMP take precedence over regulations covering property development in the Town of Buckeye Development Code. Administrative procedures and development standards contained in the Development Code not covered by this CMP remain applicable to development within Tesota Hills. In the event of a conflict between the provisions of this CMP and the Town of Buckeye Development Code, the provisions of this CMP shall prevail.

**A. LAND SUBDIVISION**

**1. General Provisions**

Land to be subdivided shall be of such character that it can be used for building purposes without danger to health or peril from fire, flood or other menace, and land shall not be subdivided until available public facilities and improvements exist and/or proper provision has been made for drainage, water, wastewater, streets and public facilities as specified in the applicable preliminary plats required to be submitted pursuant to Section IV.

**2. Street Naming**

The developer(s) shall indicate street names for public streets on all preliminary plats by projecting the existing north-south and east-west street names that fall in alignment. The developer(s) shall have the authority to establish street names when no current street names are in alignment. The Town of Buckeye will review and approve any new street names to make sure there is not a duplication of names elsewhere.

Street name signs shall be placed at all street intersections by the developer(s) and shall be in place when street paving is in place.

**3. Land Splits**

- a) Land splits are regulated for the purpose of ensuring each parcel of land within the Town of Buckeye has sufficient public access, provision for water and waste disposal, adequate parcel size and dimensions for the use intended and availability of public services.
- b) Tesota Hills is owned by more than one entity. Owners shall have the right to sell their parcels separately, however all property is held subject to the CMP. All parcels denoted as "North" in Figure A-1, Conceptual Land Use Plan, are owned separately from those parcels denoted as "South".

- c) The following requirements shall be met for any land split within the jurisdiction of this CMP:
  - (1) Parcel size and dimensions shall meet the requirements of the applicable development options.
  - (2) Adequate access for ingress/egress shall be provided.
  - (3) Adequate provision for utilities, including electric, water and wastewater service shall be available and such availability shall be indicated on a survey submitted with a request for a land split.
- d) A request for a land split shall be approved by the Town of Buckeye Planning Director if the application meets all the requirements as stated in this section.

**4. Preliminary Plat**

**a) Significance of Preliminary Plat Approval**

Preliminary plat approval constitutes authorization to proceed with preparation of the final plat and the engineering plans and specifications for public improvements. Preliminary plat approval is based on the following terms:

- (1) The basic conditions under which approval of the preliminary plat is granted will not be substantially changed prior to the expiration date of the preliminary plat.
- (2) Approval is valid for a period of eighteen (18) months from the date of the Town of Buckeye Development Board approval to the date of submittal to the Town of Buckeye of a final plat. The final plat submitted, which validates the preliminary plat, may be the entire area or a portion of the area covered by the preliminary plat. Six (6) month extensions of the preliminary plat approval may be granted by the Town of Buckeye Development Board upon receipt of a letter from the applicant, prior to the expiration date, indicating proper cause.

**b) Required Information For Preliminary Plat**

The information required as part of the preliminary plat submittal shall be shown graphically, by note on plans, or by written report, and may comprise several sheets showing various elements of required data. All mapped data for the same plat shall be drawn at the same standard engineering scale, said scale having not more than one hundred (100) feet to an inch. Whenever practical, the scale shall be adjusted to produce an overall drawing sheet measuring twenty-four (24) by thirty-six (36) inches.

**(1) Identification and Descriptive Data**

- Proposed name of subdivision and its location by section, township and range; reference by dimension and bearing to a section corner or quarter section corner.
- Name, address and phone number of applicant.
- Name, address and phone number of person preparing plat.
- Scale, north point and date of preparation, including dates of any subsequent revisions.
- A location map which shall show the relationship of the proposed subdivision to existing community facilities which serve or influence it, including main traffic arterials, public transportation lines, shopping areas, elementary and high schools, parks and playgrounds and churches. This map may be on the preliminary plat if practicable, or if not, a separate map showing title, scale, north point and site data.
- Identification of applicable Residential Development Option as shown in Table 1, Section VII.

**(2) Existing Conditions Data**

- Topography by contours or spot elevations related to U.S.G.S. survey datum, or other datum approved by the Town Engineer, shown on the same map as the proposed subdivision layout. Contour intervals shall be such as to adequately reflect the character and drainage of the land.
- Location of water wells, streams, canals, irrigation laterals, private ditches, washes, lakes or other water features; direction of flow; location and extent of areas subject to inundation, whether such inundation be frequent, periodic or occasional.
- Location, widths and names of all platted streets, railroads, utility right-of-way of public record, public areas, permanent structures to remain, including Town of Buckeye utilities and municipal corporation lines within or adjacent to the tract. Two (2) copies of a preliminary title report showing the above shall be submitted.
- Name, book and page numbers of adjacent subdivisions, along with county assessor number of all adjacent parcels having a common boundary with the tract.
- By note, the existing land use district classification of the subject and surrounding tracts.
- By note, the acreage of the subject tract.
- Boundaries of the tract to be subdivided shall be delineated and fully dimensioned.
- By note, reference to the recorded master covenants, conditions and restrictions for Tesota Hills.

**(3) Proposed Conditions Data**

- Street layout, including location, width of public and private streets, alleys, crosswalks, centerline geometry and easements; connections to adjoining platted lots.

- Typical lot dimensions (scaled); dimensions of all corner lots and lots of curvilinear sections of streets; each lot numbered individually; total number of lots.
- Locations, width and use of easements.
- Designation of all land to be dedicated or reserved for public use with use indicated.
- Typical lot details showing proposed setbacks.
- Proposed water, sewer and non-potable water lines with respective sizes; locations of valves and fire hydrants.

**(4) Proposed Utility Methods**

- Statement as to the type of wastewater disposal facilities and effluent re-use facilities, in general conformance to the Tesota Hills Master Wastewater System Plan and Study.
- Statement as to type of potable water facilities and the existence of a one hundred (100) year assured water supply as required by the Arizona Department of Water Resources, in general conformance with the Tesota Hills Master Potable Water System Plan and Study.
- Preliminary Drainage Report, which includes hydrologic calculations, the layout of, proposed drainage system and locations of retention/detention areas.
- An hydraulic analysis of the proposed water system prepared by a registered engineer which demonstrates that minimum fire flow and water service criteria will be met.
- A sewer report by a registered engineer which demonstrates that all lots within the proposed subdivision can be served while meeting AAWC's minimum requirements for pipe slope and depth.
- Statement as to provision of other utilities being supplied to the plat area such as electric, phone, gas and irrigation.

**5. Final Plat**

**a) General Requirements For Filing**

- (1) The final plat shall substantially conform to the approved preliminary plat.
- (2) Land uses proposed shall be in conformance with this CMP.
- (3) Prior to the filing of the final plat, the applicant shall obtain approval from the applicable utility interests for easement location and width as required for utility purposes.

**b) Required Information For Final Plat**

The final plat shall be a photographic mylar having a left-hand margin of two (2) inches on a sheet size of twenty-four (24) by thirty-six (36) inches. If more than two (2) sheets are required for the drafting of the final plat, an index sheet shall be filed showing

the entire subdivision on one sheet and the portion thereof contained on the other sheets. Copies of the final plat shall be reproduced in the form of blue or black line prints/copies on a white background. The final plat shall be drawn to a scale not to exceed one (1) inch equals one hundred (100) feet from an accurate survey.

**(1) Identification Data Required**

- A title, which includes the name of the subdivision and its location by number of section, township, range and county.
- Name, address and registration number of seal of the registered civil engineer or registered land surveyor preparing the plat.
- Scale, north arrow and date of plat preparation.
- A legal description of the property to be subdivided shall be shown on the cover sheet.

**(2) Survey Data Required**

- Boundaries of the tract to be subdivided fully balanced and closed, showing all bearings and distances; determined by an accurate survey in the field. All dimensions shall be expressed in feet and decimals thereof.
- Any excepted parcel(s) within the plat boundaries shall show all bearings and distances, determined by an accurate survey in the field. All dimensions shall be expressed in feet and decimals thereof.
- Location and description of cardinal points to which all dimensions, angles, bearings and similar data on the plat shall be referenced; each of two (2) corners of the subdivision traverse shall be tied by separate course and distance to separate section corners or quarter section corners.
- Location of all physical encroachments upon the boundaries of the tract.

**(3) Descriptive Data Required**

- Name, right-of-way lines, courses, lengths, width of all public streets, crosswalks and utility easements; radii, points of tangency and central angles of all curvilinear streets; radii of all rounded street line intersections.
- All drainageways shall be shown on the plat. The rights-of-way of all major drainageways, as designated by the Town of Buckeye Town Engineer, shall be dedicated to the public.
- All easements for rights-of-way provided for public services or utilities and any limitations of the easements. Construction within the easement shall be limited to utilities and wood, wire or removable type fencing.
- Location and dimensions of all lots.

- All lots shall be numbered by consecutive numbers through the plat. "Exceptions", "tracts" and "private parks" shall be so designated, lettered or named and clearly dimensioned.
- Location, dimensions, bearings, radii, arcs and central angles of all sites to be dedicated to the public with the use clearly indicated.
- Location of all adjoining subdivisions with date, book and page number of recordation noted, or if unrecorded or unsubdivided, so marked.
- The recorded Tesota Hills Master Covenants, Conditions and Restrictions shall be referenced on the final plat.

**(4) Dedication and Acknowledgement**

- **Dedication:** Statement of dedication of all streets, crosswalks, drainageways, pedestrian ways and other easements for public use by the person(s) holding title of record, by persons holding titles as vendees under land contract, by spouse of said parties, lienholder and all other parties having an interest in the property. If lands dedicated are mortgaged, the mortgagee shall also sign the plat. Dedication shall include a written location by section, township and range of the tract.
- **Acknowledgment of Dedication:** Execution of dedication acknowledged and certified by a notary public.

**(5) Required Certification**

- Certification by the registered civil engineer or registered land surveyor making the final plat, that the final plat is correct and accurate and that the monuments described in it have either been set or located as described. The certificate shall be accompanied by the signature and seal of such civil engineer or surveyor.
- Certification by the Town of Buckeye Planning Director that all lots shown upon the final plat conform to this CMP and are suitable for the purpose for which they are subdivided.
- Certification by the Town of Buckeye Town Engineer that all engineering conditions and requirements of this CMP have been complied with.
- Certification by the Town of Buckeye Town Clerk of the date the final plat was approved by the Town of Buckeye Town Council.
- Certification of recordation by the Maricopa County Recorder.

**6. Subdivision Design Standards**

All subdivisions within Tesota Hills shall meet or exceed the minimum development standards set forth in this CMP.

**7. Engineering and Construction Plans**

It shall be the responsibility of the applicant to have prepared by a registered professional engineer who is licensed to practice in the State of Arizona the following items.

- a) A complete set of engineering plans for the construction of all required subdivision improvements;
- b) A final drainage report in accordance with all applicable Town of Buckeye codes and this CMP;
- c) A hydraulic analysis of the proposed water system, which demonstrates that minimum fire flow and water service criteria will be met.
- d) A sewer report, which demonstrates that all lots within the proposed subdivision can be served while meeting AAWC's minimum requirements for pipe slope and depth.

Items a through d above shall be in conformance with the approved preliminary plat and preliminary drainage report. The Town of Buckeye Engineer shall approve the engineering plans, final drainage report, hydraulic analysis of the water system and sewer report unless they fail to conform with one or more requirements of this CMP, or the plans differ substantially from the approved preliminary plat and preliminary drainage report.

**8. Responsibility for Public Improvements**

**a) Financial Guarantee**

The Town of Buckeye Council shall require the applicant to guarantee that all required improvements will be completed in a manner satisfactory to the Town of Buckeye. The applicant may use either of the following methods of assurance:

- (1) A performance bond, an irrevocable letter of credit, assurance of construction of subdivision improvements, funds in a restricted escrow account or other financial guarantee approved by the Town of Buckeye Town Attorney prior to the recordation of the final plat.
  - The financial guarantee shall be one hundred (100) percent of the cost of the labor and materials necessary to complete the required subdivision improvements, based upon a construction cost estimate prepared by a registered professional engineer who is licensed to practice in the State of Arizona and approved by the Town Engineer.
  - The period within which required improvements must be completed shall be specified and shall not exceed two (2) years from the date of final plat approval.

- (2) As an alternative procedure, after Town of Buckeye Town Council approval of a final plat and the Town of Buckeye Planning Director may record the final plat but withhold the issuance of a certificate of occupancy until such time that all required subdivision improvements have been completed. However, certificates of occupancy shall be granted for model homes prior to completion of improvements as long as fire protection and paved access have been provided to the model(s). In no case shall a certificate of occupancy be issued if uncompleted work poses a health or safety concern.

In the event the developer desires to have a certificate of occupancy issued for a home prior to the completion of all improvements, such certificates of occupancy shall be granted as long as a financial guarantee as allowed in 8 a) (1) above, for the estimated amount of the improvements remaining to be completed, is put in place to replace the hold on the certificates of occupancy.

- (3) The Town of Buckeye shall use its best efforts within thirty (30) days from the date of the completion and acceptance of the required improvements, as defined in the following Section, Inspection of Improvements, release (or in the case of a letter of credit, accept a substitute letter of credit) such financial guarantee posted for the accepted improvements.

**b) Inspection of Improvements**

Prior to the approval of the required improvements by the Town of Buckeye Town Engineer, an engineer retained by the applicant shall certify to the Town that all facilities and improvements to be dedicated to the Town of Buckeye have been constructed in accordance with the requirements of this CMP and applicable provisions of the Buckeye Development Code. The Town of Buckeye Town Engineer shall also inspect all required improvements and certify that they comply with all specifications as set forth in the approved improvement plans. Such certification shall constitute acceptance of the required improvements by the Town of Buckeye. Any inspection expenses incurred by the Town of Buckeye shall be reimbursed by the applicant.

**c) Warranty of Improvements**

The applicant shall post a performance bond or other sufficient warranty to guarantee all of the required improvements or public facilities against defective workmanship and for materials for a period of one (1) year from the date of acceptance of such improvements or facilities. The performance bond or other warranty shall be for an amount no less than five percent (5%) of the construction cost of the improvements to be warranted.

**B. DEVELOPMENT SITE PLANS**

Development site plans shall be required for all developments within Tesota Hills with the exception of subdivision plats and single-family homes. Development site plans shall be submitted to and approved by the Town of Buckeye Development Board prior to issuance of a building permit upon showing that the development site plan meets the development standards of the applicable development option as set forth in this CMP. Approval of the building permit shall not be subject to the provision of Section 7-8-4.c of the Town of Buckeye Development Code, unless the use is designated as a Conditional Use in the list of permitted uses.

**V. GENERAL LAND DEVELOPMENT STANDARDS**

The purpose of general development standards contained in this CMP is not to restrict imagination, innovation or variety, but rather to assist in focusing on those elements of design which can produce creative solutions that will develop a satisfactory visual appearance, preserve property values, limit incompatibilities and promote the public health, safety and general welfare.

The use, construction, improvement or other development of any portion of the Tesota Hills shall be subject to all the property development standards contained in this CMP.

**A. SETBACK AND HEIGHT EXCEPTIONS**

1. Structure projections (bay windows, balconies, overhangs, etc.) will be allowed to extend three (3) feet beyond any setback line provided that no projection is nearer than three (3) feet of property line. Further projections may be allowed by the Town of Buckeye Planning Director for building over two (2) stories provided that such projections will not adversely impact adjacent properties.
2. The height regulations of this CMP shall not apply to component of signature architecture, elevator bulk heads, water tanks, cellular/digital communication facilities, ornamental towers or necessary mechanical structures provided that the above features do not exceed seventy-five (75) feet in height from finished grade for all development options. If such features are attached to a building, they shall not occupy a horizontal area in excess of twenty-five (25) percent of the entire roof area of the building.

**B. RESIDENTIAL ACCESSORY BUILDINGS (including detached guest houses)**

1. Accessory buildings shall not: exceed the height of the primary residence; if detached, be located within ten (10) feet of the primary residence and/or be constructed prior to the construction of the primary residence.

**C. AIR QUALITY**

1. Air quality within the Town of Buckeye is a natural asset. It is the intent of this CMP to maintain air quality by controlling dust caused by new development and motor vehicle traffic.
2. Each preliminary and final plat shall include a statement of conformance with the state air quality plan, as developed by the Maricopa Association of Governments (MAG), for all proposed transportation improvements.
3. Maricopa County air quality regulations shall be adhered to for all construction activities on Tesota Hills property.

4. Development plans shall be designed to reduce traffic flows and encourage efficient traffic circulation.
5. Vacant property which is not in its natural vegetative state and which was not disturbed prior to the adoption of this CMP shall be controlled to minimize dust emissions beyond the boundaries of the site.
6. Air blowers used for landscape maintenance having a fifty (50) cubic centimeter engine or larger shall be prohibited.

**D. BUILDING CONSTRUCTION**

1. All construction or work for which a permit is required shall be subject to inspection by the Town of Buckeye Building Inspector, in accordance with the applicable provisions of the Uniform Building Code. The following uniform codes, by reference, are made part of this CMP. In the event that the Town of Buckeye adopts an updated version of any of the following uniform codes, the most recently adopted revision shall prevail.

UNIFORM BUILDING CODE, 1997 edition, published by the International Conference of Building Officials, with amendments per Section 7-5-3 of the Development Code of the Town of Buckeye,

NATIONAL ELECTRICAL CODE, 1996 edition, published by the National Fire Protection Association,

UNIFORM PLUMBING CODE, 1997 edition, published by the International Association of Plumbing and Mechanical Officials,

UNIFORM MECHANICAL CODE, 1997 edition, published by the International Association of Plumbing and Mechanical Officials,

UNIFORM FIRE CODE, 1997 edition, published by the International Conference of Building Officials and the Western Fire Chiefs Association, with amendments per Section 7-5-3 of the Development Code of the Town of Buckeye,

UNIFORM CODE FOR THE ABATEMENT OF DANGEROUS BUILDINGS, 1997 edition, published by the International Conference of Building Officials and all supplements to said codes.

NFPA Standards 13, 13D and 13R, 1999 edition, published by the National Fire Protection Association, with amendments per Section 7-5-3 of the Development Code of the Town of Buckeye.

2. The design and construction of buildings shall be under the supervision of licensed engineers, contractors and architects when required by applicable law. The Town of Buckeye shall enforce and require adherence to state laws governing such and may refuse to

issue permits if documentation on licensing requirements is not provided.

**E. RESIDENTIAL DENSITY**

Residential densities shall be allowed to vary within and between neighborhoods. The reallocation of the residential densities provides for the accommodation of drainageway preservation, topographic, environmental and human-made constraints and market conditions. Residential densities may range from approximately one (1) dwelling unit per acre to eight (8) dwelling units per acre. The residential target densities and density ranges, established for the various parcels identified in the Land Use Plan are identified in **Section II. Land Use Plan** of this document.

**F. FLOOD CONTROL**

**1. Floodplain Management:**

The Flood Control District of Maricopa County (FCDMC) is responsible for all floodplain management activities within the corporate limits of the Town of Buckeye. The FCDMC is authorized to exercise the powers and duties set forth in Title 45, Chapter 10, Article 4, Arizona Revised Statutes.

**2. Drainage Provisions:**

- a) Provision for drainage shall meet the requirements of the Uniform Drainage Policies and Standards for Maricopa County except as modified herein or as modified by the Town of Buckeye. Drainage facilities shall be installed to provide for the adequate containment and disposal of surface water for Tesota Hills property. Stormwater retention and/or detention facilities shall be provided as necessary, to assure that the post development peak runoff will not exceed the pre-development peak runoff leaving Tesota Hills or entering any wash which shall remain natural.
- b) Prior to approval of any residential development, a drainage report shall be submitted to and approved by the Town of Buckeye Town Engineer.
- c) Drainage approval shall be required prior to permit issuance for any development of substantial improvement, which may have an adverse effect on existing drainage.
- d) Drainage inspection approval shall be obtained prior to issuance of a certificate of occupancy or final building inspection of any site or structure.

**3. Drainage Design:**

- a) The entire drainage detention/retention and runoff conveyance system shall be designed to eliminate or minimize stormwater runoff effects and convey the runoff through the development with minimum detrimental effect. No system shall be approved if the effect may cause an increase in the peak discharge or velocity of runoff or change the point of entry of drainage onto adjacent properties during the runoff event.
- b) The rainfall event based upon the one hundred (100) year storm frequency, generating the peak discharge for the area contributing runoff to the development, shall be used in designing the overall drainage system.
- c) Detention/Retention of Storm Drainage:
  - The detention/retention system shall be designed to retain the increase in runoff volume due to development and reduce the post-development peak discharge to less than or equal to the pre-development peak discharge.
  - On-site detention/retention facilities may include natural depressions or human-made basins. Dry wells are permitted.
  - Individual lot detention/retention shall not be permitted on residential lots with a lot size less than one-half (1/2) acre.
  - A public utility easement shall not be designated for detention/retention without approval of affected utility companies.
  - Off-site drainage shall be either to the street or to a designated wash or drainage structure with adequate capacity and outfall with approval of the Town Engineer.
  - Detention/retention can occur in public areas, such as golf courses, drainageways, open space and parks.
  - Detention / retention basin sizing will provide the necessary volume for the 100-year, 2-hour rainfall event, except for parcels that are located directly behind the Buckeye Flood Retarding Structure (FRS) Number 3, parcels above the 5 percent slope line, and parcels that can directly discharge into an established wash. For these parcels it will be demonstrated that the post-development peak runoff does not exceed the pre-development peak runoff.

**d) Storm Water Disposal**

On-site runoff that has been detained/retained shall be disposed of within thirty-six (36) hours by percolation, drywells, catch basins, or drainage into an approved drainage-way. One hundred (100) year peak discharge flows from the project property shall not exceed pre-development flows and shall be in the location and direction of the historic off-site flows.

e) Finished Floor Elevation

Finished floors shall be elevated a minimum of fourteen (14) inches above the low adjacent top of curb or lot outfall elevation, or twelve (12) inches above the computed one hundred (100) year water surface elevation, whichever is greater. A finished floor elevation other than the minimum may be permitted provided it is determined by technical data certified by a registered professional engineer who is licensed to practice in the State of Arizona to be the minimum necessary to be safe from inundation by the one hundred (100) year peak discharge flow. Finished floor elevation shall be referenced at a known benchmark.

f) Drainage Easements

Drainage easements or tracts may be required to preserve washes, streams and channels (drainageways). The width of the drainage easements or tracts shall be defined by the water surface during the 100-year storm event, and may include buffer areas. If a wash is to be used as a trail or pathway amenity, a buffer of a minimum of twenty-five (25) feet beyond the limits of the 100 year storm event shall be provided. The buffer may be proportioned on both sides of the wash or placed completely on one side, depending on where the trail and lots are placed relative to the wash. The need for a drainage easement or tract, and its width and location will be determined on a case-by-case basis. Washes located within individual lots shall not provide amenities or additional buffering beyond the 100 year storm event. All lots that contain preserved washes shall have drainage easements, recorded by plat, thereby ensuring the preservation of the washes.

**G. LANDSCAPING**

**1. General Standards**

- a) Unless otherwise specified herein, all required trees shall be a minimum of fifteen (15) gallons in size and at least thirty (30) percent of those trees must be twenty-four-inch (24) box or larger size. All shrubs shall be a minimum of five (5) gallon in size. All fifteen-gallon (15) trees must be a minimum of eight (8) feet in height, four (4) feet in spread and one and one quarter-inches (1 1/4) trunk caliper at the ground level. All twenty-four-inch (24) box and larger trees shall be a minimum of ten (10) feet in height, six (6) feet in spread and two-inch (2) trunk caliper at the ground level. The installation of twenty (20) square feet of vegetative groundcover in any landscaped area shall substitute for one (1) required shrub, up to a maximum of thirty (30) percent of the required shrubs in any particular landscaped area.
- b) All Mexican Fan Palms (*Washington Robusta*), California Fan Palms (*Washingtonia Filifera*), and Queen Palms (*Cocos Plumose*)

shall have a minimum five-foot (5) trunk height measured from the base of the trunk to the base of the fronds when located within the public right-of-way or within five (5) feet of the street property lines.

- c) All landscaped areas shall be finished with a natural topping material which may include, but not limited to, the following: turf, groundcover, planting, crushed rock or decomposed granite (two (2) inches minimum depth), river run rock, expanded shale, or bark. A pre-emergent herbicide shall be applied to the ground prior to the placement of natural surface materials (crushed rock, decomposed granite, river run rock, etc.) in any landscape area to prevent weed growth.
- d) Landscaped areas along street frontages shall be contoured or bermed to provide variations in grade, visual relief, parking lot screening, and a more pleasing aesthetic value. All on-site parking areas shall be screened from street view by a landscaped berm or decorative wall not less than three (3) feet in height. The required height of the berm or wall shall be measured from the highest finished grade of the adjacent on-site parking area or adjacent finished grade of the street, whichever is greater.
- e) All landscaped areas shall be supported by an automatic irrigation system that may be a spray, flood, soaker, or drip type system. A pressure-type vacuum breaker shall be required with the installation of all sprinkler systems. All irrigation systems and landscaped areas shall be designed, constructed, and maintained to promote water conservation and prevent water overflow or seepage into the street, sidewalk, or parking areas.
- f) Landscaping allowed within sight distance triangle areas in the public right-of-way shall be a maximum height of three (3) feet. Landscaping in the public right-of-way not within sight distance triangle areas may exceed three (3) feet in height. Trees and turf may be allowed in the public right-of-way, subject to applicable governmental regulations. Trees within sight distance triangle areas may be allowed in the public right-of-way, if branches are trimmed up to six (6) feet above ground level. The Public Works Director shall have the authority to order removal of any landscaping or trees which, in the opinion of the Public Works Director, poses a hazard to the public.

**2. Landscape Improvements for Commercial Areas**

- a) For all development within the commercial designations, landscaped areas shall be provided on the site in an amount equal to ten (10) percent of the net site area.
- b) All developments within the commercial designation shall contain a minimum of two (2) trees and five (5) shrubs for every ten (10) parking spaces provided on the site.

- c) A landscaped area not less than an average width of fifteen (15) feet throughout a particular nonresidential street frontage shall be established and maintained along all street frontages between any building, on-site parking area or outdoor storage area and the nearest point of the existing or future required street/sidewalk improvements (the back of an existing sidewalk, the line equal to the back of a future sidewalk, or the back of the street curb where no sidewalk is required.) However, for double frontage streets the landscape widths shall be in accordance with adopted street cross-section designs. The area of this landscape strip may be used to satisfy, to the extent provided, the on-site landscaped area and street right-of-way landscaping area requirements set forth in this section.
- d) All portions of the development site not occupied by buildings, structures, vehicle access and parking areas, loading/unloading areas, and approved storage areas shall be landscaped in accordance with this provision. Future building pads within a phased development shall be maintained weed-free in such a manner as may be approved by the Town Manager or Administrator.

**3. Required Street Right-of-Way Landscaping**

The landscaping of all street rights-of-way contiguous with the proposed development site not used for street pavement, curbs, gutters, sidewalks, or driveways shall be landscaped.

**4. Required Parking Area Landscaping**

On-site parking areas for all applicable development projects shall contain at least one (1) landscaped planter, not less than one hundred (100) square feet in area and with a minimum width of five (5) feet measured from back of curb to back of curb, for every ten (10) parking spaces provided on the site. No shrubs within a planter island of an on-site parking area shall be maintained to a height in excess of three (3) feet, and all trees within such planters shall maintain a minimum clearance of five (5) feet from the lowest branch to the adjacent grade elevation. The required number of landscaped planters shall be distributed or located within the parking areas to enhance the proposed development project. The landscaped area within these planters may be used to satisfy, to the extent provided, the landscaped area requirements. Landscaped diamonds may be substituted for landscaped planters if approved by the Town Manager.

**5. Landscape Improvements - (Street Frontage)**

- a) The installation of street trees, shrubs, and vegetative groundcover shall be required for all applicable projects in an amount equal to or

greater than one (1) tree and three (3) shrubs for each thirty (30) feet of street frontage, and vegetative groundcover occupying a minimum of forty (40) percent of the total street frontage landscaped area. This minimum quantity of trees, shrubs, and vegetative groundcover shall be located in the street right-of-way landscaped area, or within the front twenty-five (25) feet of the on-site landscaped areas, and shall be designed and located to enhance the proposed development project and the streetscape.

- b) All street frontage landscaping located adjacent to driveway exits and street intersections shall be designed, installed, and maintained in accordance with the height, location and sight visibility at street intersection requirements.

#### **6. Double Frontage Street Landscaping**

All developments that back or side onto a street and which have a six (6)-foot screening wall constructed on the property line shall install within the street right-of-way contiguous with the property three (3) water conserving variety shrubs and one (1) water conserving variety tree for every thirty (30) feet of such double street frontage. All such trees and shrubs shall be provided with an automatic drip or soaker irrigation system. Ground cover shall be one-half (1/2) inch minus decomposed granite without plastic liners. A pre-emergent herbicide shall be applied to the ground prior to and after the placement of natural surface materials (decomposed granite, river run rock, etc.) in any landscaped area to prevent weed growth. The foregoing requirement shall apply in lieu of the street frontage landscape improvements.

#### **7. Landscaping in Hillside Areas**

The following provisions apply to development of those portions of Tesota Hills established as hillside areas outside the graded building envelope. The landscaping elements of the hillside development area will be specified at the preliminary plat or development site plan review state. Trees in excess of twenty-five (25) feet will not be permitted. At a minimum, the landscape plant palette will be based upon the approved Arizona Department of Water Resources Low Water Use Plant List. The plant palette may expand upon this list to allow greater flexibility in design concepts while ensuring environmental sensitivity. The landscape palette will appropriately provide for botanical diversity given the regional context of the project site. All landscaping improvements shall include a suitable method for irrigation.

### **H. LIGHTING**

#### **1. General Provisions**

- a) Indoor or outdoor lighting that is one hundred fifty (150) watts or less shall be exempt from the provisions of this section.

- b) Sources of illumination that are directly visible from a public street or residential property shall be minimized to reduce glare.

## **2. Hillside Provisions**

The following provisions apply to development of those portions of Tesota Hills established as hillside areas.

- a) All outdoor lighting concepts, fixture types, lamps, and wattage for lot development shall be indicated on the site plan.
- b) Street lighting is discouraged unless deemed necessary for safety.
- c) All sources of exterior lighting shall be screened to minimize impact on adjacent properties. All building mounted light fixtures will be encouraged to shed light downward.
- d) The use of fixtures to floodlight the exterior of a structure is prohibited; except if the structure is considered to be Signature Architecture.
- e) Recessed soffit mounted fixtures must have the lamp recessed into the soffit a minimum of 3 inches.
- f) Only low voltage or incandescent type fixtures of a maximum of seventy-five (75) watts shall be allowed for exterior lighting, unless otherwise approved by the Planning Director.
- g) Exterior landscape lighting requirements shall encourage "moonlighting" techniques where a path or tree is highlighted from above, rather than aiming fixtures up at the tree.
- h) Exterior spotlights may only be used for security purposes and must be on a timer for a maximum of twenty (20) minutes. The light source must be shielded from view from adjacent properties.
- i) All on-site utilities shall be placed underground.

## **I. OUTDOOR STORAGE**

### **1. General Standards**

- a) Storage of materials, supplies or similar matter is prohibited outside an enclosed structure, unless associated with an industrial or agricultural use. Storage of inventory, materials,

or other debris outside an enclosed building is prohibited in conjunction with a residential or commercial use.

- b) Storage associated with an industrial or agricultural use shall only be allowed within the confines of a solid fence or landscape screen not less than six (6) feet in height, unless no practicable alternative is available.
- c) Merchandise which is offered for sale may be displayed beyond the confines of an enclosed structure, the area of which shall not exceed ten percent (10%) of the principal building floor area, unless such merchandise is a type customarily displayed outdoors, such as automobiles and garden supplies.
- d) No display or storage of any type shall be permitted within the one-half (1/2) of the required front or side street setback nearest the street, nor within any required interior side or rear setback.

**2. Vehicle Storage**

- a) Recreational vehicles shall be parked to the rear of the front setback line.
- b) Construction equipment or trucks over two (2) tons gross weight, or similar sized vehicles, shall not be parked in a residential area.
- c) There shall not be any type of vehicle stored on a vacant parcel of land.

**3. Temporary Storage**

- a) These regulations shall not be applicable to any storage being placed in a certain location less than twenty-four (24) hours, unless the storage constitutes a public hazard or nuisance.

**J. PARKING AND TRAFFIC CIRCULATION**

- 1. Every lot shall have access that is sufficient to afford a reasonable means of ingress and egress for emergency vehicles as well as for all those likely to need or desire access to the property in its intended use.
- 2. All driveway entrances and other openings onto streets within Tesota Hills shall be constructed so that:
  - a) Vehicles can enter and exit from the lot in question without posing any substantial danger to themselves, pedestrians, or vehicles traveling on abutting streets.

- b) Interference with the free and convenient flow of traffic in abutting or surrounding streets is minimized.
- 3. Direct driveway access shall not be provided onto an arterial or major collector street from any lot within any subdivision.
- 4. Off street parking spaces shall be provided as a minimum of two (2) spaces for each single-family dwelling. A minimum of five (5) parking spaces shall be provided at the neighborhood park location.
- 5. **Parking Requirements**
  - a) Off street parking spaces shall be provided as set forth in Table 5. Loading spaces shall be provided as per Table 6. Fractional results shall be rounded up to the nearest whole number if the fraction is 0.5 or greater.
  - b) In the case of mixed uses, the total number of spaces shall be based on parking demand as determined by a parking study.
  - c) Accessible parking spaces shall be as required by the Americans With Disabilities Act (ADA) as well as any applicable state and local codes.
  - d) An emergency access lane having twenty (20) feet of unobstructed width shall be provided when required by the Town of Buckeye Fire Department. The twenty (20) foot width can consist of sixteen (16) feet of paved lane with two (2) foot shoulders on each side with plantings less than eighteen (18) inches in height within the shoulder area.
- 6. **Parking Design**
  - a) To control dust and drainage, parking areas shall be constructed with asphalt or concrete.
  - b) Dimension requirements, as set forth in Table 7, shall be followed in the construction or modification of any parking area.
  - c) The preferred location for parking shall be the interior of the lot, exclusive of on-street parking.
  - d) All pavement will be in accordance with the Town's minimum requirements or a Town-approved geotechnical analysis, whichever is greater.
- 7. As an alternative to the requirements listed elsewhere in this Section, a parking plan may be submitted for approval by the Community Development Director, which plan shall find that an alternate design or a reduction in the total number of parking spaces required would fulfill

the intent and purpose of this Section. The Community Development Director may require the study to be completed by a registered traffic engineer.

**K. SCREENING**

**1. General Requirements**

- a) The height of any fence, located between the principal structure and the rear or side property line, shall not exceed six (6) feet eight (8) inches within any residential designation, unless abutting to a collector street, arterial street or parkway, in which case the fence may be constructed to a maximum height of eight (8) feet, if determined necessary by a sound study. Fence heights shall not exceed eight (8) feet within any commercial/mixed-use designation.
- b) Material used for fences shall be limited to those listed in Table 8.
- c) For fences installed along a slope, the height is measured from the uphill lot or street.

**2. Required Screening**

- a) A screening wall shall be required along all property lines of a site developed for multi-family residential, commerce park or industrial uses when such property lines are contiguous with or separated only by an alley from residential development or a residential zoning designation.
- b) In lieu of a screening wall, a landscaped buffer of a minimum of twenty (20) feet wide may be used.
- c) All outdoor storage areas for materials, refuse containers, mechanical equipment and vehicles shall be screened from street view by a screening wall in accordance with Table 8.
- d) All screening walls located along streets shall be designed and constructed as follows:
  - Of brick, slump block or masonry architecturally compatible with the materials and design of the site improvements and with the finish of a suitable color and design as allowed under the Tesota Hills Master Design Guidelines, which will be submitted prior to the first site plan or final plat review.
  - To break up the lineal expanse of such walls with a staggered centerline, pilasters, three-wall enclosures, varying heights, the installment of extra plant material or varying the landscaped area contours to improve the visual impact of the wall.

**3. Roof Mounted Equipment**

- a) All roof-mounted equipment shall be completely screened from view from ground level or adjacent property. The parapet, if provided, shall be architecturally compatible with the primary building.

**4. Swimming Pool Enclosure**

- a) The requirements of section 7-5-10.C, Swimming Pool Enclosure, of the Town of Buckeye's Development Code in effect as of the date of submittal of this CMP or as amended are made, by reference, part of this CMP.

**L. SIGNS**

**1. Permit Required:**

The placement of signs, except as listed below, shall require a sign permit issued by the Town of Buckeye Planning Director in accordance with the procedures set forth in the Town of Buckeye Development Code. Signs listed as follows are exempt from obtaining a permit.

- a) Directional and traffic signs, including temporary variable street construction signs.
- b) Signs not visible from off property or business.
- c) Signs pertaining to the lease, sale or rental of land or buildings, the size of which are six (6) square feet or less for parcels up to five (5) acres and thirty-two (32) square feet or less for parcels more than five (5) acres.

**2. Prohibited Signs:**

The following types of signs are prohibited:

- a) Signs with audible devices, moving parts, or flashing lights. This shall also include electronic messaging boards with moving words or letters.
- b) "Sandwich" or portable signs and outdoor banners displaying product information.
- c) Roof mounted signs or signs projecting above the roof line of a building.
- d) Signs and banners placed within the public right-of-way.

- e) All signs mounted in, or applied to trees, utility poles, or public structures, except as otherwise provided.
- f) Any sign determined to be a safety hazard to the flow of traffic.
- g) Commercial signs remaining at an abandoned or vacant building for a period exceeding one hundred eighty (180) days.

**3. Design Standards**

- a) Signs shall not exceed the dimensions set forth in Table 9 and Table 10.
- b) Unless no other practical alternative is available, all signs, with the exception of directional signs, shall be located a minimum of ten (10) feet from the front or side property line.
- c) Signs shall be located on the same parcel as the use for which they advertise.
- d) Illuminated signs may be internally lighted in the Commercial designations. The source of illumination of any sign is to be shielded so that it is not visible from or cause glare or reflection onto adjacent properties and streets.

**M. PROPERTY DEVELOPMENT SIGNAGE**

Signage will be coordinated throughout the entire Tesota Hills site, although different areas within Tesota Hills may have their own themes. These areas may include parks and recreation areas, residential villages, residential hillsides, trails and pathways, public and private roadways and areas for directional signage. The specific designs, including theming, graphics, materials, color and landscaping for both the permanent and temporary signage, will be determined with each subdivision's landscape plans.

For entryway or monument signage, the actual sign area, excluding the wall or monument structure the sign is mounted on or embedded into, shall not exceed one hundred twenty (120) square feet or exceed six (6) feet in height.

**N. GRADING**

The provisions of this section shall apply to all new development activities within the project property. Regrading or reshaping activities in areas of disturbance, which occurred prior to the adoption of this CMP, shall be exempt from the provisions of this section.

**1. Non-Hillside Development Areas:**

The purpose of this section is to set forth the objectives and engineering standards for the grading and earthwork elements for the

development of the property. The grading elements include street and parking lot cut and fill limits, site grading limits, slope control or soil stabilization, mitigation of adverse conditions, including boulder instability, slope instability, soil erosion and drainage disruption and landscaping of scarred areas due to grading.

The Town of Buckeye Town Engineer prior to any grubbing, grading or clearing shall approve a grading plan. All grading shall be in accordance with all applicable M.A.G. standards or the uniform building code, whichever is applicable to the building site.

- a) Cut and fill slopes, except those required for roadway improvements, shall meet the following requirements:
  - Cut and fill slopes shall not be steeper than 4:1, except in stable rock, in which case may be vertical. Steeper slopes will be allowed when justified by adequate engineering analysis and documentation, subject to approval by the Town of Buckeye Town Engineer.
  - Cut and fill slopes within drainage retention and detention basins shall average no steeper than 4:1. Steeper slopes will be allowed when justified by adequate engineering analysis and documentation, subject to approval by the Town of Buckeye Town Engineer.
  - The maximum height of cut is not to exceed eighty (80) feet and the maximum height of fill shall not exceed sixty (60) feet, unless otherwise approved by the Town of Buckeye Town Engineer. All exposed cuts and fills are subject to the mitigation criteria established herein.
- b) Retaining walls may be used to reduce the horizontal distance required to construct cut and fill slopes. Retaining walls may include masonry, rigid concrete structures, earth filled bins, gabions and any other form of structural elements used to retain and support cut or fill slopes. Retaining walls up to twenty (20) feet shall be allowed. Retaining walls higher than twenty (20) feet may be approved by the Town of Buckeye Town Engineer. A registered professional engineer who is licensed to practice in the State of Arizona shall design retaining walls.
- c) All dust control activities shall comply with all applicable federal, state and county dust control requirements.

**2. Hillside Development Areas:**

It is the purpose of this section to establish regulations, which recognize that development of hillside areas on Tesota Hills involves special considerations. Hillside development standards apply to all land wherever the natural terrain of the proposed disturbance areas within any lot or parcel has a slope of fifteen (15) percent or greater (Hillside Area) outside of localized slope areas as determined by a registered professional engineer who is licensed to practice in the

State of Arizona. Localized slope areas are defined as those areas with an elevation change of ten (10) feet or less within an area of one-half (0.5) acre or less with a slope of fifteen (15) percent or greater. All land use designations and respective development options contained herein may be developed within hillside areas and shall be governed by the provisions and standards of this section and the standards of each development option set forth in Section III. A. In case of a conflict between the development standards of this section and the standards set forth under in Section III. A., this section shall prevail.

a) **General Provisions for Construction in Hillside Areas:**

In addition to drawings, plans, specifications and details necessary to obtain a building permit the following documentary requirements and certifications shall be provided for review by the Town of Buckeye Town Engineer:

- A topographic map at an appropriate scale on a 24" x 36" sheet presenting the total lot and a twenty (20) foot area beyond the property line. This map shall show existing and proposed finished contours at two (2) foot intervals within a twenty (20) foot perimeter from any proposed building, five (5) foot intervals elsewhere. Existing contours shall be shown with dashed lines. This map shall show limits of excavation and fill, slope of cut and fill, and total cubic yards of excavation and fill.
- Detailed site plans and landscape plans at an appropriate scale which show the following: grade and slope in percent of all disturbed areas; dimensions and calculations of all cut and fill for the building site, roads, drives, swimming pools, and the method of concealment for each fill or exposed cut; dimensions of length and height of retaining walls, fences, and other attachments; the location and grade of all drainage channels, swales, drain pipes, etc.; and the amount and degree of surface disturbance, destruction, or removal of natural vegetation.
- Cross-sections at 1:1 scale at two (2) or more locations perpendicular to the contours through the building site. Locations of the cross-sections shall be clearly shown on the topographic map. Properties impacting ridgelines shall provide additional cross-sections indicating their relation and impact on such ridgelines.
- An overall excavation, grading, and drainage plan prepared and certified by a registered professional engineer who is licensed to practice in the State of Arizona.
- Where possible and appropriate, the combining of the above maps into one drawing may be acceptable.

(1) **Heights and Appearances:**

For development within hillside areas, the height of structures shall be determined by the following:

- No part of any structure shall penetrate an imaginary plane (the "Sloping Plane of Measurement"), the height of which is thirty-five (35) feet measured vertically from the highest ridge or parapet of the building to the existing natural grade directly beneath that point. Minor topographic variations may be excluded from those measurements if those areas are less than twenty-five (25) feet in width. Exposed building walls measured in a vertical plane shall not exceed a height of thirty-five (35) feet measured from the lowest point of the wall to the top of the wall. In addition, the overall projected height will be measured from the lowest wall improvement attached to the main structure to the highest ridge or parapet, and be limited to sixty (60) feet. Exceptions to the maximum height requirements are allowed for architectural features that are less than ten (10) percent of the entire roof area. A diagram depicting height measurements in hillside areas is set forth in Figure I.

Materials used for exterior surfaces of all structures shall blend in color, hue, and tone with the surrounding natural setting to avoid high contrasts. The overall intent is to create materials and color palette that when utilized is deemed complementary and compatible to the desert setting.

- Structures, walls, roofs and fences shall blend with the surrounding terrain and there shall be no material or colors used which have a light reflecting value (LRV) greater than thirty-five (35) percent.
- Mirror surfaces, or any treatment which changes ordinary glass into a mirror surface, is prohibited. Bright, untarnished copper or other metallic surfaces shall be treated so they are non-reflective.
- All electrical service equipment and subpanels and all mechanical equipment including, but not limited to, air conditioning and pool equipment, solar panels, and antennas shall not be visible from outside the property when viewed from the same or lower elevation. Restrictions of solar panels and mechanical equipment may be modified if they are integrated into the roof design.
- Fences or walls on lots within a hillside area, excluding retaining walls, shall be restricted to privacy walls attached to or directly screening a portion of the main residence.

(2) Disturbed Area:

Lots in hillside areas shall be developed to provide for the minimum amount of ground disturbance during the time of

construction so as to prevent rockslides and falls, erosion, and seepage. At final construction, disturbed areas shall be hidden or supported by retaining walls, buildings, finished surfaces, or shall be landscaped.

- All buildings, structures, and roads shall, to the fullest extent practicable, utilize the natural contours of the land so as to minimize the disturbed area.
- The maximum height of any cut or fill used to establish a building site or a driveway shall not exceed fifteen (15) feet. The maximum height of any cut or fill used to establish a road or roadway shall not exceed thirty (30) feet.
- The limits of construction and proposed disturbed areas shall not extend beyond a slope of twenty five (25) percent exclusive of localized slope areas as determined by a registered professional engineer who is licensed to practice in the State of Arizona.
- The limits of construction and proposed disturbed areas shall be clearly designated on the property prior to and during construction with flags or visible roping. No disturbance outside the designated area shall take place.
- All surplus excavated material shall be removed from the lot.

**(3) Driveways:**

- If any portion of a driveway grade is more than twenty (20) percent, the entire residence and all accessory buildings over one hundred twenty (120) square feet of roof area shall be protected with an approved fire sprinkling system.
- Driveways exceeding 100 feet in length or with turning radius of less than thirty five (35) feet may be used provided all structures are protected with an approved fire sprinkling system.
- Any driveway cut greater than twelve (12) feet in depth shall not have a length greater than two hundred (200) feet.

**(4) Retaining Walls and Erosion Control Measures:**

- The design of all retaining walls and erosion control measures shall be prepared by a registered professional engineer or architect who is licensed to practice in the State of Arizona.
- Raw spill slopes are prohibited.
- All exposed disturbed area fill shall be contained behind retaining walls or landscaped.
- Retaining walls shall not exceed twenty (20) feet in height. If additional height is needed, the wall shall be offset at a minimum of four (4) feet. Privacy walls may

be erected on a retaining wall so long as the total height does not exceed twenty (20) feet.

**O. UTILITIES**

**1. Wastewater Facilities**

Wastewater facilities for Tesota Hills shall conform to the Master Wastewater Report, as submitted under separate cover.

**2. Water Supply System**

The water supply system for Tesota Hills shall conform to the Master Potable Water Report, as submitted under separate cover.

**3. Underground Service Lines**

All utility lines, including irrigation service lines, but not including transformers or enclosures containing equipment such as switches, meters or capacitors which are ground mounted, shall be placed underground in accordance with the specifications and policies of the respective utility company, except 69 KV or larger transmission lines, which will remain above ground.

**4. Refuse Service**

All non-residential development shall provide refuse enclosures for solid waste collection in accordance with the following:

- a) Located so as to facilitate collection and minimize any negative impact on persons occupying the development site, neighboring properties, or public rights-of-way;
- b) Constructed according to specifications established by the Public Works Director to allow for collection without damage to the development site or the collection vehicle;
- c) Enclosure shall be architecturally compatible with the material and design of the site improvements.

**P. PUBLIC AREA IMPROVEMENTS**

The purpose of these requirements is to promote road safety, assure adequate access for fire and rescue vehicles and promote adequate circulation.

**1. Coordination of Streets**

- a) All new streets required pursuant to the Master Traffic Analysis, as set forth in Appendix A shall intersect with surrounding existing streets at safe and convenient locations.
- b) The Town of Buckeye may require temporary turnarounds to be constructed or temporary cul-de-sacs between development phases.

**2. Street Layout**

- a) All permanent dead end streets shall be developed as cul-de-sacs. Cul-de-sacs shall extend no further than six hundred sixty (660) feet as measured from the center of the last intersection or intermediate turnaround. This length may be exceeded with approval of the Town of Buckeye Fire Chief upon submittal of a preliminary plat.
- b) If automatic sprinkler systems are used for fire protection, cul-de-sacs shall extend no further than one thousand five hundred (1,500) feet as measured from the center of the last intersection or intermediate turnaround. This length may be exceeded with approval of the Town of Buckeye Fire Chief on cul-de-sacs serving twenty-five (25) or fewer residential units.
- c) Turnarounds shall be of either a circular or hammerhead configuration.
- d) The right-of-way of a cul-de-sac shall have a minimum radius of fifty (50) feet. The radius of the paved area of a turnaround shall be forty-three (43) feet. If the center of a circular turnaround is left unpaved, the area shall be landscaped and the pavement width shall be a minimum of sixteen (16) feet.
- e) Half streets (i.e., streets of less than the full right-of-way and pavement width) with a minimum pavement width of twenty-four (24) feet to accommodate two-way traffic shall be allowed as an interim condition.
- f) On collector and residential streets, horizontal curves are required when tangent center lines deflect more than ten (10) degrees. The radius shall be a minimum of one hundred fifty (150) feet and the tangent between reverse curves shall be a minimum of one hundred (100) feet. On arterial streets, horizontal curves are required when tangent center lines deflect more than seven (7) degrees. The radius shall be a minimum of five hundred (500) feet and the tangent between reverse curves shall be a minimum of one hundred fifty (150) feet.
- g) If a curvilinear street pattern, open space, or other traffic claming methods are employed, or if blocks serve forty (40) or less lots the maximum block lengths in residential areas shall extend no further

than thousand (1,000) feet, otherwise they will extend no further than six hundred sixty (660) feet.

- h) Design speeds for all streets shall be 10 mph greater than the proposed posted speed.
- i) All curves and other street geometrics shall conform to AASHTO and Town standards.

**3. Street Intersections**

- a) Streets shall intersect as nearly as possible at right angles, and no more than two (2) streets may intersect at any one (1) point. Any street intersecting an arterial street shall do so at ninety (90) degrees or radial to an appropriately sized curve. All other intersections may be at ninety (90) degrees plus or minus fifteen (15) degrees or radially to an appropriately sized curve.
- b) A local street intersecting another local street shall have a minimum one hundred (100) foot tangent between the intersection and a horizontal curve, unless the local street has a horizontal curve radius of one hundred fifty (150) feet or more. A local street intersecting a collector street shall have a minimum one hundred (100) foot tangent between the intersection and a horizontal curve, unless the local street has a horizontal curve radius of four hundred (400) feet or more. A collector street intersecting a collector street shall have a minimum one hundred (100) foot tangent between the intersection and a horizontal curve, unless the collector street has a horizontal curve radius of five hundred (500) feet or more.
- c) Where a centerline offset (jog) occurs at an intersection, the distance between centerlines of the intersecting streets shall be no less than one hundred twenty-five (125) feet for local streets and two hundred (200) feet for local streets intersecting collector or arterial streets.
- d) Except when no other alternative is practicable or legally possible, no two (2) collector streets may intersect with any other collector street on the same side at a distance of less than three hundred (300) feet from centerline to centerline of the intersecting collector streets. When the intersected street is an arterial, the distance between intersecting collector streets shall be at least six hundred (600) feet.

**4. Street Design Standards**

Streets shall be designed and constructed in accordance with the roadway standards set forth in Figure E-1. Typical cross-sections depicting roadway standards are also set forth in Figures E-2 and E-3.

**5. Right-of-Way Landscaping**

Landscaping shall be provided in all collector and arterial street public rights-of-way in conjunction with development of adjacent parcels. All public right-of-way shall be landscaped at a minimum per the standards identified in Section V. G. All right-of-way and drainage areas not used for street or sidewalk improvements shall be left in a natural state or improved with landscaping in accordance with Section V. G.

**6. Bridges**

All bridges shall be designed by a registered professional engineer who is licensed to practice in the State of Arizona in accordance with standard design criteria and approved by the Town of Buckeye Town Engineer.

**7. Fire Hydrants**

- a) All development within Tesota Hills shall include a system of fire hydrants, which are constructed according to M.A.G. standards.
- b) All water lines other than those used to directly connect a fire hydrant to the main shall be at least eight (8) inches in diameter. Unless no other practicable alternative is available, dead-end lines shall be allowed; provided, however, the maximum length of dead-end lines shall be one thousand five hundred (1,500) feet, with fire hydrants spaced along the alignment. A water system analysis shall be prepared to show that the farthest fire hydrant from the looped main on a dead-end line meets the minimum fire flow requirements.
- c) The proposed fire hydrant spacing shall be approved and shall be in accordance with the 1997 Uniform Fire Code and any amendments.

**8. Lighting Requirements**

- a) All streets, sidewalks and other common areas or facilities in subdivisions shall be sufficiently illuminated to ensure the safety and security of persons and property.
- b) All driveways, pedestrian and bicycle paths, parking areas and other improved common areas excluding natural hiking trails located within the community shall be sufficiently illuminated to ensure the security and safety of persons and property.
- c) Street lighting improvements shall be in accordance with the Town of Buckeye Engineering Standards.

**9. Non-Vehicular Circulation**

Non-vehicular circulation improvements shall be in accordance with the Conceptual Open Space and Trails Plan in Section III. A. and as depicted in Figures B-1 and B-4.

**VI. PROJECT GOVERNANCE**

The purpose of the project governance structure is to insure that there is a workable, complete and enforceable instrument in place, which implements the concept of distinction for Tesota Hills. The governance structure must work under the period of direction by the Tesota Hills developer and after the developer passes the authority to property owners within Tesota Hills.

Tesota Hills will use a variety of tools and elements to assure the community is an asset to the Town of Buckeye and to the residents that will live and play in the master planned community. The Town of Buckeye has established rules, guidelines and policies that control the use of Tesota Hills. The CMP for Tesota Hills sets the framework for the implementation of these regulations and additional guidelines. The governance tools, such as design guidelines, architectural control, covenants, conditions and restrictions and homeowners' associations, will provide a means to establish an enforceable structure as the project develops.

**A. DESIGN GUIDELINES**

The goal of the design guidelines is to create and maintain a livable, attractive, high quality development and continue to add to the "friendly town" characteristics of Buckeye and the surrounding area.

The design guidelines address standards of development by the developer relating to improvements of open space and product standards. In addition, they address the development of covenants, conditions and restrictions that will dictate minimum standards of development and long-term maintenance of improvements and formation of a homeowners association that will ensure their enforcement. The Design Guidelines will be submitted to the Town of Buckeye prior to the first site plan or final plat review.

**B. COVENANTS, CONDITIONS AND RESTRICTIONS AND ARCHITECTURAL REVIEW COMMITTEE**

Tesota Hills Covenants, Conditions, and Restrictions will set forth rules and regulations governing homeowner's rights and requirements. These will include prohibition of the storage of non-operating vehicles in the front yards, screening trash receptacles, etc. (See Appendix F, Conceptual Outline of CC&Rs)

**C. ARCHITECTURAL CONTROL**

An architectural control committee will be established by the Tesota Hills developer(s) to oversee compliance with the covenants, conditions and restrictions during the development stage. The committee will review and approve building plans, specifications, and design for all private and public improvements and sub-area developments contemplated within Tesota Hills. As the community grows, owners will take over the architectural review functions.

**D. HOMEOWNERS' ASSOCIATION**

A Tesota Hills Homeowners' Association will be organized to ensure long-term compliance with the covenants, conditions and restrictions. The homeowners' association will assess monthly fees for the maintenance of landscaped common areas, natural washes, parks and other community facilities. A few of the open spaces located within gated neighborhoods might be owned and maintained by a sub-association of the particular neighborhood. This would mean that the particular sub-association would maintain the private streets as an additional function. An example might be age-restricted community with special amenities for use by the sub-association members only.

**E. DEVELOPMENT AND BUILDING GUIDELINES**

Varied architecture, reflecting differing styles and materials, will be utilized to enhance the visual interest of the homes. For the residential areas, a minimum of colors of roof materials, garage doors and exterior paint colors will be utilized to further promote variety. Differing building details, form, massing, materials, proportion, and siting shall be used to promote attractive and appealing architecture. The Tesota Hills master developer and the assembled architectural control committee will encourage special attention to design elements such as garages, porches, exterior materials, model variations, walls and fences. This will assure a variety of house types that will fit the needs of the community and, at the same time, promote architectural diversity.

**F. LANDSCAPE AND OPEN SPACE GUIDELINES**

Numerous acres of Tesota Hills will be devoted to parks and open space. Parks and trails within the community will provide recreational opportunities for residents of all ages. Residents will be provided pedestrian trails and pathways that will connect to open space, scenic lookout vistas, parks and other residential communities within the master planned community.

**G. LANDSCAPING THEMES**

Natural wash corridors will be a central theme in Tesota Hills. Low water using plants will be favored in the landscape themes for the residential areas. Many areas will be re-vegetated and enhanced with natural material from the site.



**TABLE 1  
TESOTA HILLS  
SINGLE RESIDENCE MINIMUM DEVELOPMENT STANDARDS**

LAND USE DESIGNATION	ER	LDR	LDR	LDR	L/MDR	L/MDR
PARCEL NUMBERS	7 North	5 and 6 North	4 North, 4 South	3 North, 5 South	1 North, 1 and 7 South	
LOT CATEGORY	Custom	70'X120'	60'X115'	53'X110'	48'X110' <sup>(1)</sup>	
MINIMUM LOT AREA	10,000 sq ft	8,400 sq ft	6,700 sq ft	5,610 sq ft	5,150 sq ft	
MINIMUM LOT WIDTH	80'	70'	60'	53'	48'	
MINIMUM LOT DEPTH <sup>(2)</sup> :	125'	120'	115'	110'	110'	
<b>MINIMUM BUILDING SETBACKS<sup>(3)</sup>:</b>						
LIVING FRONT YARD	12'	12'	12'	12'	12'	12'
REAR YARD <sup>(4)</sup>	20'	20'	20'	20'	20'	20'
STREET SIDE YARD	10'	10'	10'	10'	10'	10'
SIDE YARD	5' one side, 10' other side	5' one side, 10' other side	5' one side, 10' other side	5' one side, 8' other side	5' one side, 8' other side	5' one side, 8' other side
MINIMUM BUILDING SEPARATION	10'	10'	10'	10'	10'	10'
<b>MINIMUM GARAGE SETBACK:</b>						
FRONT LOADED	18'	18'	18'	18'	18'	18'
SIDE LOADED	12'	12'	12'	12'	12'	12'
MAXIMUM GARAGE WIDTH	No maximum	3 car widths	3 car widths	3 car widths	3 car widths	2 car widths
MAXIMUM STRUCTURE HEIGHT	30' (2 stories) <sup>(5)</sup>					
MAXIMUM LOT COVERAGE	40%	45%	50%	55%	55%	55%
MINIMUM PARKING REQUIREMENTS	2 per single-family unit					

(1) No more than 25% of the total number of lots within Tesota Hills shall be less than 50 feet wide.

(2) Lot depth may be decreased by 10 ft. on cut-de-sac and knuckle lots as long as minimum lot area is maintained.

(3) Building setback line is the required distance between the property line and the closet point of any building. An additional 10 ft. (minimum) setback area is required on perimeter lots abutting collector and arterial streets. This tract shall be in common ownership.

(4) The rear yard setback applies only to enclosed livable areas, other projections such as patios or balconies shall have a minimum 10' setback.

(5) Except for hillside lots, which shall be as shown on Figure 1, Hillside Measurements.

**TABLE 2****TESOTA HILLS****RESIDENTIAL DEVELOPMENT STANDARDS ALLOWED IN MEDIUM DENSITY RESIDENTIAL (MDR) PARCELS**

<b>CATEGORY</b>	<b>Courthome<sup>(1)</sup></b>
<b>MINIMUM NET PARCEL AREA</b>	4 Acres
<b>MINIMUM LOT AREA / UNIT OR MAX. DU/AC</b>	2,250 sq. ft.
<b>MINIMUM LOT WIDTH</b>	30'
<b>MINIMUM LOT DEPTH</b>	50'
<b>MINIMUM PERIMETER BUILDING SETBACK<sup>(2)</sup></b>	15' <sup>(3)</sup>
<b>MINIMUM LOT SETBACK:</b>	
<b>FRONT</b>	See Figures A-3, A-4, A-5
<b>SIDE</b>	0' (Or 5' Minimum If Detached) <sup>(4)</sup>
<b>REAR</b>	N.A. (See Perimeter Condition)
<b>MAXIMUM STRUCTURE HEIGHT</b>	30' (2 stories)
<b>MAXIMUM LOT COVERAGE</b>	65%
<b>MINIMUM OPEN SPACE</b>	15%
<b>MINIMUM PARKING REQUIREMENTS</b>	1.3 per unit <sup>(5)</sup>

(1) Courthome category establishes the development standards for attached single-family housing such as townhomes, condominiums, patio homes, clustered housing and duplexes. Detached courthome product shall also be permitted.

(2) Building setback is the required distance between the development's perimeter property line and the closest point of any building. An additional 10' minimum setback area is required on perimeter lots abutting Arterial Streets. This additional 10' shall be in common ownership.

(3) Buildings exceeding 30 feet in height adjacent to any single residence subdivisions shall maintain a minimum setback of 50 feet.

(4) A 2' projection for fireplaces, bay windows, etc., is allowed into setback as long as such projection does not exceed 10' in length.

(5) See Table 3 for parking requirements. Required parking spaces for cluster or townhome subdivisions may be nonexclusive and located within 200 feet of the unit as measured from the curbline of the public street or private drive and the private accessway.

**TABLE 3**  
**TESOTA HILLS**  
**RESIDENTIAL DENSITY RANGES<sup>(1)</sup>**

<b>LAND USE DESIGNATION</b>	<b>MINIMUM DENSITY DU/AC</b>	<b>MAXIMUM DENSITY DU/AC</b>
<b>ESTATE RESIDENTIAL (ER)</b>	<b>0.8</b>	<b>1.8</b>
<b>LOW DENSITY RESIDENTIAL (LDR)</b>	<b>1.8</b>	<b>3.0</b>
<b>LOW/MEDIUM DENSITY RESIDENTIAL (L/MDR)</b>	<b>3.0</b>	<b>6.0</b>
<b>MEDIUM DENSITY RESIDENTIAL (MDR)</b>	<b>4.5</b>	<b>8.0</b>

**(1) The density range for each residential land use designation is the minimum and maximum density (dwelling units per gross acre) allowed for a parcel assigned that designation.**

**TABLE 4  
TESOTA HILLS  
COMMERCIAL  
DEVELOPMENT STANDARDS**

LAND USE DESIGNATION	YARD SETBACKS				MAXIMUM BUILDING HEIGHT (FT)
	FRONT (FT)	INTERIOR SIDE & REAR <sup>(1)</sup> (FT)	CORNER SIDE (FT)	RESIDENTIAL BUFFER ZONE <sup>(2)</sup> (FT)	
COMMERCIAL	25	15	15	35	35

(1) Unless 20' emergency access is required.  
 (2) For Commercial abutting residential uses, a six (6) foot high wall is required along the abutting property line. Wall is to be at least six (6) inches thick, constructed of block and finish is to be consistent with project and adjoining residential area.

**TABLE 5**

<b>TESOTA HILLS PARKING SPACES REQUIRED (BY LAND USE TYPE)</b>		
	<b>REQUIRED PARKING</b>	<b>MINIMUM SPACES TO BE PROVIDED (by development site)</b>
<b>SINGLE FAMILY</b>	2	2
<b>COURTHOME</b>	Note 1 below	Based on note 1 criteria below
<b>COMMERCIAL (general)</b>	2 <sup>(2)</sup>	4
<b>OFFICE</b>	1.5 <sup>(2)</sup>	2
<b>SERVICE ESTABLISHMENT</b>	3 <sup>(2)</sup>	4
<b>PUBLIC ASSEMBLY</b>	3 <sup>(2)</sup>	10
<p>(1) 1.3 spaces per efficiency unit 1.5 spaces per 1 or 2 bedroom unit 2 spaces per 3 or more bedroom unit</p> <p>(2) Parking spaces per 1,000 square feet of gross floor area</p>		

**TABLE 6**

<b>TESOTA HILLS LOADING SPACES REQUIRED FOR NEW DEVELOPMENT (BY LAND USE TYPE)</b>		
	<b>LOADING SPACES TO BE PROVIDED PER 10,000 SQUARE FEET OF GROSS FLOOR AREA *</b>	<b>MINIMUM SPACES TO BE PROVIDED **</b>
<b>SINGLE FAMILY</b>	N/A	N/A
<b>COURTHOME</b>	N/A	N/A
<b>COMMERCIAL</b>	1	1
<b>OFFICE</b>	1	N/A
<b>SERVICE ESTABLISHMENT</b>	2	1
<b>PUBLIC ASSEMBLY</b>	1	N/A

\* Loading spaces are to be to the rear or side of the building.  
\*\* The minimum number of loading spaces may be waived by the Community Development Director upon a showing that the spaces are not necessary in the ordinary course of a particular use.

**TABLE 7**

<b>TESOTA HILLS PARKING / LOADING SPACE DESIGN REQUIREMENTS</b>				
	<b>90 DEGREE SPACES *</b>	<b>60 DEGREE SPACES *</b>	<b>45 DEGREE SPACES **</b>	<b>LOADING SPACES</b>
<b>WIDTH (STANDARD)</b>	9	9	9	12
<b>WIDTH*** (HANDICAP ACCESS)</b>	13	13	13	N/A
<b>LENGTH (STANDARD)</b>	18	18	18	55
<b>LENGTH (HANDICAP ACCESS)</b>	18	18	18	N/A
<b>aisle width</b>	25	20	15	25
<p>*For 90 and 60 degree parking, aisle dimensions are 2 – way. **For 45 degree parking, aisle dimensions are 1 – way. ***When two or more handicap spaces are located side by side, the space width of each space or stall can be reduced to 11 feet with shared use of the access aisle. (All dimensions are in feet.)</p>				

**TABLE 8**

<b>TESOTA HILLS REQUIRED SCREENING</b>		
	<b>MINIMUM HEIGHT REQUIRED FOR SCREENING</b>	<b>MATERIALS ALLOWED TO BE USED FOR SCREENING (*,**)</b>
<b>REFUSE CONTAINER</b>	<b>6'</b>	<b>1</b>
<b>VEHICLE DISPLAY</b>	<b>2.5'</b>	<b>1,2,3</b>
<b>PARKING AREA</b>	<b>3'</b>	<b>1,3</b>
<b>OUTDOOR STORAGE</b>	<b>6'</b>	<b>1</b>
<b>MECHANICAL EQUIP.</b>	<b>3.5'</b>	<b>1,3</b>

**\* Materials for fence construction shall be limited to the following:**

- (1) masonry block**
- (2) wrought iron**
- (3) landscape berm/screen**

**\*\* Other materials may be allowed upon the Community Development Director finding that they are either similar to those listed above, or they contribute substantially to the community ambiance and character.**

**TABLE 9**

<b>TESOTA HILLS MAXIMUM SIZE ALLOWED FOR FREE – STANDING SIGNS (BY LAND USE TYPE)</b>		
	<b>MAXIMUM SIGN HEIGHT ALLOWED</b>	<b>MAXIMUM SIGN AREA ALLOWED (in square feet)</b>
<b>MULTIPLE FAMILY</b>	<b>3.5'</b>	<b>18</b>
<b>PUBLIC ASSEMBLY</b>	<b>3.5'</b>	<b>18</b>
<b>COMMERCE PARK</b>	<b>20'</b>	<b>72</b>
<b>OFFICE</b>	<b>3.5'</b>	<b>18</b>
<b>SERVICE ESTABLISHMENT</b>	<b>15'</b>	<b>32</b>

**TABLE 10**

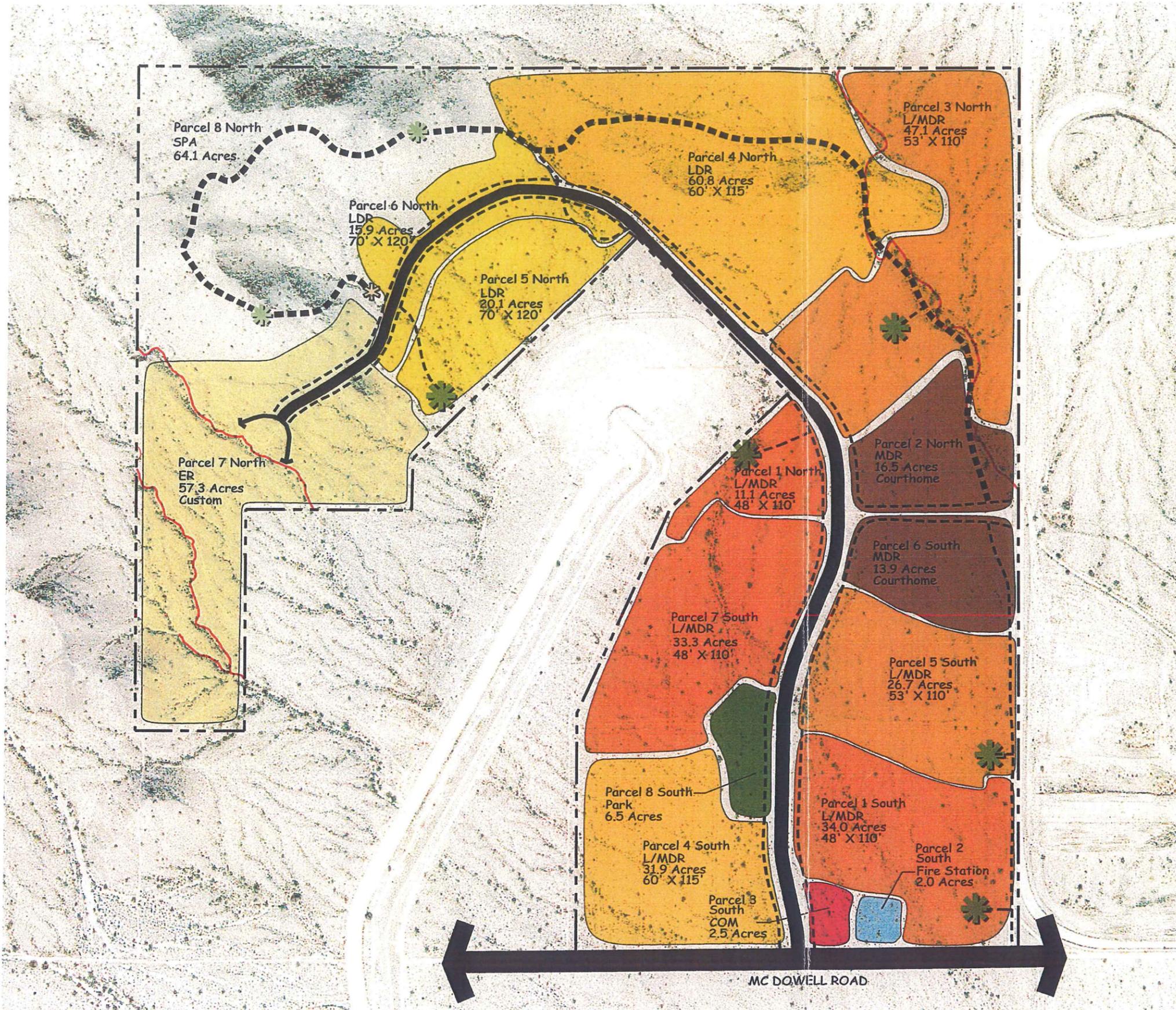
<b>TESOTA HILLS MAXIMUM SIZE ALLOWED FOR ATTACHED SIGNS (BY LAND USE TYPE)</b>	
	<b>SIGN AREA ALLOWED (in square feet) FOR EACH LINEAL FOOT OF BUILDING FACING THE STREET FRONTAGE</b>
<b>MULTIPLE RESIDENCE</b>	<b>0.25</b>
<b>PUBLIC ASSEMBLY</b>	<b>0.25</b>
<b>COMMERCE PARK</b>	<b>1.00</b>
<b>OFFICE</b>	<b>0.50</b>
<b>SERVICE ESTABLISHMENT</b>	<b>0.75</b>

\* Attached signs shall be placed below roof eave line.  
\* Each side of a building having a street frontage may be counted separate and used to place signs.  
\* Buildings located over fifty (50) feet from the street frontage are allowed to double the allowed sign area amount.

# Tesota Hills

COMMUNITY MASTER PLAN

**FIGURE A-1**  
**CONCEPTUAL LAND USE PLAN**



LEGEND	
	Arterial Street
	Collector Street
	Site Boundary
	Approved JD Wash Trail
	Pathways
	Trailhead
	Potential Location of Pocket Parks
	Lookout Point

- Note:
1. For information pertaining to each parcel see Figure A-2, Land Use Budget.
  2. Colors are shown to designate each lot width conceptually anticipated to occur within each parcel.
  3. Land use plan is conceptual and is subject to change per the provisions of the Tesota Hills CMP and development agreement.

NORTH

SCALE: 1" = 600'

CMX JOB NUMBER: 6785  
DATE: 6/21/2003  
Revised: 7/20/2003  
Revised: 11/15/2004



FIGURE A-2

**LAND USE BUDGET**

**NORTH PARCELS:**

Parcel	Land Use Designation	Approximate Gross Acres	Min. Lot Dimensions (Width X Depth)	DENSITY RANGE ALLOWED			TARGET - UNITS ALLOWED W/O TRANSFERS	
				Density Range (du/ac)	Minimum Dwelling Units Allowed	Maximum Dwelling Units Allowed	Target Density (du/ac)	Dwelling Units Allowed Without Transfers
1 NORTH	L/MDR	11.1	48'X110'	3 to 6	33	66	4.2	46
2 NORTH	MDR	16.5	Court Home	4.5 to 8	74	132	7.5	124
3 NORTH	L/MDR	47.1	53'X110'	3 to 6	137	282	3.2	150
4 NORTH	LDR	60.8	60'X115'	1.8 to 3	109	182	2.5	152
5 NORTH	LDR	20.1	70'X125'	1.8 to 3	36	60	2.2	44
6 NORTH	LDR	15.9	70'X125'	1.8 to 3	28	47	2.5	39
7 NORTH	ER	57.3	80'XCustom	0.8 to 1.8	45	103	1.5	85
<b>RESIDENTIAL TOTAL</b>		<b>228.8</b>					<b>2.8</b>	<b>640</b>
8 NORTH	SPA	64.1	N/A	N/A	0	0	0.0	0
<b>NORTH TOTAL</b>		<b>292.9</b>		<b>NORTH PARCELS OVERALL MAXIMUM = 2.2</b>				<b>640</b>

**SOUTH PARCELS:**

Parcel	Land Use Designation	Approximate Gross Acres	Min. Lot Dimensions (Width X Depth)	DENSITY RANGE ALLOWED			TARGET - UNITS ALLOWED W/O TRANSFERS	
				Density Range (du/ac)	Minimum Dwelling Units Allowed	Maximum Dwelling Units Allowed	Target Density (du/ac)	Dwelling Units Allowed Without Transfers
1 SOUTH	L/MDR	34.0	48'X110'	3 to 6	102	204	4.9	166
2 SOUTH	PUBLIC	2.0	N/A	N/A	0	0	0.0	0
3 SOUTH	COM	2.5	N/A	N/A	0	0	0.0	0
4 SOUTH	L/MDR	31.9	60'X115'	3 to 6	95	191	3.8	121
5 SOUTH	L/MDR	26.7	53'X110'	3 to 6	80	160	4.1	109
6 SOUTH	MDR	13.9	Court Home	4.5 to 8	62	111	7.5	104
7 SOUTH	L/MDR	33.3	48'X110'	3 to 6	99	199	4.9	162
<b>RESIDENTIAL TOTAL</b>		<b>144.3</b>					<b>4.6</b>	<b>662</b>
8 SOUTH	OS	6.5	N/A	N/A	0	0	0.0	0
<b>SOUTH TOTAL</b>		<b>150.7</b>		<b>SOUTH PARCELS OVERALL MAXIMUM = 4.4</b>				<b>662</b>
<b>TESOTA HILLS OVERALL</b>		<b>443.6</b>		<b>TESOTA HILLS OVERALL MAXIMUM = 2.9</b>				<b>1,302</b>

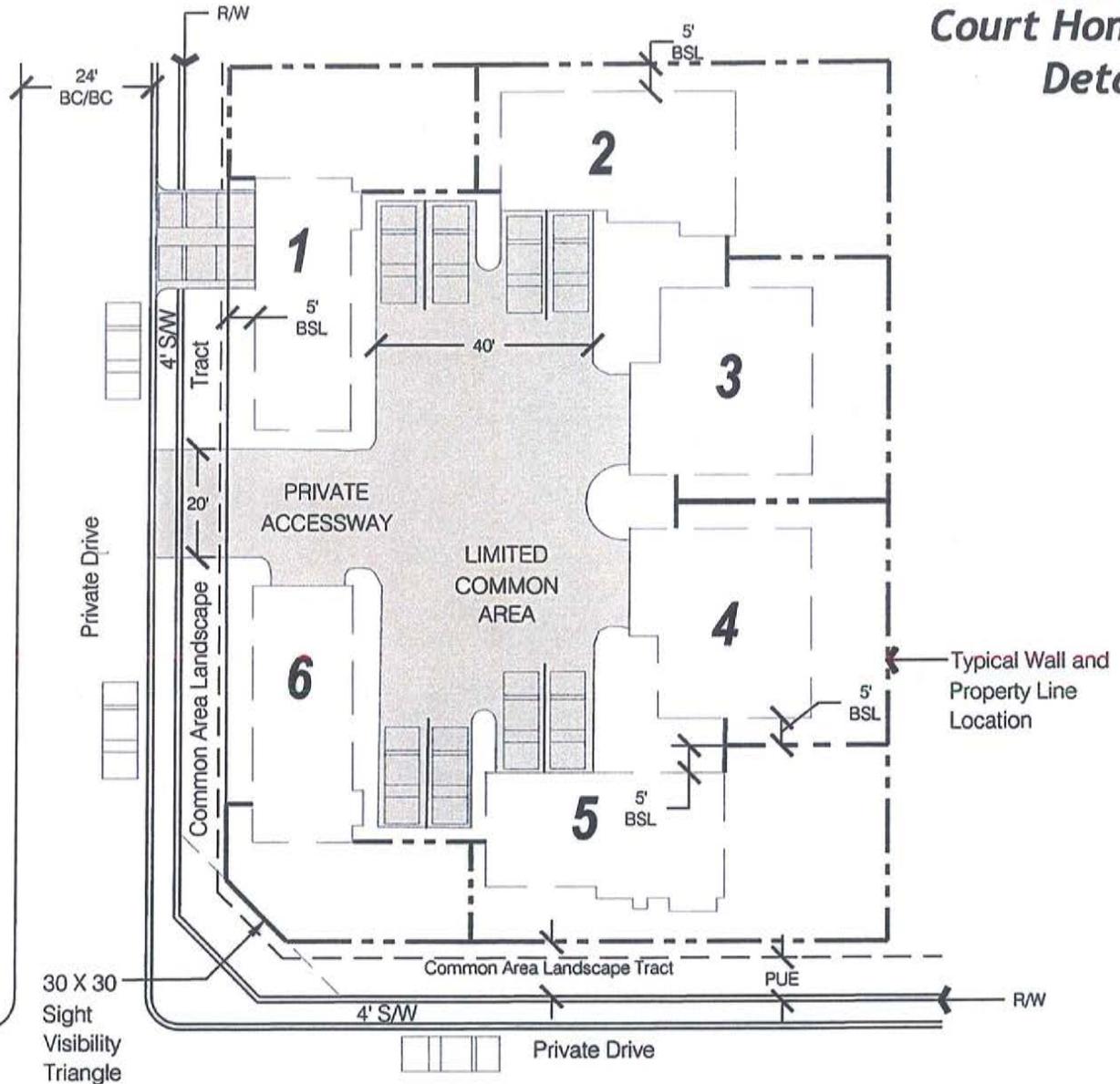
ER = Estate Residential (0.8 to 1.8 dwelling units per acre)  
 LDR = Low Density Residential (1.8 to 3 dwelling units per acre)  
 L/MDR = Low/Medium Density Residential (3 to 6 dwelling units per acre)  
 MDR = Medium Density Residential (4.5 to 8 dwelling units per acre)  
 SPA = Special Planning Area  
 OS = Open Space

Note: Product type provided to indicate minimum standards and is not intended to limit development diversity.



FIGURE A-3

**Court Home Detail**



- SW = Sidewalk
- BSL = Building Setback Line
- BC = Back of Curb
- PUE = Public Utility Easement
- RW = Right of Way
- PL = Property Line

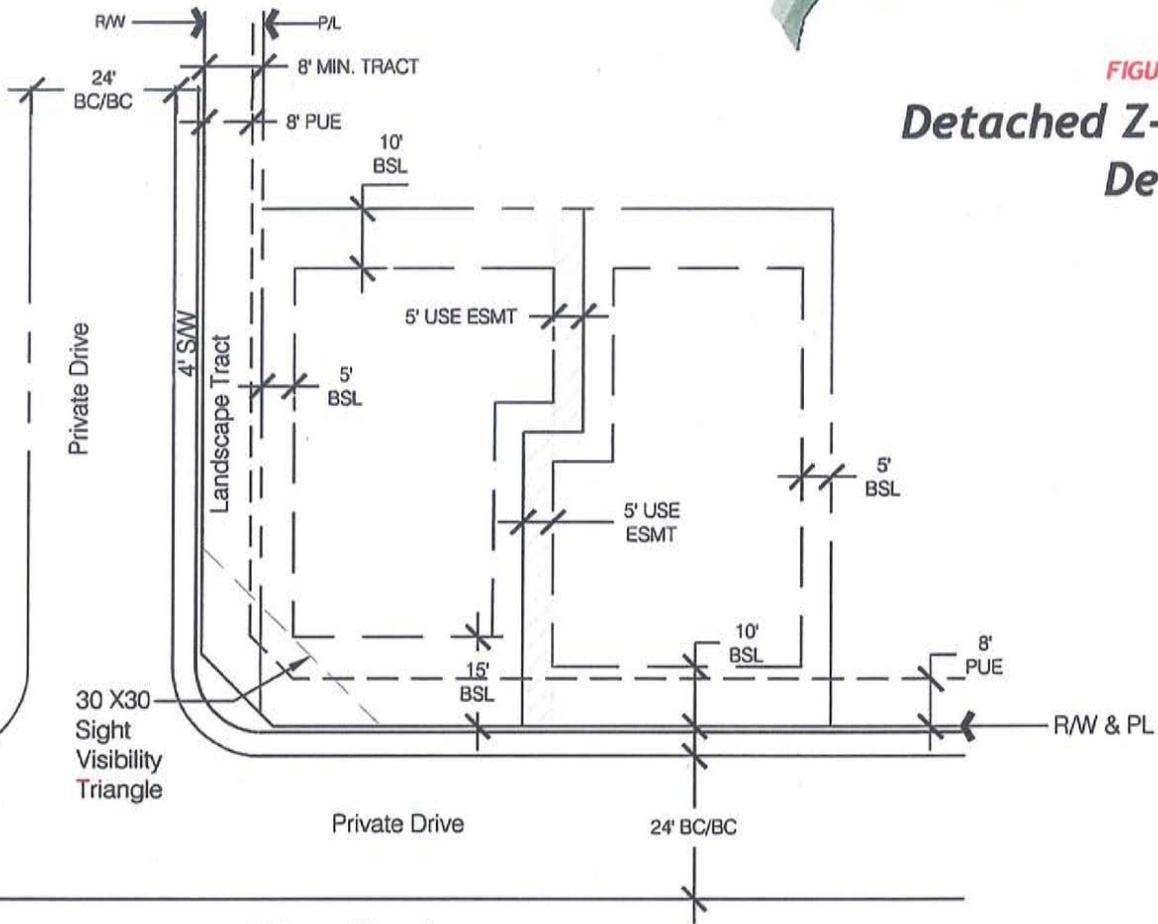


Note: Product type provided to indicate minimum standards and is not intended to limit development diversity.



FIGURE A-4

### Detached Z-Lot Detail



- SW = Sidewalk
- BSL = Building Setback Line
- BC = Back of Curb
- PUE = Public Utility Easement
- R/W = Right of Way
- PL = Property Line

#### SETBACKS

FRONT	* 10' MIN
REAR	10' MIN
SIDE	5' MIN
STREETSIDE	13' MIN (INCLUDES LANDSCAPE TRACT)

\*18' FRONT SETBACK FROM BACK OF SIDEWALK TO THE FACE OF GARAGE DOOR. 10' FOR SIDE ENTRY GARAGE, 15' MIN TO LIVING AREAS



NORTH  
CMX JOB NUMBER: 6785  
07/16/003



Note: Product type provided to indicate minimum standards and is not intended to limit development diversity.

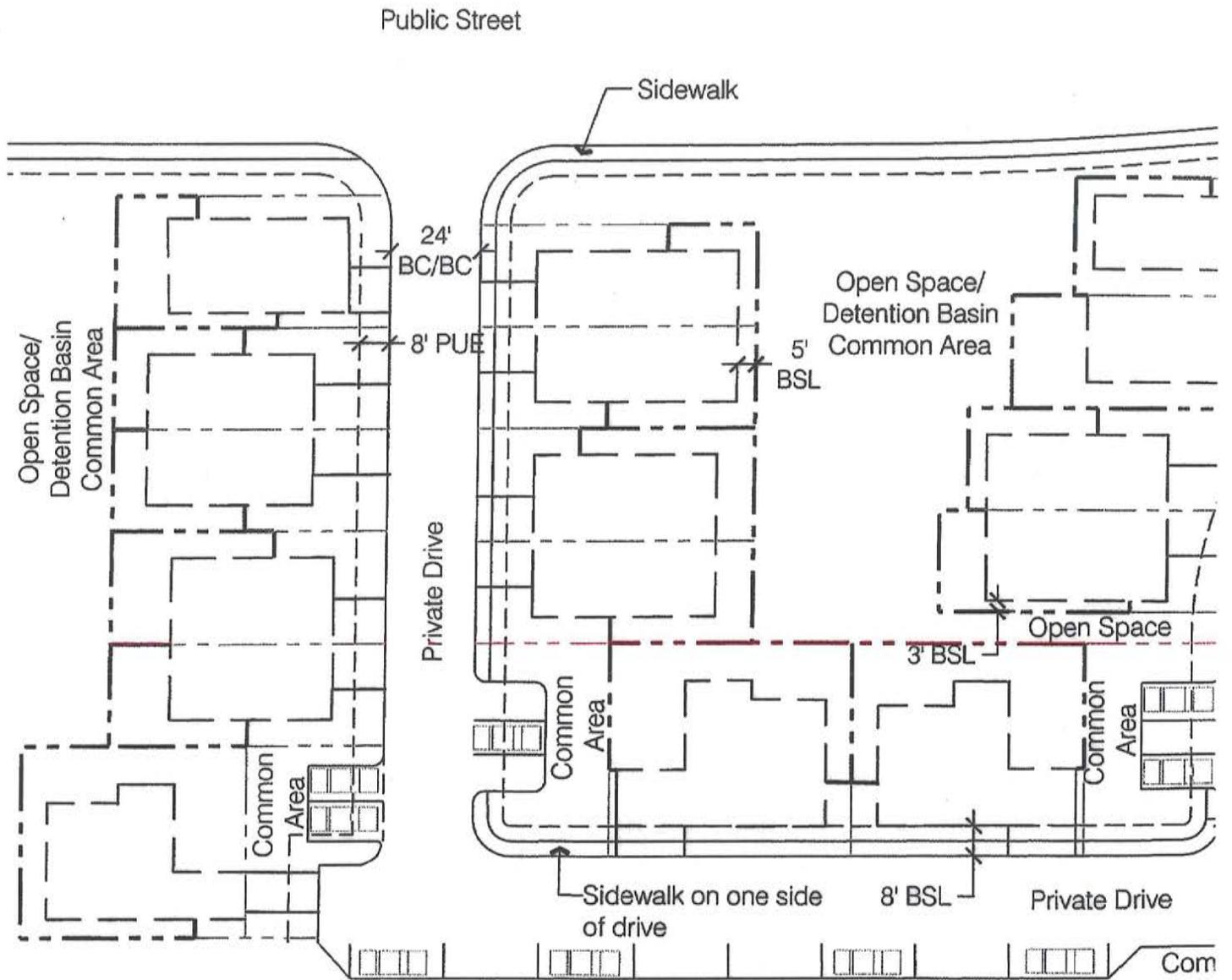
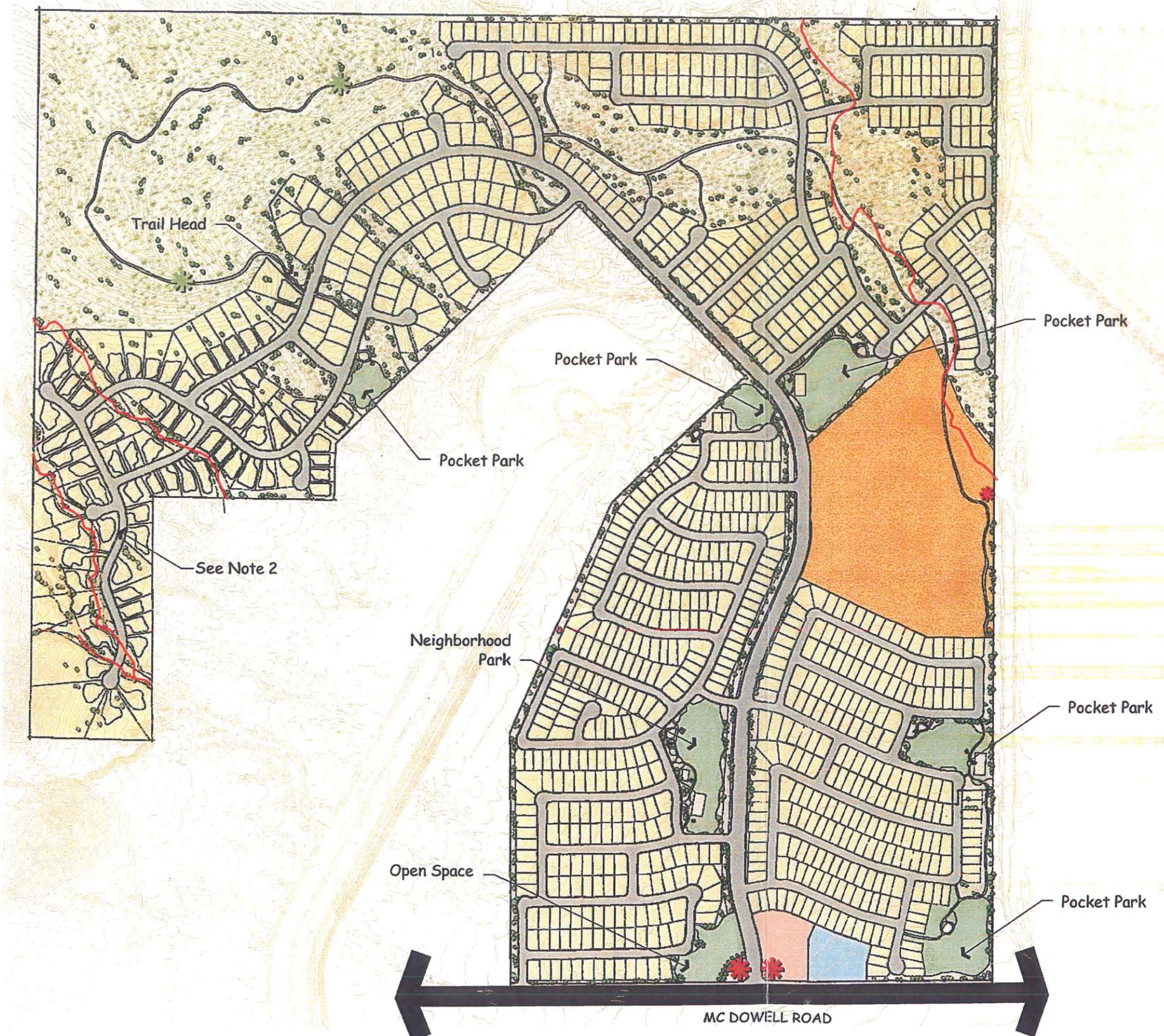


FIGURE B-1

## CONCEPTUAL OPEN SPACE AND TRAILS SYSTEM PLAN

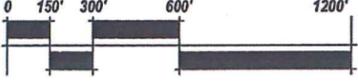


LEGEND

-  Arterial Street
-  Approved JD Wash
-  Trails
-  Entrance Feature
-  Lookout Point
-  Conceptual Roadway location with Adjacent Pathways

Note:

1. Lot layout shown is conceptual, shown for informational purposes only and is subject to change.
2. If single access point cul-de-sac extends farther than 660', automatic fire sprinkler systems shall be used per Section V.P.2 of the CMP.

 NORTH
  SCALE: 1" = 600'
 

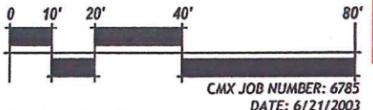
CMX JOB NUMBER: 6785  
 DATE: 6/21/2003  
 Revised: 7/20/2003  
 Revised: 11/15/2004

**NEIGHBORHOOD PARK**



**Minimum list of Amenities**

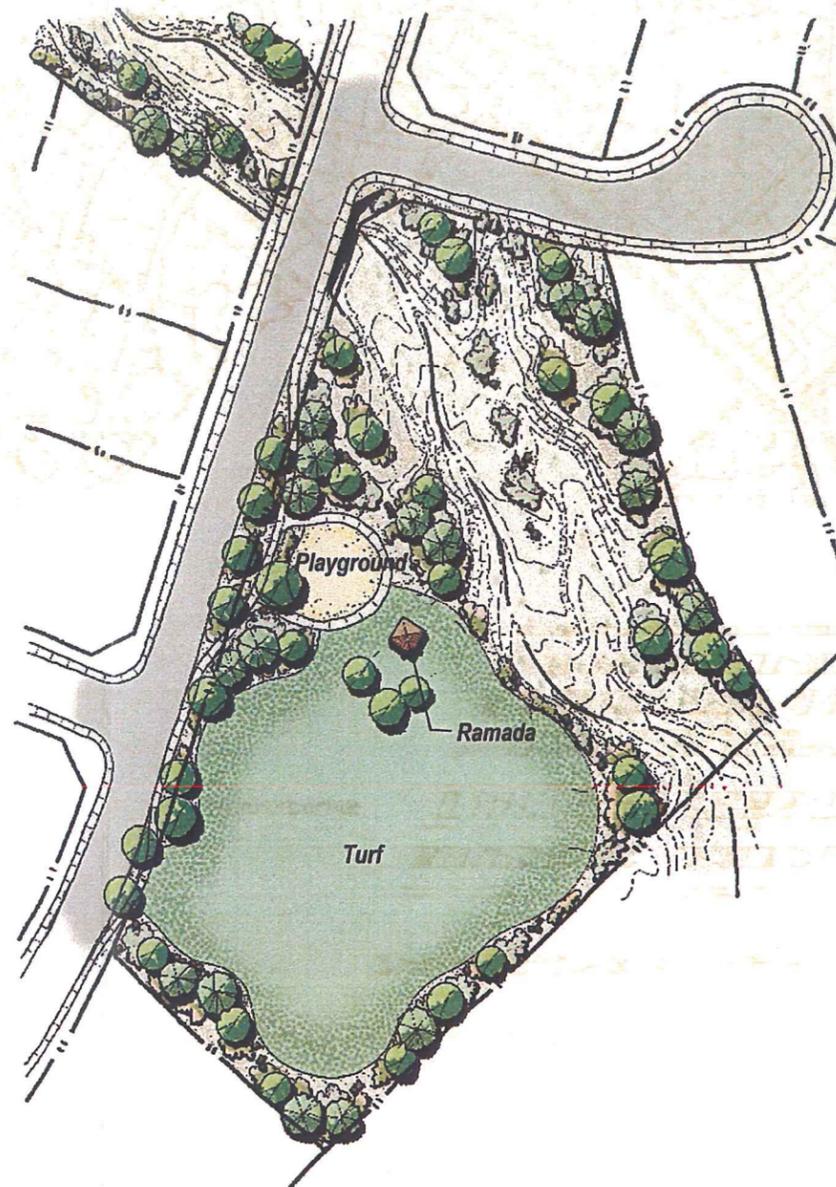
- 1 Sports Court with Basketball Hoops
- 1 Volleyball Court
- 4 Ramadas with one large Group Ramada (24' X 24')
- 5 Picnic Tables
- 5 Barbeque Grills
- 1 Parking Lot
- 2 Sets of Playground Equipment (one for children ages 2 to 5 and one for children ages 5 to 12)


NORTH SCALE: 1" = 40'  
 CMX JOB NUMBER: 6785  
 DATE: 6/21/2003  
 Revised: 7/20/2003

FIGURE B-3

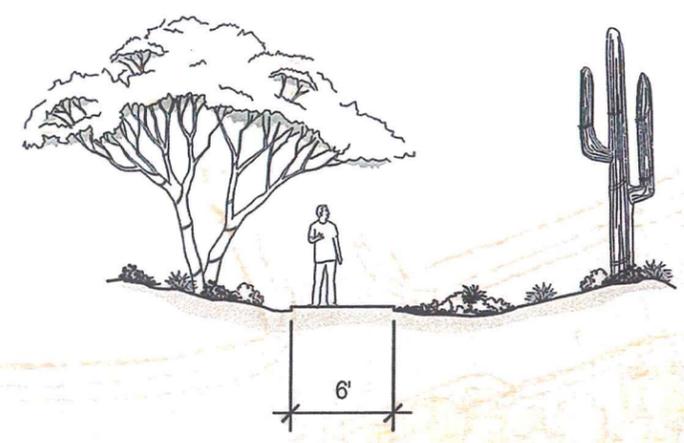
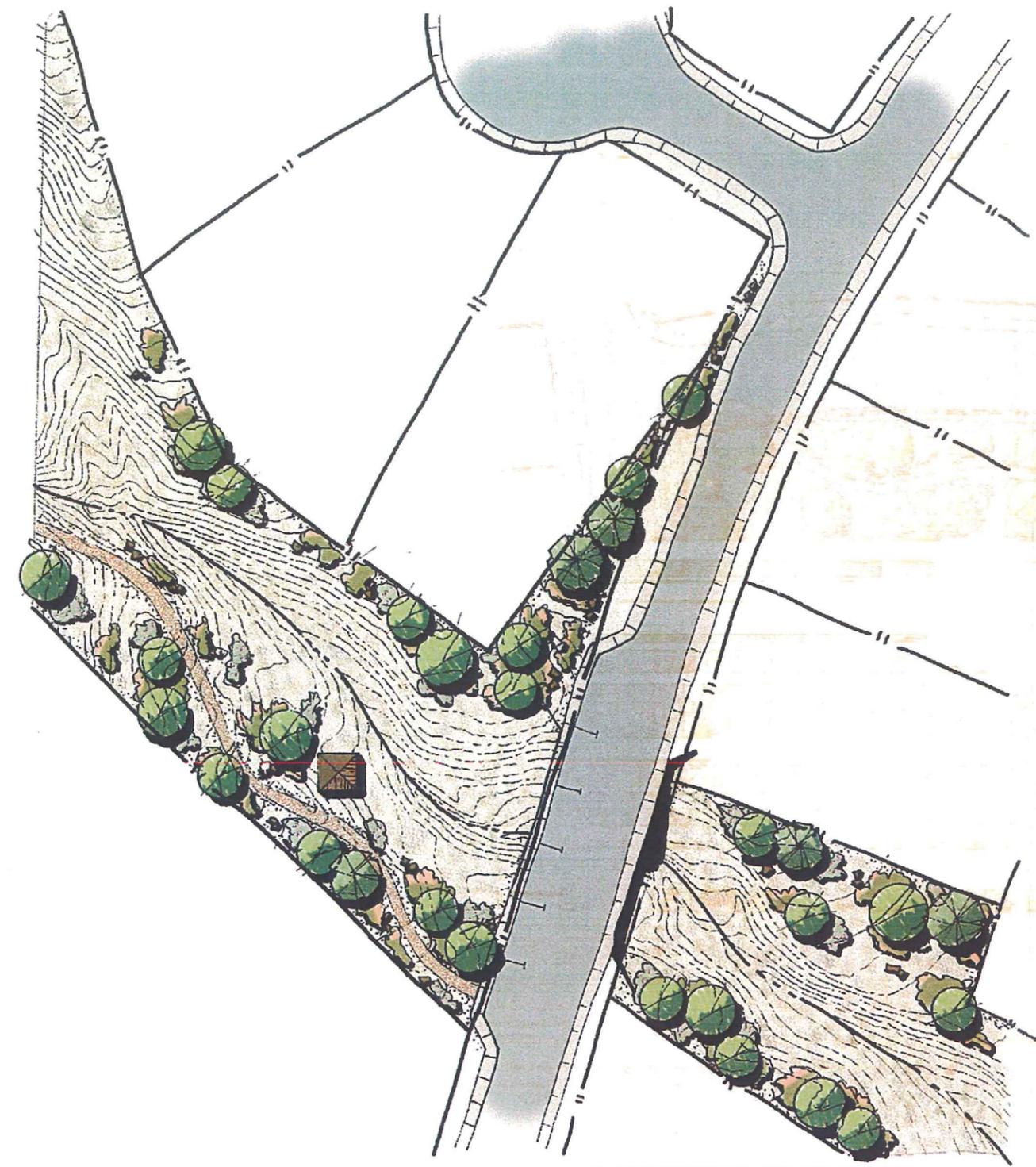
## CONCEPTUAL POCKET PARKS



Notes:

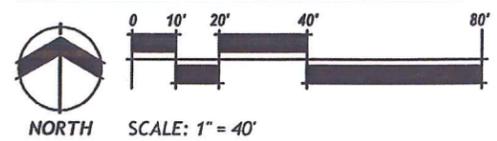
Pocket parks may include such amenities as ramadas, playground equipment, sports court, volleyball court, basketball court and turf areas. This will be determined by such factors as topography, location relative to the neighborhood park, size and ultimate configuration of the park site. The list of amenities will be submitted to the Town for approval as part of the preliminary plat.

FIGURE B-4  
**CONCEPTUAL OPEN SPACE  
 AND TRAILS SECTION**



Natural Trail  
 Scale: 1"=10'

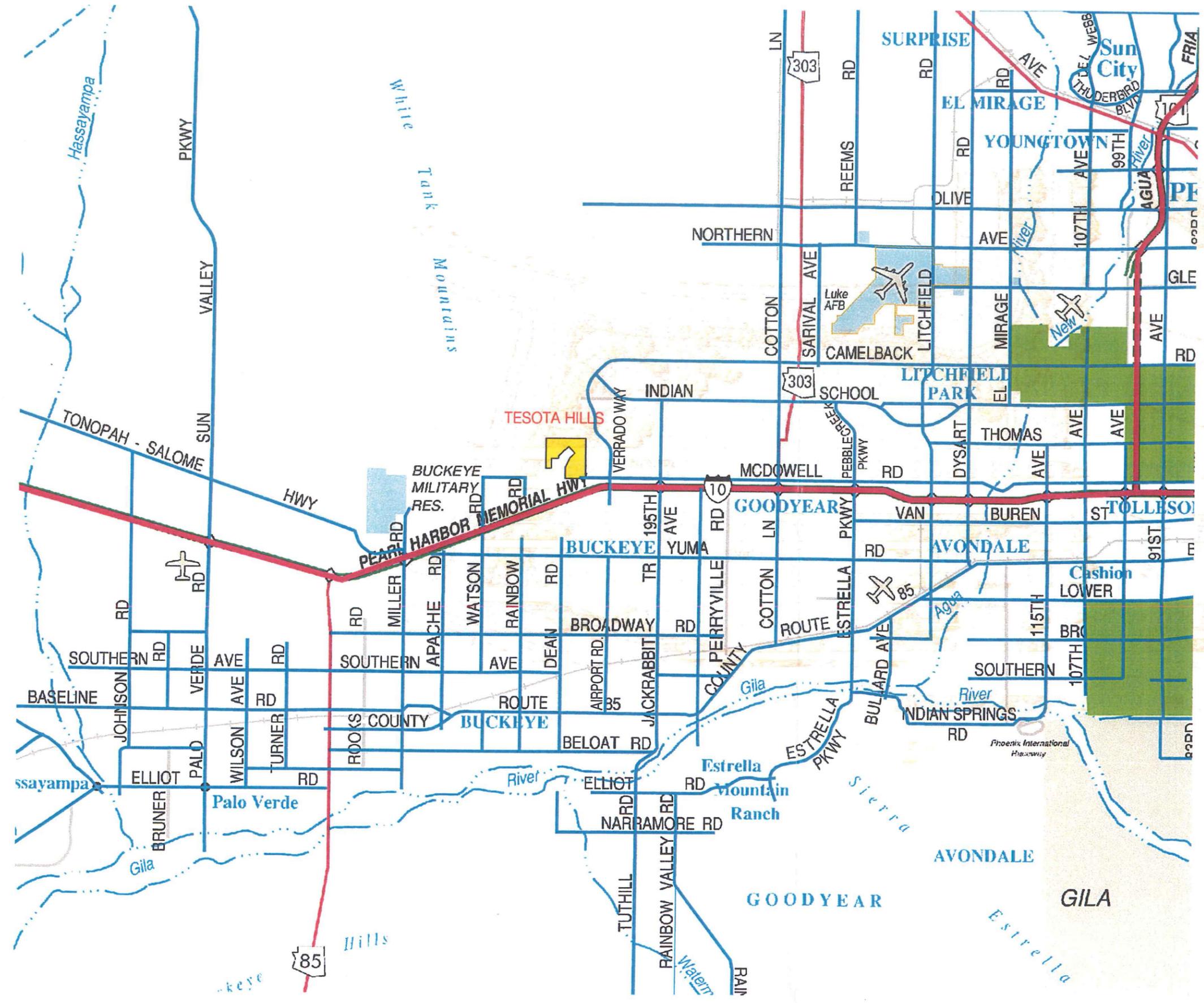
**CONCEPTUAL TRAIL HEAD**



# Tesota Hills

COMMUNITY MASTER PLAN

FIGURE C-1  
REGIONAL MAP



0 2500' 5000' 10,000' 20,000'

NORTH SCALE: 1" = 10,000'

CMX JOB NUMBER: 6785  
DATE: 6/21/2003  
Revised: 7/20/2003  
Revised: 11/15/2004

# Tesota Hills

COMMUNITY MASTER PLAN

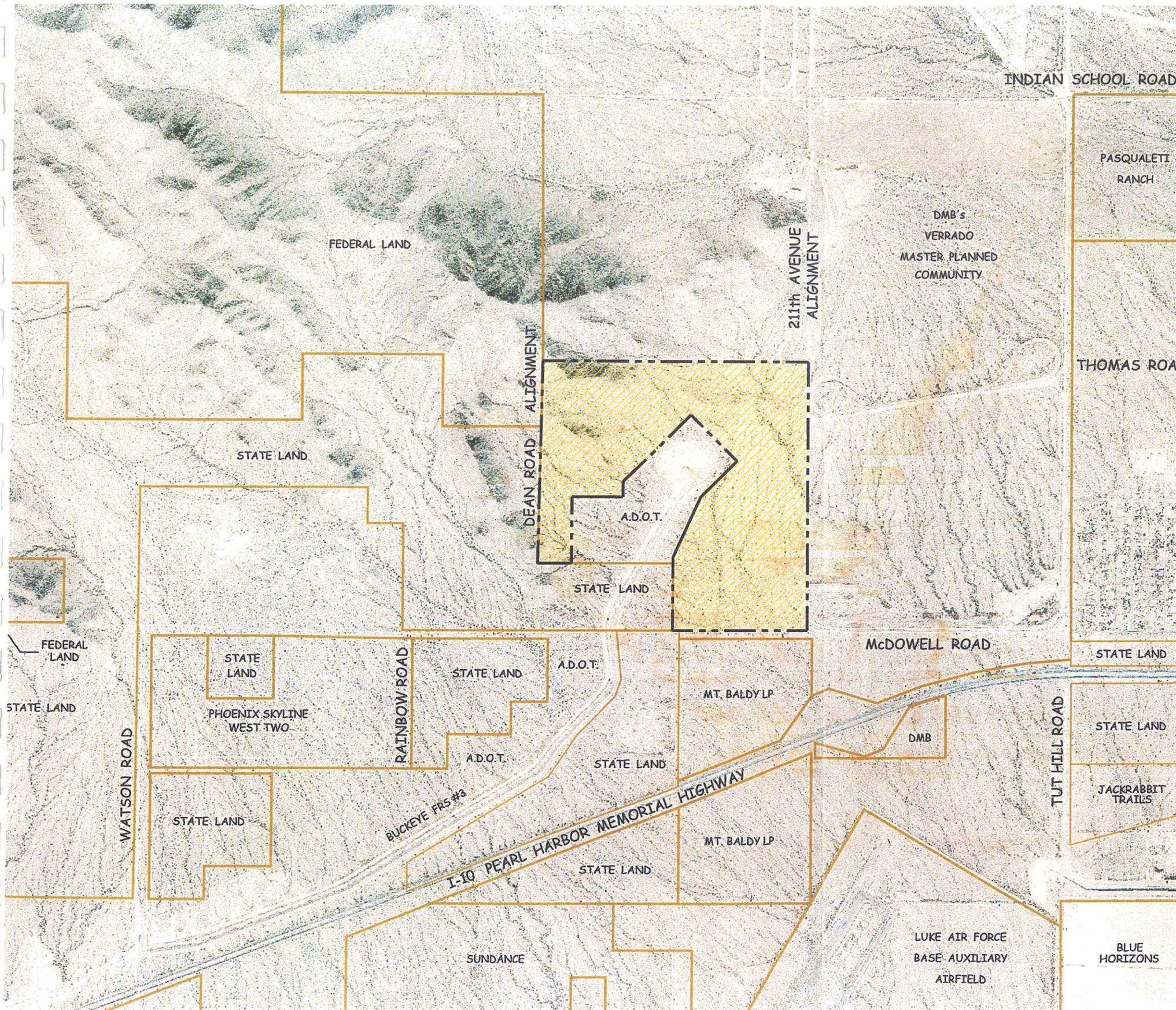
FIGURE C-2

## VICINITY MAP WITH ADJACENT OWNERSHIP

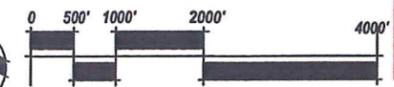
LEGEND



TESOTA HILLS



NORTH



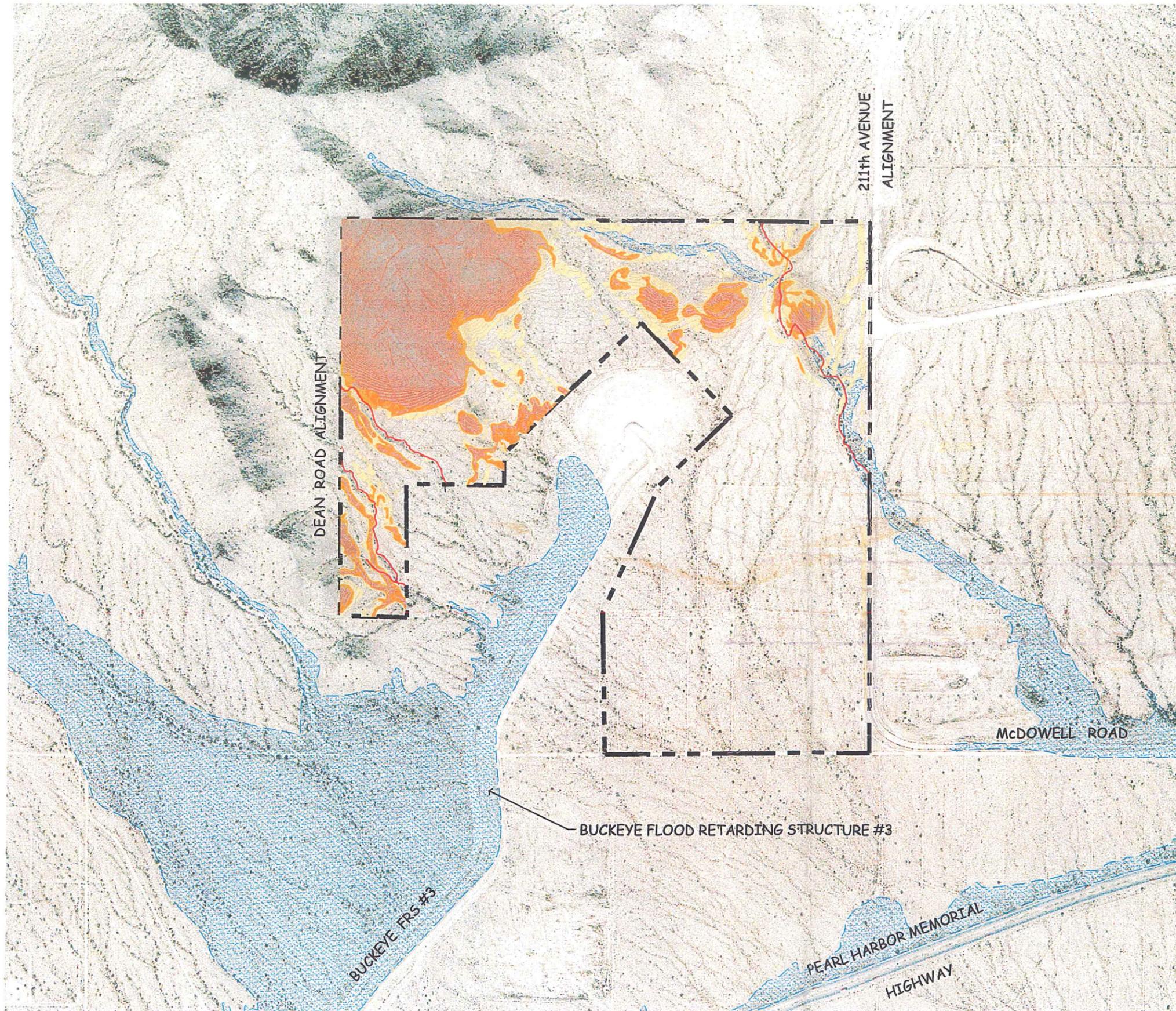
SCALE: 1" = 2000'

CMX JOB NUMBER: 6785  
DATE: 6/21/2003  
Revised: 7/20/2003



FIGURE D

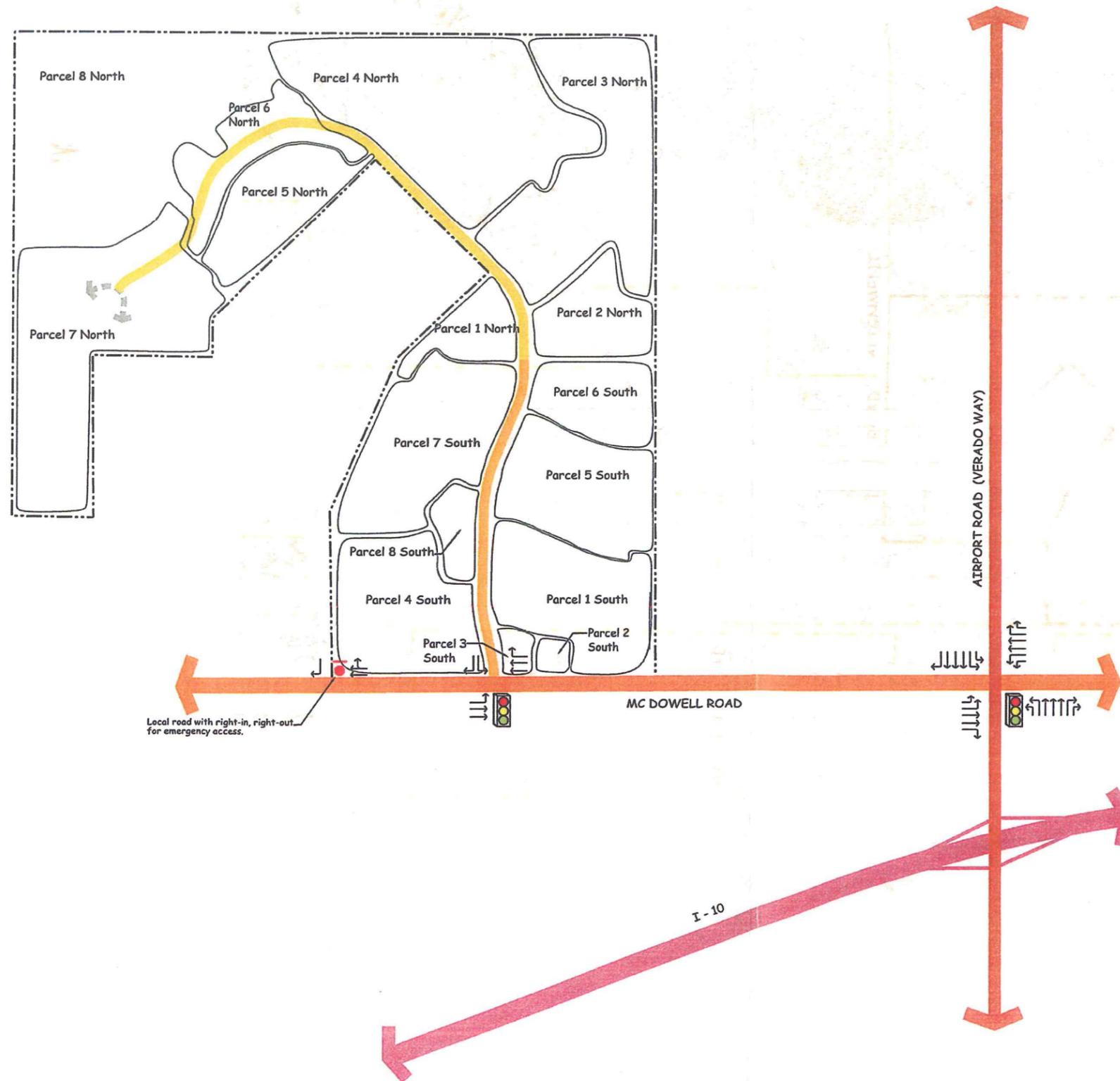
**OPPORTUNITIES AND CONSTRAINTS MAP**



LEGEND

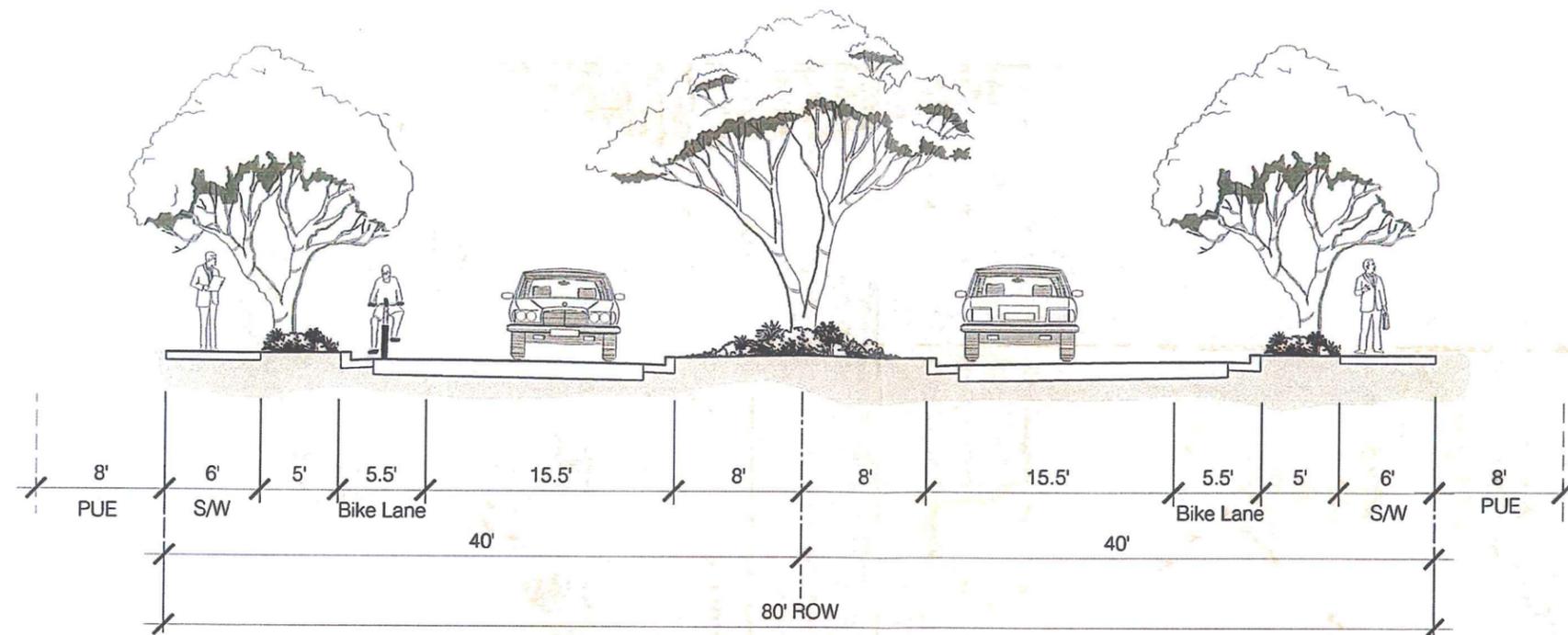
-  Above 15% Slope
-  Above 20% Slope
-  Above 25% Slope
-  Site Boundary
-  Approved JD Wash
-  Floodplain

**FIGURE E-1**  
**MASTER STREET AND CIRCULATION PLAN**

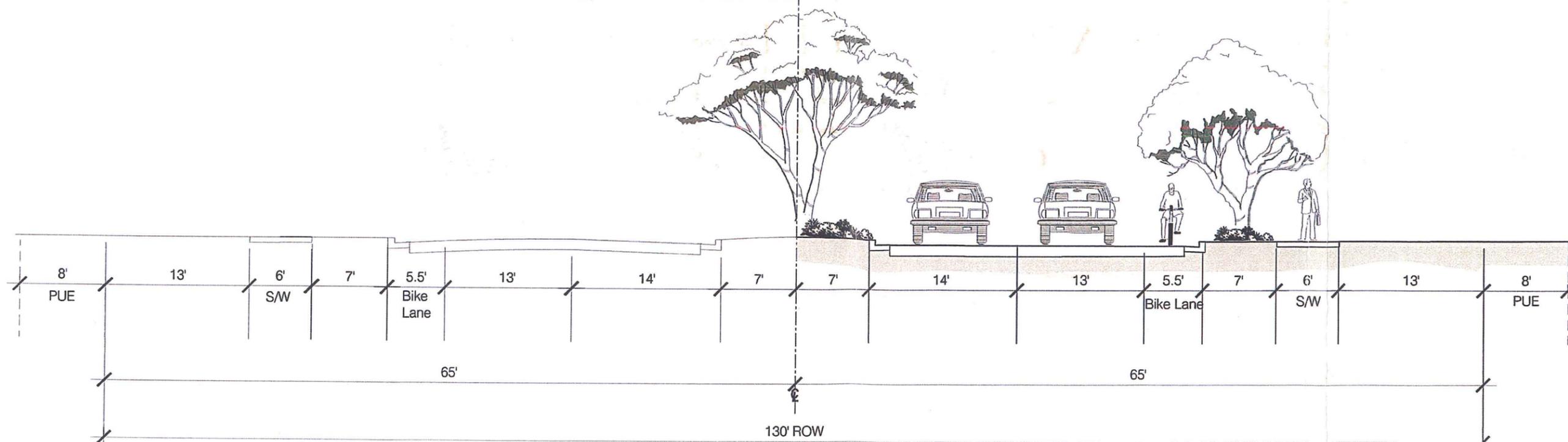


Source: Tesota Hills Traffic Impact Study, Task Engineering August 8, 2003

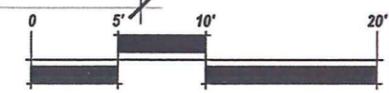
FIGURE E-2  
TYPICAL ROADWAY  
CROSS SECTIONS



**MAJOR COLLECTOR**  
FUTURE



**McDOWELL ROAD**

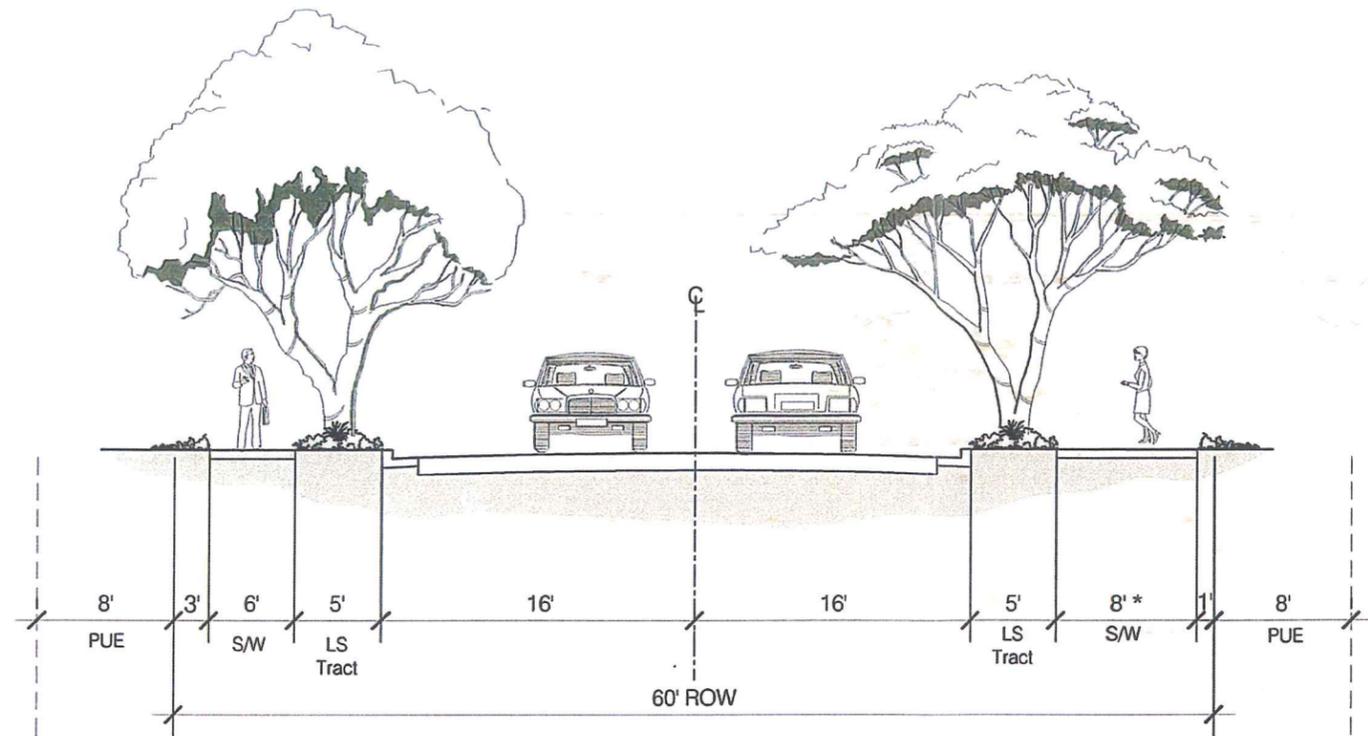


SCALE: 1" = 10'

CMX JOB NUMBER: 6785  
DATE: 6/21/2003  
Revised: 7/20/2003  
Revised: 11/15/2004

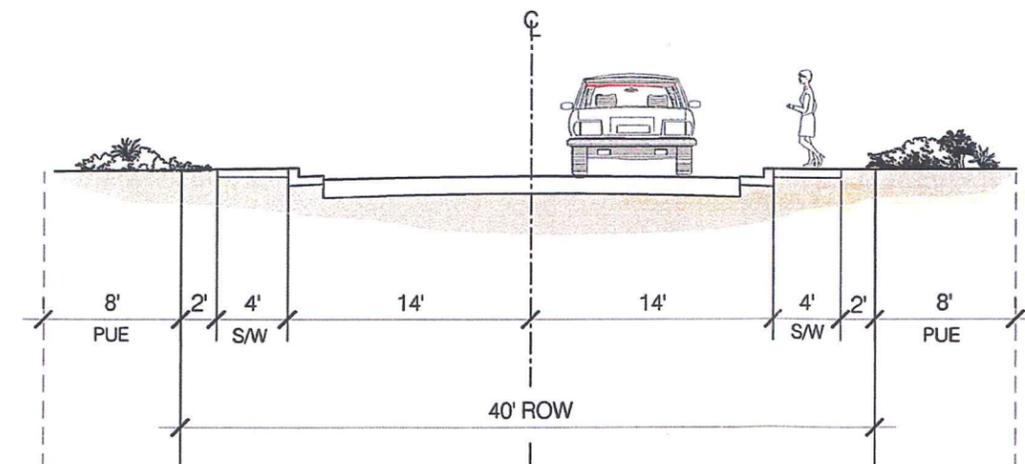


FIGURE E-3  
**TYPICAL ROADWAY CROSS SECTIONS**

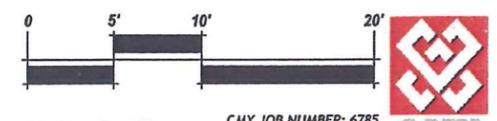


**MINOR COLLECTOR**

\* WIDEN SIDEWALK TO 8' ON ONE SIDE OF MINOR COLLECTOR FOR BIKE TRAFFIC.

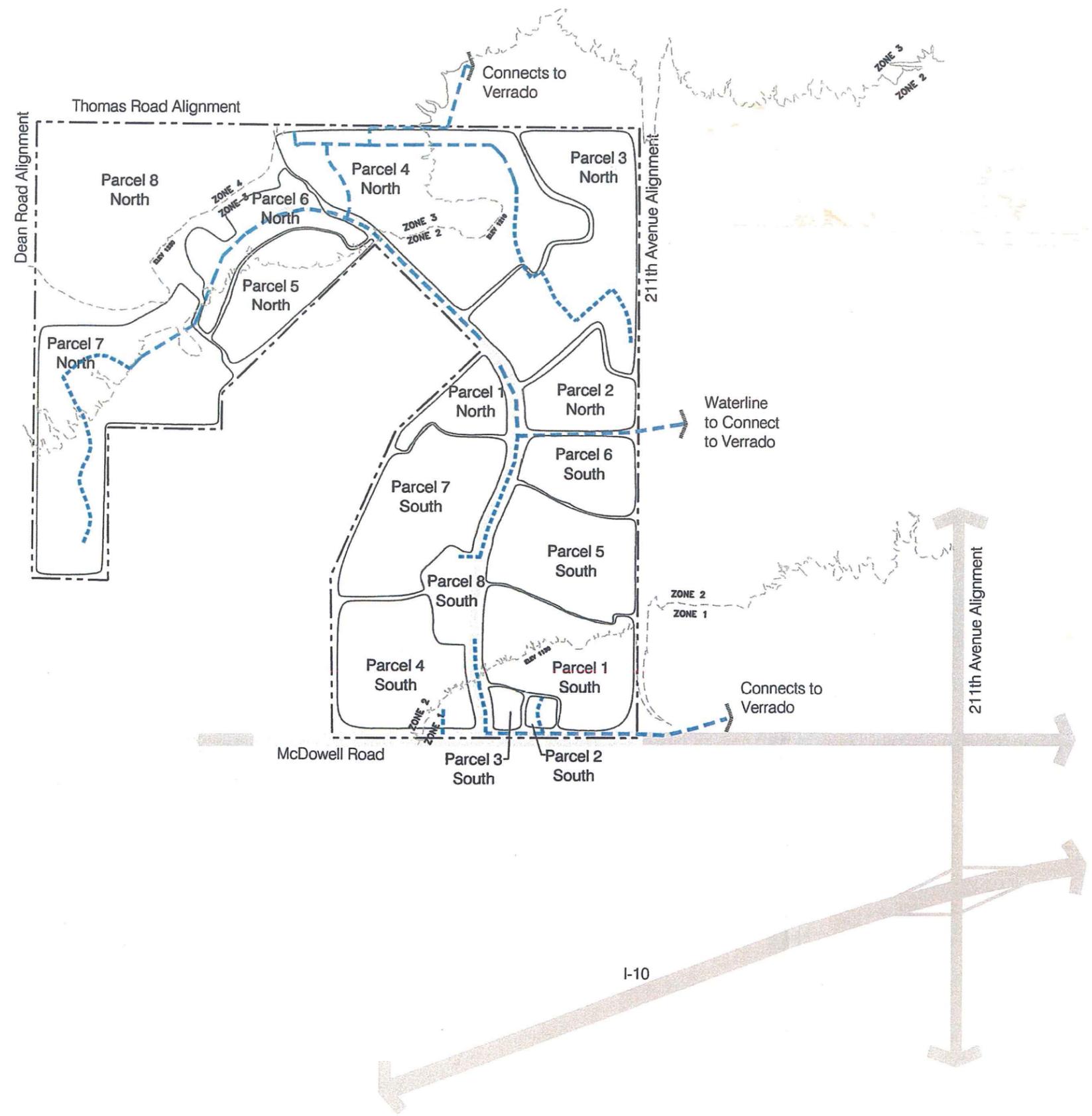


**LOCAL ROAD**



SCALE: 1" = 10'  
 CMX JOB NUMBER: 6785  
 DATE: 6/21/2003  
 Revised: 7/20/2003  
 Revised: 1/15/2004

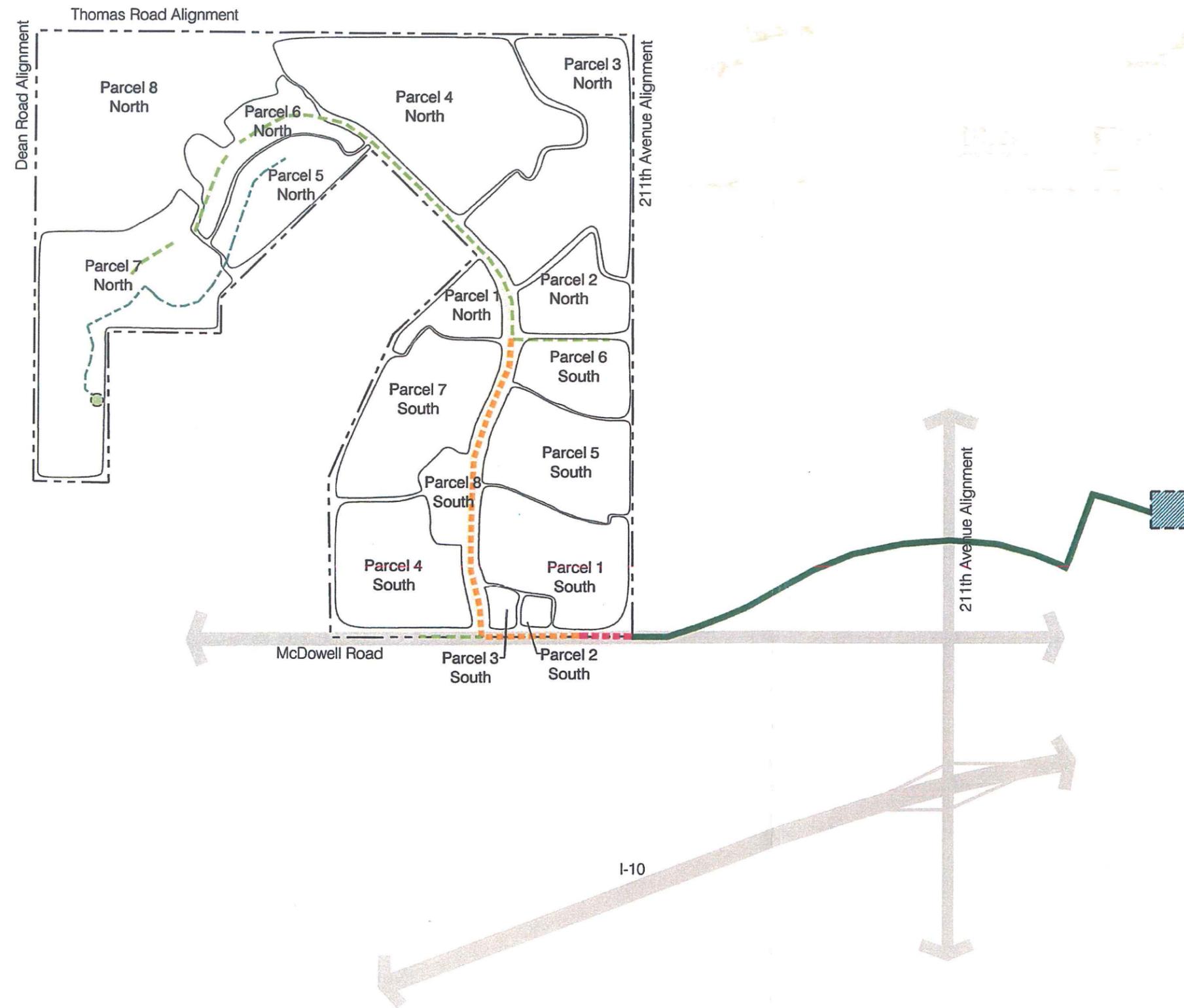
**FIGURE F**  
**MASTER POTABLE WATER PLAN**



- Site Boundary
- 12" Water
- 8" Water
- Pressure Zone Boundary



**FIGURE G**  
**MASTER WASTEWATER PLAN**



**LEGEND**

	Site Boundary
	15" Sewer
	12" Sewer
	10" Sewer
	8" Sewer
	3" Force Main
	AAWC'S Verrado Regional Waste Water Treatment Facility
	Lift Station

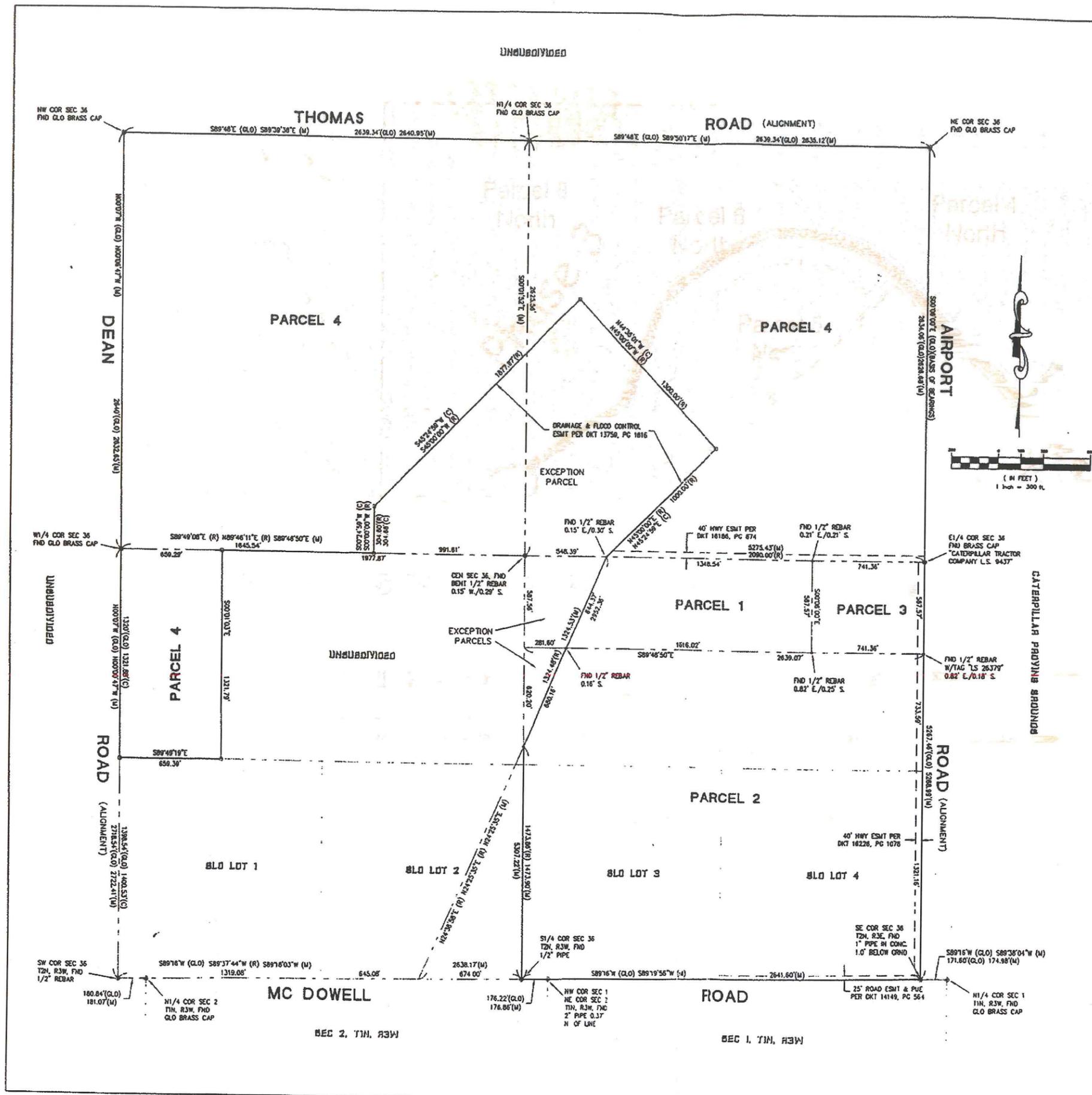
NORTH  
 SCALE: 1" = 1000'  
 CMX JOB NUMBER: 6785  
 DATE: 6/21/2003  
 Revised: 7/20/2003

**Tesota Hills Master Traffic Analysis – Submittal Statement**

*The Master Traffic Analysis is too large to submit in within this CMP. In order to conserve resources, the complete analysis will be submitted to the Town of Buckeye directly, under separate cover.*

**APPENDIX B**

**Legal Description – Boundary Survey**



**LEGAL DESCRIPTION**

**PARCEL NO. 1:**  
 The North 587.56 feet of the Southeast quarter of Section 36, Township 2 North, Range 3 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;  
 EXCEPT the East 741.36 feet thereof; and also  
 EXCEPT that portion of said Northeast quarter of the Southeast quarter of said Section 36 which lies Westerly of the following described line:  
 BEGINNING at a point on the South line of said Section 36, which point bears South 89 degrees 37 minutes 44 seconds West, 674 feet from the South quarter corner of said section; THENCE North 24 degrees 36 minutes 58 seconds East, 2930.38 feet to a point on the East-West mid-section line of said Section 36, which point bears South 89 degrees 46 minutes 11 seconds West, 2090.00 feet from the East quarter corner of said Section 36; and also  
 EXCEPT all mineral deposits and rights as reserved by the State of Arizona in Deed recorded in Docket 427, page 468, and as set forth in Patent from the United States of America recorded in Docket 2089, page 257.

**PARCEL NO. 2:**  
 The Southeast quarter of Section 36, Township 2 North, Range 3 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;  
 EXCEPT the North 587.56 feet thereof; and also  
 EXCEPT that portion of said Southeast quarter of Section 36 which lies Westerly of the following described line:  
 BEGINNING at the East quarter corner of said Section 36;  
 THENCE North 89 degrees 49 minutes 06 seconds West along the mid-section line, a distance of 2090.00 feet to the TRUE POINT OF BEGINNING; THENCE South 24 degrees 25 minutes 35 seconds West, a distance of 1324.48 feet to a point on the North to South mid-section line of said Section 36, said point bearing North 00 degrees 02 minutes 28 seconds West, a distance of 1472.06 feet from the South quarter corner of said Section 36; and also  
 EXCEPT all mineral deposits and rights as reserved by the State of Arizona in Deed recorded in Docket 427, page 468, and as set forth in Patent from the United States of America recorded in Docket 2089, page 257.

**PARCEL NO. 3:**  
 The North 587.56 feet of the East 741.36 feet of the Southeast quarter of Section 36, Township 2 North, Range 3 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;  
 EXCEPT all mineral deposits and rights as reserved by the State of Arizona in deed recorded in Docket 2089, page 257.

**PARCEL NO. 4:**  
 The North half and the North half of the Southwest quarter of Section 36, Township 2 North, Range 3 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;  
 EXCEPT the East half of the Northwest quarter of the Southwest quarter of said Section 36; and also  
 EXCEPT the Northeast quarter of the Southwest quarter of said Section 36; and also  
 EXCEPT that portion of the North half of said Section 36 described as follows:  
 BEGINNING at a point on the East-West mid-section line of said Section 36, which point bears South 89 degrees 46 minutes 11 seconds West, 2090.00 feet from the East quarter corner thereof; THENCE North 45 degrees 00 minutes 00 seconds East, 1000.00 feet; THENCE North 45 degrees 00 minutes 00 seconds West, 1300.00 feet; THENCE South 45 degrees 00 minutes 00 seconds West, 1877.67 feet; THENCE South 304.60 feet to the aforesaid East-West mid-section line; THENCE North 89 degrees 46 minutes 11 seconds East along said East-West mid-section line, a distance of 1540.00 feet to the point of beginning; and also  
 EXCEPT all mineral deposits and rights as reserved by the State of Arizona in Deed recorded in Docket 427, page 468, and as set forth in Patent from the United States of America recorded in Docket 2089, page 257.

**NOTES**

- This survey is based upon the commitments prepared by Fidelity National Title Insurance Company, Order No. 75000119 issued October 8, 1998 (Parcel Nos. 1 and 2); Order No. 75000120 issued October 8, 1998 (Parcel No. 3); Order No. 75000774 issued July 9, 1999 (Parcel No. 4).
- This property subject to the following Schedule B Rents:
  - Reservations contained in U.S. Patent to said land.
  - Ingress, egress and public utility easement per MCR No. 92-0494267 (Does not affect this property).
  - All covenants, conditions, restrictions, reservations, easements and other matters of record affecting this property, if any.
- This property is zoned Rural-43 by Maricopa County.
- This property is natural desert. There are numerous dirt roads and trails across all areas of the property.
- © Copyright 1999. These drawings are an instrument of services and are the property of Land Survey Services. No reproduction or use of design concepts are allowed without written permission of Land Survey Services. Any violation of this copyright shall be subject to legal action.

**CERTIFICATION**

To Fidelity National Title Insurance Company and any other parties with an interest in title to said land:

This is to certify that this map or plat and the survey on which it is based were made (i) in accordance with "Minimum Standard Detail requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 1997, and includes Items 1, 6, 8, 10, 11, 14, 15 and 16 from Table A thereof, and (ii) pursuant to the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification) of an Iron Survey.

Thomas L. Rope, R.L.S. No. 21081

AREAS		LEGEND	
PARCEL 1	19.9936 ACRES	○	SECTION CORNER
PARCEL 2	123.7276 ACRES	●	FND 1/2" REBAR
PARCEL 3	10.0000 ACRES	⋮	SET 1/2" REBAR
PARCEL 4	299.9162 ACRES		

**Land Survey Services**  
 Thomas L. Rope, R.L.S.  
 P.O. Box 9597  
 Phoenix, AZ 85068-9597  
 (602) 953-2740 Fax 953-8117

**ALTA/ACSM LAND TITLE SURVEY**  
 A PORTION OF SECTION 36, T2N, R3W  
 G. & S.R.B.M., MARICOPA COUNTY, ARIZONA



Thomas Rope
DATE: AUG 99
JOB NO.: 99119
SHEET: 1 OF 1

**APPENDIX G**

**Definitions**

## APPENDIX G

### DEFINITIONS

Definitions provided in the Development Code shall be utilized when interpreting the CMP unless an alternative definition is provided below or elsewhere in the CMP, in which case, the definitions contained in the CMP shall apply. In the event of a conflict between the definitions provided in the CMP and those provided in the Development Code, the definitions in the CMP shall prevail.

**Adult Uses:** Any establishment that offers live, transmitted, or recorded entertainment where specified anatomical areas can be seen by patrons. Such establishments may feature dancers, go-go dancers, exotic dancers, strippers, or other similar entertainers, any of whom perform topless. Adult uses are also any establishment with a principal use characterized by the sale or distribution of merchandise with a predominant emphasis on the display, depiction, description, or relation to sexual activities or specified anatomical areas. Merchandise includes, but is not limited to, motion pictures, cassettes, films, books, magazines, posters, cards, pictures, periodicals, instruments, devices, equipment, paraphernalia, or other similar products. For the purpose of this definition, ten (10) percent or more of the merchandise constitutes a principal use.

**Building Height:** The vertical distance of a building measured from finished grade to the highest point of the roof.

**Clustered Housing:** A single-family detached development pattern which focuses lots around a shared access drive between single-family detached lots.

**Conditional Use:** A Conditional Use requires issuance of a Use Permit and Site Plan approval by the Town of Buckeye Development Board and issuance of a building permit by the Administrator.

**Cut:** The land surface that is shaped through the removal of soil, rock, or other materials.

**Density:** Density is the number of dwelling units divided by the number of acres contained within the subject property, parcel or plat. The manner in which density will be referred to is units per acre. The density calculation includes all areas planned for residential use, common areas, open space

(including hillsides), street right-of-way (excluding half-street right-of-way for McDowell Road), and drainage retention areas. Commercial and industrial areas shall not be included in the density calculation.

**Density Range:** Density Range is the minimum and maximum density (dwelling units per net acre) allowed within each parcel assigned a residential land use designation. Estate Residential has a range of 1 to 2 units/acre, Low Density Residential has a range of 2 to 3.5 units/acre, and Medium Density Residential has a range of 3.5 to 6 units/acre. The minimum and maximum number of dwelling units (or range) allowed on any residential parcel is shown in the **Land Use Budget, Figure A-2**. The number of dwelling units for any residential parcel shall not drop below the range minimum or exceed the range maximum without effecting a major revision to this CMP. However, the density range does set minimum and maximum limits on the parcel as a whole. For instance, a subdivision within a parcel designated as Medium Density Residential may exceed the maximum of 6 units/acre or fall below the minimum of 3.5 units/acre as long as the overall density for the entire parcel does not exceed or fall below the assigned density range of 3.5 to 6 units/acre. Also see definition of Target Density.

**Disturbed Area:** That area of natural ground that has been or is proposed to be altered through grading, cut and fill, removal of natural vegetation, placement of material, trenching, or by any means that causes a change in the undisturbed natural surface of the land or natural vegetation.

**Dwelling Unit:** A room or group of rooms within a building containing cooking accommodations and designed to be occupied exclusively by a single residential unit.

**Fill:** The deposit of soil, rock, or other materials placed by man.

**Finished Grade:** The final grade and elevation of the ground surface after grading is completed.

**Grading:** Any excavating, filling, or combination thereof, including the conditions resulting from any excavation of fill.

**Gross Acres:** Used in the Land Use Budget to define the number of acres in a parcel, which includes acreage for open space (including hillsides), common areas, retention/detention areas and road rights-of-way. See **Section II. B., Land Use Budget**.

**Guest House:** An attached or detached building to be used for dwelling purposes situated on the same lot as a primary residence.

**Health Club:** A place or building where active exercise and related activities are performed utilizing weight control or muscle building equipment or apparatus for the purpose of physical fitness. It shall also mean a place or building, which provides massage, exercise and related activities with or without such equipment or apparatus.

**Hillside:** Hillside or Hillside Area consists of all land wherever the natural terrain has a slope of fifteen (15) percent or greater outside of localized slope areas as determined by a registered professional engineer who is licensed to practice in the State of Arizona.

**Home Occupation:** Any occupation or profession conducted from a principal residence in a residential use area, as an accessory use. Home occupations will be subject to the following:

- The number of employees shall be limited to one non-family member or permanent resident in addition to the principal occupant;
- Activity shall be limited to the hours between 7:00 A.M. and 7:00 P.M.;
- Activity shall have no adverse impact on the surrounding neighborhood;
- Heavy machinery and outdoor storage of any kind related to the home occupation shall not be permitted, along with indoor storage of chemicals, materials or equipment not normally found in a residential area;
- Vehicle traffic flow and parking may increase by no more than one additional vehicle at a time;
- No increase in the use of any one or more utilities (water, sewer, garbage, etc.) so that the combined total use for dwelling and home occupation purposes does not exceed the average for residences in the neighborhood;
- No more than one room or twenty-five (25) percent of the gross area of one floor of said residence, whichever is less, shall be used for such purpose. Use of accessory buildings or garages for such purposes is prohibited;
- Signage shall be limited to a maximum of two (2) square feet, non-lighted, and located on-site for the purpose of business identification only.

**Localized Slope Areas:** Localized slope areas consist of those areas where the natural terrain has a slope of fifteen (15) percent or greater with an elevation change of ten (10) feet or less within an area of one-half (0.5) acre or less. These areas are made up of areas of isolated or non-contiguous slope such as localized rock outcroppings, drainageways and non-jurisdictional washes.

**Lot:** A parcel of land, or contiguous parcels under one (1) ownership with frontage or access to a public street, occupied or designed to be occupied as a unit and which has been established by plat, subdivision, or otherwise lawfully permitted.

**Lot, Corner:** A parcel of land located at the intersection of two (2) or more streets.

**Lot Coverage:** The total structural coverage provided on a lot or site inclusive of all roofed areas or structures capable of supporting a roof divided by the net area of the lot or parcel. The first three feet of roof overhang or projection shall not be included in the lot coverage.

**Lot Depth:** The shortest distance between the midpoint of the front lot line and the midpoint of the rear lot line.

**Lot, Interior:** A lot other than a corner lot.

**Lot Line:** The lines (front, rear and sides) of a lot that define the boundary of the lot.

**A. Front -** the lot line adjacent to a street, except as follows:

1. Corner lot – the shorter of the two (2) lot lines adjacent to the street shall be the front lot line. The other street frontage shall be the corner side lot line.

**B. Rear –** the lot line most nearly opposite to the front property line. In the event that the front property line is a curved line, then the rear property line shall be the lot line most nearly opposite a line used to determine front setback line tangent to the front property line at its midpoint.

**C. Side –** Those other lot lines not defined as a front or rear lot line.

**Lot Width:** If the side property lines are parallel, the shortest distance between these side lines. If the side lines are not parallel, the width of the lot shall be the width of the lot at its front setback line.

**Maximum Density:** Maximum density is the total number of dwelling units per acre allowed for a given parcel with transfer of density from another parcel. Exceeding this maximum density would constitute a major

amendment to the CMP (also see Density Range). (See Sections I. G., Amendments to the CMP and Section II. A., Land Use Designations)

**Natural Grade:** The grade and elevation of the ground surface, as it exists in its natural undisturbed state.

**Neighborhood Park:** Public park which has a minimum size of 4.5 acres and provides recreational opportunities and amenities, which may include, but are not limited to, ramadas, picnic tables, playground equipment, tot lots, open play areas, and volleyball and sports courts.

**Net Area:** The area included within lot or parcel lines after all right-of-way dedications have been made.

**Open Space Area:** Floodways, drainageways, arroyos, paths and trails, natural area open space, active and passive parks, hillsides, and other private and public recreation areas. The actual open space acreage and designated locations within each parcel will be determined as more topographic information is made available for the property, drainageways are delineated and parks, schools and golf course size and locations are finalized. The revised actual open space acreage and areas will be provided and updated with the preliminary plats.

**Planning Director:** Person designated by the Town Manager as having the primary responsibility for administering and enforcing the CMP, also referred to as the Land Use Administrator.

**Retaining Wall:** A wall used solely to retain more than eighteen (18) inches of material but not to support or to provide a foundation or wall for a building.

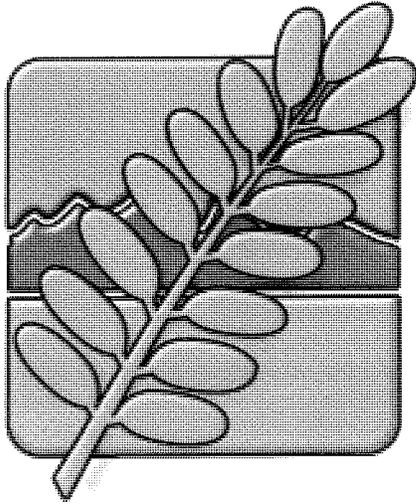
**Setback:** Measured from property line.

**Signature Architecture:** Buildings of architectural significance via their purpose or location in the community such as municipal use buildings, recreational facilities, religious facilities, educational facilities, resort facilities, etc. In addition, signature architecture includes icon buildings that may be other than previously listed such as, but not limited to, residential uses that are to be focal accents due to their location at intersections or at the axial alignment of transportation corridors. Due to their prominence, these facilities may have unique architectural elements, distinctive color, or overall form that celebrate their prominence and significance in the community.

**Single-Family Dwelling:** A building used for occupancy by one (1) family, with the units completely separated by a common wall, floor and/or ceiling. Typically these are detached dwelling units, but can be attached when a duplex or when dwellings are in a cluster configuration.

**Target Density:** Target density is the number of dwelling units per acre used to calculate the maximum number of dwelling units allowed for each residential parcel without transfer of units from another parcel. The maximum number of dwelling units assigned to each parcel cannot be exceeded unless dwelling units from another residential parcel are transferred to that parcel. The parcel from which density was transferred shall then hold a reduced target density to correspond to the transferred units. The target density assigned a residential parcel can be achieved by using a combination of lot sizes (see **Section II. B., Land Use Budget**).

**Use Permit:** A Use Permit is required for Conditional Uses. Approval is granted by the Town of Buckeye Development Board and authorizes the applicant to make application to the Administrator for a building permit.

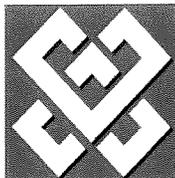


# Tesota Hills

## Community Master Plan Amendment

Approved April, 2004  
Revised November, 2005

Prepared By:



**CMX, L.L.C.**  
7740 N. 16<sup>th</sup> Street, Suite 100  
Phoenix, Arizona 85020





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---

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(602) 274-3831

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Stephen C. Earl  
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Phoenix, AZ 85012  
(602) 265-0094





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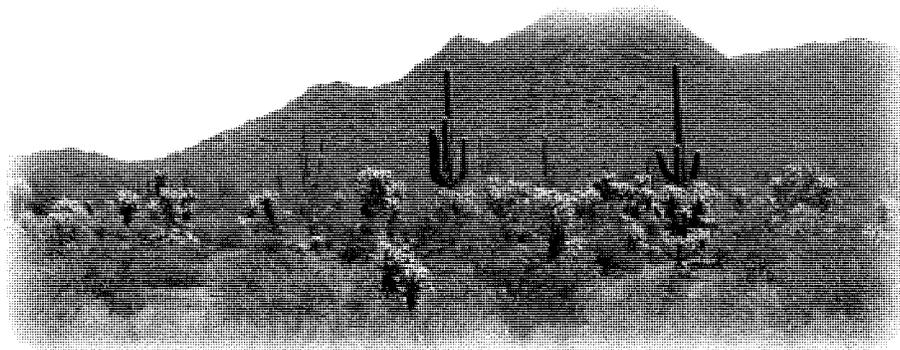
## I. Introduction

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In April 2004, the Town of Buckeye Town Council approved the Tesota Hills Community Master Plan (the "CMP"). Currently, the property is being purchased by the Pulte Home Corporation, and slight modifications to the originally approved CMP have become necessary. These minor modifications are in keeping with Pulte's philosophy and commitment to creating communities that are responsive to the environment and the needs of the homeowners.

The revised land plan for Tesota Hills integrates the site's natural features as the foundation upon which to develop character and theme, ultimately creating a community in which the residents can truly enjoy the beauty of its natural setting. The revised land plan is sensitive to the environment by preserving the natural washes, offering significant amounts of open space, and establishing an extensive amount of multi-use trail corridors, in addition to providing residents an array of common area facilities. These amenities include both urban and natural trails that will connect the neighborhoods to the centralized neighborhood park, individual neighborhood pocket parks and a possible Recreation and Fitness Center for the entire community.

This CMP Amendment is a request that the Town of Buckeye (the "Town") approve certain adjustments to the original CMP for Tesota Hills Master Planned Community. Tesota Hills is approximately 444 acres of land located just north of McDowell Road and one-half mile west of the Interstate 10 interchange at Verado Way (formerly Airport Road). The original Tesota Hills CMP and this Amendment are intended to provide a comprehensive master plan, which is consistent with all Town of Buckeye regulations and the Buckeye General Development Plan 2001 (the "General Plan") in order to provide for a quality development. The documents provide a detailed description of residential land uses, trail and open space concepts, and infrastructure requirements for the Community. The land plan for Tesota Hills provides a mixture of detached single-family residential units, and court homes, in addition to neighborhood and community amenities that will meet the needs of the residents. Overall, the existing topography of the site, coupled with the enhancement and preservation of natural site features, allows Tesota Hills to be developed as a high quality and unique residential development.





A. Goals and Objectives of this Amendment

- Update the CMP to reflect the current development team, land ownership, land use planning and infrastructure.
- Implement text changes that are consistent with the goals of both Pulte and the Town of Buckeye.
- Document how the proposed Amendment preserves Tesota Hills as a sustainable Community that integrates diverse residential neighborhoods and commercial uses.
- Make land use adjustments to be compatible with the on-site and off-site drainage issues.
- To provide a method to preserve and enhance the natural attributes of the property, and create an exceptional locale in which to live. Tesota Hills is designed to be a Community with diverse residential neighborhoods and convenient access to the commercial and retail amenities found in the area.
- To make land plan adjustments that take advantage of the site's varied and steep topography by preservation, integration and enhancement. The focal point of Tesota Hills is the property's abundant natural amenities and the open space and trails system that will connect neighborhoods to the park sites.
- To provide a safe residential environment, which encourages social interaction, civic pride, outdoor enjoyment, and alternative modes of transportation.
- To further define the relationship with the Verrado master planned community, with respect to sewer, water, and roadway infrastructure.
- To strategically locate emergency services to meet the needs of Tesota Hills and the surrounding communities.



**II. Project Overview**

**A. Existing CMP**

Tesota Hills is located one-half mile west of the Interstate 10 interchange at Verrado Way. The convenient access and the distinctive character of the site make it an ideal location for a residential community. Originally submitted to the Town of Buckeye in 2003, the CMP was approved in April 2004.

Below is a summary of the entitlements and land uses that were approved for Tesota Hills in April 2004:

<b>Land Use Designation</b>	<b>Gross Acreage</b>	<b>Number of Units*</b>
Residential – Estate	57.3	85
Residential – Low Density	96.9	235
Residential – Low & Medium	184.1	754
Residential – High Density (Multi-Family)	30.4	228
Commercial/Business Center	2.5	NA
Public	2.0	NA
Open Space	6.5	NA
Special Planning Area	64.1	NA
<b>Total</b>	<b>443.8</b>	<b>1,302</b>

\*Note: Number of Units = Dwelling Units allowed without a Density Transfer

**B. CMP Amendment**

A dedication to long-term land use planning and design is essential to establishing a successful and sustainable master planned community. The Project Team is committed to creating a high quality, sustainable community for the residents by offering a series of interconnected neighborhoods and amenities within Tesota Hills that compliment a range of lifestyles and market parameters. This range includes a variety of lot sizes and configurations that are responsive to the topography and site conditions, while meeting the needs of the homeowners. It is the intent of the Project Team to propose minor changes to the approved CMP that will provide the necessary flexibility to achieve the desired density and amenities to meet the needs of the residents while maintaining the intent of the approved CMP.

Below is a specific list of items addressed in this Amendment:

- Update the CMP to reflect necessary changes to the land plan with respect to parcel and lot layouts.
- Present an updated Traffic Impact Study
- Identify infrastructure design criteria and standards for the CMP. These standards will provide the necessary assurances that the proposed sewer,



water, and transportation infrastructure will be in accordance with Town standards.

- Eliminate the “minimum dwelling units allowed” requirement for each category of residential use. In the event a specific parcel unit count falls below the density standard outlined in the CMP, an amendment will not be required.
- Clarifying that any alteration to the parcel size, or transfer or reallocation of dwelling units from one residential parcel to another, provided the density maximum does not exceed the maximum established for each parcel, is a minor amendment.
- Present an updated Master Phasing Plan
- Identify additional landscaping general standards.
- Make minor adjustments to outdated development standards outlined in the original CMP.
- Identify ground-mounted mechanical equipment placement and screening requirements.
- Allow mass grading, and at-risk grading permits.
- Identify the location of the model home complex.
- Clarify the Hillside Area is not intended to include wash or drainage side slopes.



### III. Proposed Land Use Adjustments

#### A. Land Use Plan

The 444-acre site has been re-planned for 1151 total dwelling units with an overall gross density of 2.4 units per acre. This revision capitalizes on Tesota Hills' abundant natural amenities. Refer to Figure 8 for the conceptual open space and trail systems plan. Refer to Figure 3 for the Tesota Hills Conceptual Land Use Plan, which identifies the locations of the various residential parcels, and the neighborhood park.



Tesota Hills Land Use Plan has been re-designed to take advantage of the natural features and topography, by preserving and integrating these features into the vast amount of open space provided throughout the project. The extensive trails system not only connects the neighborhoods to the open space, it also promotes recreational opportunities, and provides an alternate means of travel throughout the Community. Overall, the extensive trails system, the open space, and park sites will encompass approximately twenty-five (25) to thirty (30) percent of the property. The open space and trail concept is depicted in Figures 8 to 10.

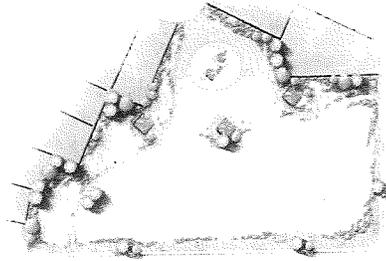
The Community will be developed in phases, which is illustrated in Figure 5. The ultimate phasing and sequencing of development is dependent on the logistics, economics, and market conditions at time of construction; however, the necessary infrastructure and landscape will be constructed as part of each phase of the development. In addition, quality control throughout the Community for the duration of the project (and beyond) will be established and maintained through master governance tools, such as design guidelines, architectural control, covenants, conditions and restrictions, and homeowners' associations which are further discussed in Section VII.

#### B. Land Use Designations

To achieve the proposed diversity within the Community, a Land Use Budget has been established. (Refer to Figure 4.) The Land Use Budget describes the density ranges, maximum density (dwelling units per acre), and target densities that will be allowed within each of the parcels. Revisions to the number of lots and lot configurations for any given parcel will inevitably occur due to variables such as topography, retention requirements, open space requirements, market conditions, and consumer preference. Although these factors may affect the number of lots or the lot configuration during the platting process, the maximum density for each parcel will not change.



To attain the desired mix of lot sizes, the Tesota Hills CMP has incorporated a minimum of five different lot widths with at least five-foot differentials between the lot widths. (Refer to Table 1 within the Appendix.) The conceptual lot sizes are shown in Figure 8; however, these sizes may change so long as the parcel densities do not exceed the maximum density established for each parcel. A model home complex is anticipated to be placed within Parcel 3A North. In order to accurately model the various homes proposed for Tesota Hills, the lots sizes of the other LDR and L/MDR parcels must be included. Therefore, three or more of each of the lot sizes not proposed for Parcel 3A North, 60'X115' and 48'X110', will be incorporated into the model home complex.



### C. Maximum Density

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The following maximum densities shown within each land use designation shall replace the maximum densities shown within Section II. A:

a) **ESTATE RESIDENTIAL (ER)**

Estate Residential designates parcels shall have a maximum density of 1.7 dwelling units per acre.

b) **LOW DENSITY RESIDENTIAL (LDR)**

Low Density Residential designates parcels shall have a maximum density of 3.0 dwelling units per acre.

c) **LOW/MEDIUM DENSITY RESIDENTIAL (L/MDR)**

Low/Medium Density Residential designates parcels shall have a maximum density of 5.0 dwelling units per acre.

d) **MEDIUM DENSITY RESIDENTIAL (MDR)**

The maximum density for these parcels shall be 8.0 dwelling units per acre.

### D. Commercial (COM)

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Parcel 10 North has been designated as commercial and is intended to accommodate a neighborhood-oriented commercial use. Refer to Figure 3 - Land Use Plan.



**E. Open Space (OS)**

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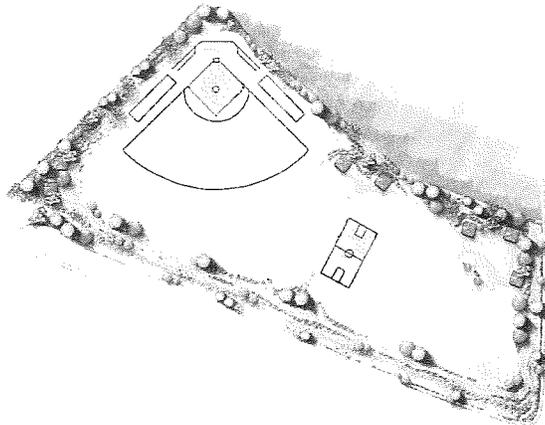
Parcel 9 North has been designated as the neighborhood park site, and is approximately 6.0 acres in size. The neighborhood park has been moved to the north and reconfigured from the 6.5 acre park show in the original CMP to provide a better, centrally located park site. Refer to Figure 9 and 10 for a conceptual depiction of the neighborhood park and a typical pocket park.

**F. Public**

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Parcel 2 South has been designated as public and is intended to accommodate a fire and emergency services station for the Town of Buckeye Fire Department. (Refer to Figure 3 - Land Use Plan.) It is anticipated that this station will service the entire Tesota Hills development, the southern portions of Verrado and future developments to the south and west.

The developer has reviewed the proposed fire facilities for both Tesota Hills and Verrado projects. It has been observed there is a planned Fire Station along Verrado Way that is a little over one mile away from the proposed Tesota Hills fire station. If the developer of Tesota Hills and the Town of Buckeye Fire Department agree the proposed fire station site at Tesota Hills is redundant, Parcel 2 South may be converted to the land use designation of L/MDR. The maximum and target density of the converted parcel will be consistent with the maximum and target density of Parcel 1 South. This conversion will constitute a minor amendment under this CMP amendment.



#### IV. Proposed CMP Amendments

##### A. Adoption Via Development Agreement

The Tesota Hills Development Agreement was approved on July 21, 2004. An amended Development Agreement will be drafted and adopted as part of this CMP Amendment.

##### B. Preliminary Plat

Preliminary plat approval is valid for a period of twenty-four (24) months from the date of the Town of Buckeye Development Board approval to the date of submittal to the Town of Buckeye of a final plat. Currently preliminary plat approvals, per the Tesota Hills CMP, are for 18 months only.

##### C. Amendments To The Community Master Plan

The Project Team recognizes that amendments to this CMP may be necessary, from time to time, to accommodate natural constraints, such as drainageway delineation or topographic conditions, to reflect changes in market conditions and development financing, and/or to meet new requirements of one or more of the potential users or builders of any part of the property.

As part of the CMP Amendment, the following requirement is eliminated:

- The “minimum dwelling units allowed” requirement is eliminated for each category of residential use. In the event a specific parcel unit count falls below the density standard outlined in the CMP, an amendment will not be required.

Because requirements on minimum parcel densities have been removed, Table 3 within Section VII is eliminated, and the following language is removed from the examples of a minor revision:

- ~~• Adjustments of number of dwelling units in a parcel below the minimum established in the Land Use Budget due to unavoidable constraints such as 404 delineated washes, steep topography or erosion setbacks.~~

The following replaces the language within the first bullet point under “examples of minor revisions”:

- Any alteration to the parcel size, or the transfer or reallocation of dwelling units from one residential parcel to another provided the density maximum does not exceed the maximum established for each parcel (as identified on the Land Use Budget in Figure 4).

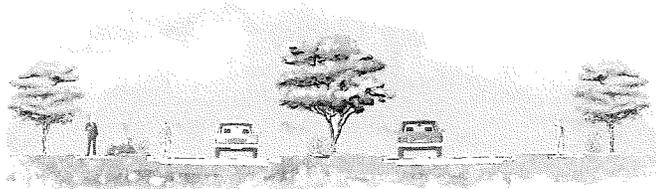


#### D. Access/Circulation

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Entry into the Tesota Hills Community is from McDowell Road, which is currently a dirt road and will be upgraded to an arterial half-street section. The new north side, half-street arterial will be upgraded in a westerly direction from the Verrado Way/Airport Road alignment to the westerly boundary of Parcel 3 South. Any McDowell Road improvements through the Verrado master plan will be coordinated with the Verrado Developer through a Joint Development Agreement.

The primary circulation pattern is anticipated to be from the Phoenix Metropolitan Area west on Interstate 10 exiting on Verrado Way/Airport Road, traveling north approximately one-eighth mile (1/8) to McDowell Road and then west slightly less than three-fourths (3/4) of a mile to the Tesota Hills entrance. Refer to Figure 11 for the Master Street and Circulation Plan, and Figures 12 for the Typical Roadway Cross-Sections. A Traffic Impact Study, dated August 8, 2003 has been prepared for Tesota Hills by Task Engineering. This study has been subsequently revised by Task Engineering, dated November 17, 2005 and is partially reproduced in Appendix B.



The single collector street provides sufficient ingress/egress for the projected traffic, which is discussed further in the Traffic Impact Study. An additional access location at the north edge of the site is proposed for emergency access only. This will occur at the western edge of Parcel 4 North through the Verrado development.

Currently, a forty (40) foot highway easement is dedicated along the eastern boundary, up to the mid-section line (Encanto Boulevard alignment), then runs west to the property line. Refer to the ALTA in Appendix C. Because streets in these locations are not proposed, this easement is no longer necessary; therefore, the Project Team is requesting to abandon the existing highway easement. A formal request to abandon the highway easement will be submitted separately to the Town.

#### E. Regional Drainage Patterns

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As mentioned previously, the Tesota Hills Community is bounded by the White Tank Mountain foothills along the west and the north, and wraps around the Buckeye FRS Number 3. Constructed in the 1970s, the FRS Number 3 was designed to protect Interstate 10 and downstream agricultural lands from stormwater runoff from the White Tank Mountains. The FRS Number 3 conveys the 100-year, 6-hour storm to the southwest, where it eventually discharges into the Hassayampa River.

Existing on-site drainage patterns are greatly influenced by the Buckeye FRS Number 3. Although the FRS intercepts flow that traverses the Tesota Hills site, the 100-year



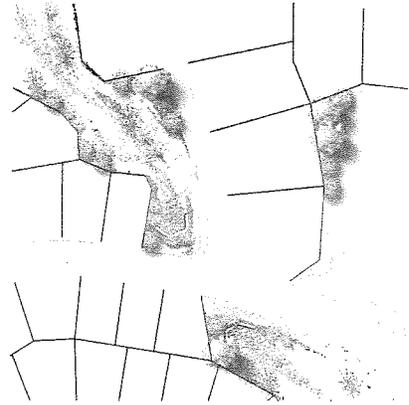
floodplain (as delineated by FEMA) does not significantly encroach onto the site. (Refer to Figure 6 for the location of the 100-year floodplain.) Considerable steps, including re-designing the lot configuration and reducing densities, have been taken to eliminate any possible effect the development of this property will have on FRS No. 3. Therefore, the presence of the FRS Number 3 does not restrict development on the Tesota Hills site. However, future homeowners will receive disclosure of the potential effects of living adjacent to a flood control structure, in compliance with the Flood Control District of Maricopa County regulations.

#### F. Landscaping

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The following language shall replace Section V.G.1.a):

- Unless otherwise specified herein, all required trees shall be a minimum of fifteen (15) gallons in size and at least thirty (30) percent of those trees must be twenty-four-inch (24) box or larger size. For the purposes of evaluating planting density, the planting of one (1) saguaro or ocotillo cacti are equivalent to planting one (1) tree. All shrubs shall be a minimum of one gallon in size. All boxed trees shall be of the appropriate corresponding caliper size for its box size. The installation of twenty (20) square feet of vegetative groundcover in any landscaped area shall substitute for one (1) required shrub, up to a maximum of thirty (30) percent of the required shrubs in any particular landscaped area.



The following language shall replace Section V.G.1.c):

- Except in those areas where the site native material is unsuitable for topping (as determined by a Registered Landscape Architect), all landscaped areas shall be finished with a natural topping material which may include, but not limited to the following: turf, groundcover, planting, decomposed granite (two (2) inches minimum depth), river run rock, expanded shale, or bark. Areas where non-native material is utilized shall be treated with a pre-emergent herbicide.

The following language shall replace Section V.G.4:

- On-site parking areas for all applicable development projects shall contain at least one (1) landscaped planter, not less than one hundred (100) square feet in area and with a minimum width of five (5) feet measured from back of curb to back of curb, for every ten (10) parking spaces provided on the site.



**G. Screening**

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The following language shall replace Section V.K.1.a:

- The height of any fence or wall, located between the principal structure and the rear or side property line, shall not exceed six feet eight inches (6'-8") within any residential designation, unless combined with a retaining wall whereby the maximum height shall not exceed twelve (12) feet in height.

Note: The fence heights for commercial/mixed-use designations under the original Tesota Hills CMP continue to apply.

The following language shall replace Section V.K.3:

**ROOF MOUNTED MECHANICAL EQUIPMENT**

- a) All roof-mounted equipment shall be completely screened from view from ground level or adjacent property. The parapet, if provided, shall be architecturally compatible with the primary building.
- b) All ground-mounted mechanical equipment shall be screened from view from the street, and located within the side yard setback, as specified within Table 1, Section VI.

**H. Grading**

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Mass grading of subdivisions, in addition to at-risk grading permits shall be allowed by the Town of Buckeye upon approval of a grading plan and having financial assurances in place in accordance with Section IV.8a. All grading shall be in accordance with all applicable M.A.G. standards or the uniform building code, whichever is applicable to the building site.

**I. Hillside Development Areas:**

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The following shall replace the paragraph in Section V.N.2:

- It is the purpose of this section to establish regulations, which recognize that development of hillside areas on Tesota Hills involves special considerations. Hillside development standards apply to all land wherever the natural terrain of the proposed disturbance areas within any lot or parcel has a slope of fifteen (15) percent or greater (Hillside Area) outside of localized slope areas; however, Hillside Area is not intended to include wash or drainage side slopes. Localized slope areas, as determined by a registered professional engineer who is licensed to practice in the State of Arizona, are defined as those areas with an elevation change of ten (10) feet or less within an area of one-half (0.5) acre or less with a slope of fifteen (15) percent or greater. All land use designations and respective development options contained herein may be developed within hillside areas and shall be governed by the provisions and standards of this section and the standards of each





## COMMUNITY MASTER PLAN AMENDMENT

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development option set forth in Section III. A. In case of a conflict between the development standards of this section and the standards set forth under in Section III. A., this section shall prevail.

Note: The General Provisions for Construction in Hillside Areas under the original Tesota Hills CMP continue to apply.

### J. Driveways

Maximum driveway width shall be twenty-eight (28) feet for garages with three car garages (See Table 1).



## V. Master Plans and Reports

### A. Master Drainage Plan and Report

The Master Drainage Plan, identifies major drainageways and floodplains within Tesota Hills, and is submitted separately. A detailed and refined drainage analysis for each subdivision will be completed and submitted at the time of preliminary plat. Refer to Appendix C for additional information.

### B. Master Street and Circulation Plan, and Traffic Report

The Master Street and Circulation Plan for Tesota Hills is set forth in Figure 11. Roadway standards applicable to Tesota Hills, including roadway classifications for McDowell Road, primary collector and local streets, are set forth in Figure 12. The phased development of the internal street network will be based on traffic volumes on arterial and collector streets within Tesota Hills and shall be in accordance with the updated "Master Traffic Analysis" prepared by Task Engineering, which will be submitted separately.

Conceptual locations of major roadways within Tesota Hills are provided in the Master Traffic Analysis. The Analysis has determined that traffic disperses in such a way that it can be accommodated on the internal roadways and connecting arterial system with recommendations cited within the Analysis. A connection at Encanto Boulevard to the east into the Verrado development has been removed from the Tesota Hills Master Plan. The recommendations for the future transportation system needs are reflected in Figure 11. The future transportation system as recommended by the Analysis, not only serves the needs of Tesota Hills, but surrounding communities as well.

### C. Master Potable Water System Plan and Study

A detailed engineering study of the water system by Verrado's engineer, has been commissioned on behalf of Tesota Hills, and is ongoing in order to define the optimal way of connecting to Verrado's water infrastructure. The final location and sizes of water infrastructure needed to support Tesota Hills are shown in the Master Potable Water Plan, submitted separately. Updated master water plans will be submitted concurrently with preliminary plat/improvement drawings to confirm infrastructure sizing. Refer to Appendix D for additional information.

### D. Master Wastewater System Plan and Study

The conceptual location and sizes of the wastewater infrastructure needed to support Tesota Hills have been shown in the Master Wastewater Plan, approved as part of the original CMP. A detailed engineering study of the wastewater system by Verrado's engineer, has been commissioned on behalf of Tesota Hills, and is ongoing in order to define the optimal connection to Verrado's wastewater infrastructure. Updated master wastewater plans will be submitted concurrently with preliminary



plat/improvement drawings to confirm infrastructure sizing. Refer to Appendix E for additional information.

#### E. Master Phasing Plan

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The development planned for Tesota Hills, including the infrastructure, public facilities and other community amenities is intended to be carried out in phases over a number of years. Development is contemplated to progress in phases, that may or may not develop concurrently, and/or in phases that may not be contiguous. It is anticipated that the property will be divided into phases of between 250 to 560 dwelling units each. The boundaries of each phase and the sequence for development of the infrastructure and amenities shall be identified in each preliminary plat, pursuant to requirements of the original CMP.

The phases, when determined, shall be subject to modification by the Project Team based upon changing residential real estate market conditions, industry factors and/or business considerations. Any such modifications to the phases shall not necessitate an amendment to the CMP, but shall be retained in the Town's official file for the project. The Conceptual Master Phasing Plan, Figure 5 shows the conceptual plan of phasing Tesota Hills at the time of writing this CMP.

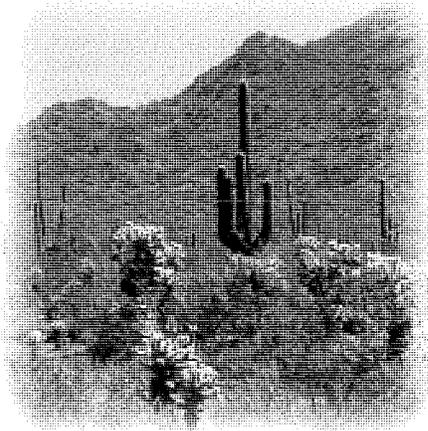




TABLE 1						
SINGLE RESIDENCE MINIMUM DEVELOPMENT STANDARDS						
LAND USE DESIGNATION	ER	LDR	L/MDR	L/MDR	L/MDR	L/MDR
PARCEL NUMBERS	4 North and 7A North	5, 6 and 7B North	3A, and 3B North	3 South and 4 South	1 North, 1 South, and 6 South	
LOT CATEGORY	Custom	70'X120'	70'X120'	60'X115'	50'X110'	48'X110' <sup>(1)</sup>
MINIMUM LOT AREA	10,000 sq ft	8,400 sq ft	8,400 sq ft	6,700 sq ft	5,500 sq ft	5,150 sq ft
MINIMUM LOT WIDTH	80'	70'	70'	60'	50'	48'
MINIMUM LOT DEPTH <sup>(2)</sup> :	125'	120'	120'	115'	110'	110'
MINIMUM BUILDING SETBACKS <sup>(3)</sup> :						
LIVING FRONT YARD	12'	12'	12'	12'	12'	12'
REAR YARD <sup>(4)</sup>	15'	15'	15'	15'	15'	15'
STREET SIDE YARD <sup>(5)</sup>	10'	10'	10'	10'	10'	10'
SIDE YARD	5' one side, 10' other side	5' one side, 10' other side	5' one side, 10' other side	5' one side, 10' other side	5' one side, 8' other side	5' one side, 8' other side
MINIMUM BUILDING SEPARATION	10'	10'	10'	10'	10'	10'
MINIMUM GARAGE SETBACK						
FRONT LOADED <sup>(6)</sup>	20'	20'	20'	20'	20'	20'
SIDE LOADED	12'	12'	12'	12'	12'	12'
MAXIMUM GARAGE WIDTH	No maximum	3 car widths <sup>(7)</sup>	2 car widths			
MAXIMUM STRUCTURE HEIGHT	30' (2 stories) <sup>(8)</sup>					
MAXIMUM LOT COVERAGE	40%	55%	55%	55%	60%	60%
MINIMUM PARKING REQUIREMENTS	2 per single-family unit					
<b>Notes:</b>						
(1) No more than 25% of the total number of lots within Tesota Hills shall be less than 50 feet wide.						
(2) Lot depth may be decreased by 10 ft. on cul-de-sac and knuckle lots as long as minimum lot area is maintained.						
(3) Building setback line is the required distance between the property line and the closet point of any building. A minimum 20 foot tract along arterial streets. This tract shall be in common ownership.						
(4) The rear yard setback applies only to enclosed livable areas, other projections such as patios or balconies shall have a minimum 10' setback.						
(5) Unless an adjacent 5' landscape tract has been provided, then minimum setback shall be 5'.						
(6) The front loaded garage setback is the required distance between the face of the garage and the back of the sidewalk.						
(7) Maximum driveway width shall be twenty-eight (28) feet for garages with three car garages.						
(8) Except for hillside lots, which shall be as shown on Figure I, Hillside Measurements in the original Tesota Hills CMP.						



<b>TABLE 2</b>	
<b>Residential Development Standards Allowed In Medium Density Residential (MDR)<sup>(1)</sup> Parcels 2 North and 5 South</b>	
<b>Minimum Net Parcel Area</b>	4 Acres
<b>Minimum Lot Area</b>	2,200 sq. ft.
<b>Minimum Lot Width</b>	30'
<b>Minimum Lot Depth</b>	50'
<b>Minimum Perimeter Building Setback<sup>(2)</sup></b>	10'
<b>Minimum Lot Setback<sup>(3)</sup></b>	
<b>Front</b>	5'
<b>Side</b>	0' (Or 5' Minimum If Detached) <sup>(4)</sup>
<b>Rear</b>	0'
<b>Maximum Structure Height</b>	30' (2 stories)
<b>Maximum Lot Coverage</b>	65% <sup>(5)</sup>
<b>Minimum Open Space</b>	15% <sup>(6)</sup>
<b>Minimum Parking Requirements</b>	See Table 5
<b>Notes:</b>	
(1) Medium Density Residential is designated for attached or detached single family housing, such as townhomes, patio homes, clustered dwellings and court homes.	
(2) Building setback is the required distance between the perimeter of the MDR parcel boundary and the closest point of any building. An additional 10' minimum setback area is required on perimeter lots abutting Arterial Streets. This additional 10' shall be in common ownership. If MDR parcels are adjacent and share a common boundary, the setback shall apply to the perimeter of the combined MDR parcels.	
(3) The building setback is the required distance between the lot line and the face of building (see Figure 7 for the definition of the front, side and rear of the lot). Patio walls, eaves, and roof overhangs may encroach into the building setback.	
(4) A 2' projection for fireplaces, bay windows, etc., is allowed into setback as long as such projection does not exceed 10' in length.	
(5) Maximum Lot Coverage per unit shall be calculated as follows: (Net area of the parcel / Number of Units) X (Maximum Lot Coverage Percentage)	
(6) Minimum open space is defined as a percentage of the gross area of the parcel(s) excluding all right-of-ways, private accessways, and private drives.	





<b>TABLE 4</b>					
<b>COMMERCIAL DEVELOPMENT STANDARDS</b>					
<b>LAND USE DESIGNATION</b>	<b>YARD SETBACKS</b>				<b>MAXIMUM BUILDING HEIGHT (FT)</b>
	<b>FRONT (FT)</b>	<b>INTERIOR SIDE &amp; REAR<sup>(1)</sup> (FT)</b>	<b>CORNER SIDE (FT)</b>	<b>RESIDENTIAL BUFFER ZONE<sup>(2)</sup> (FT)</b>	
<b>COMMERCIAL</b>	25	15	15	35	45
<b>Notes:</b>					
(1) Unless 20' emergency access is required.					
(2) For Commercial abutting residential uses, a six (6) foot high wall is required along the abutting property line. Wall is to be at least six (6) inches thick, constructed of block and finish is to be consistent with project and adjoining residential area.					





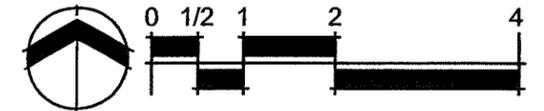
<b>TABLE 5</b>		
<b>PARKING SPACES REQUIRED</b>		
<b>LAND USE TYPE</b>	<b>REQUIRED PARKING</b>	<b>MINIMUM SPACES TO BE PROVIDED (by development site)</b>
SINGLE FAMILY	2	2
COURTHOME	See Note 1	See Note 1
COMMERCIAL (general)	2 <sup>(2)</sup>	4
OFFICE	1.5 <sup>(2)</sup>	2
SERVICE ESTABLISHMENT	3 <sup>(2)</sup>	4
PUBLIC ASSEMBLY	3 <sup>(2)</sup>	10
<b>Notes:</b>		
(1) Two (2.0) spaces per unit for resident parking, plus one (1.0) non-exclusive spaces per unit for guests		
(2) Parking requirements may be modified when necessary or appropriate, as demonstrated within a parking study.		





Regional Vicinity Map and Transportation Plan

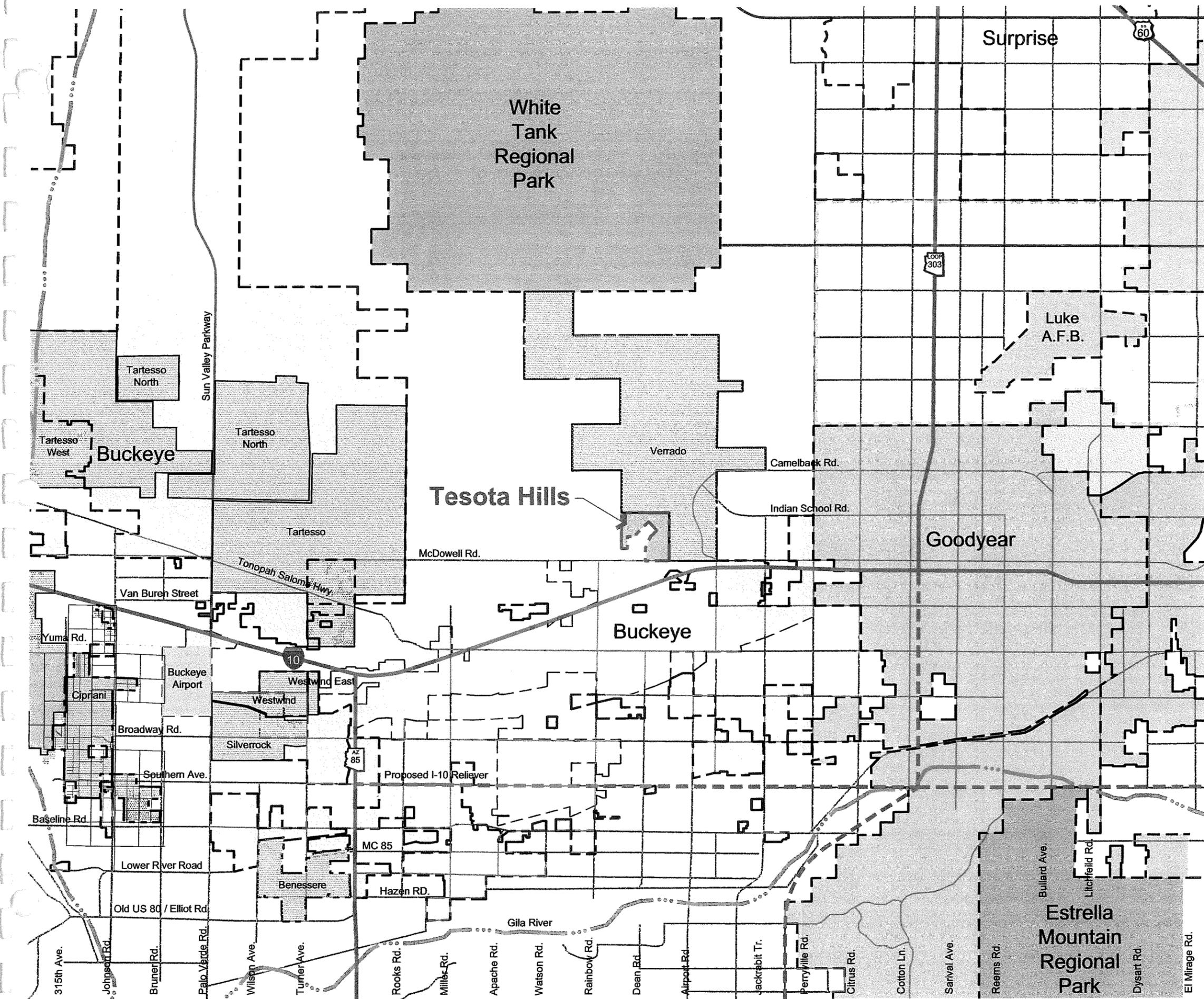
Figure 1



North Scale: 1" = 2 Miles

Legend

-  Project Boundary
-  Freeway
-  Proposed Freeway
-  Arterial Street
-  City of Glendale Strip Annexation



**Proposed freeway alignments and interchanges are subject to revision.**

CMX Project #: 6785.05  
November, 2005

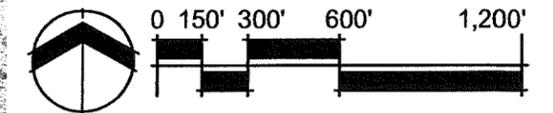
Project Manager: D. Burrows  
Designed By: G. Thompson, CD  
Graphics By: n/a  
Drawn By: J. Newbegin  
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# Conceptual Land Use Plan

Figure 3



North Scale: 1" = 600'

## Legend

### Land Use Categories:

- Estate Residential (ER)
- Low Density Residential (LDR)
- Low/Medium Density Residential (L/MDR)
- Medium Density Residential
- Commercial (Com)
- Park/Openspace (OS)
- Special Planning Area (SPA)
- Public

- Project Boundary
- Parcel Boundary
- Approved ACOE Wash Limits
- Arterial Street
- Collector Street
- Model Home Complex (See CMP Section IV.A)

## Site Data

### North Parcels

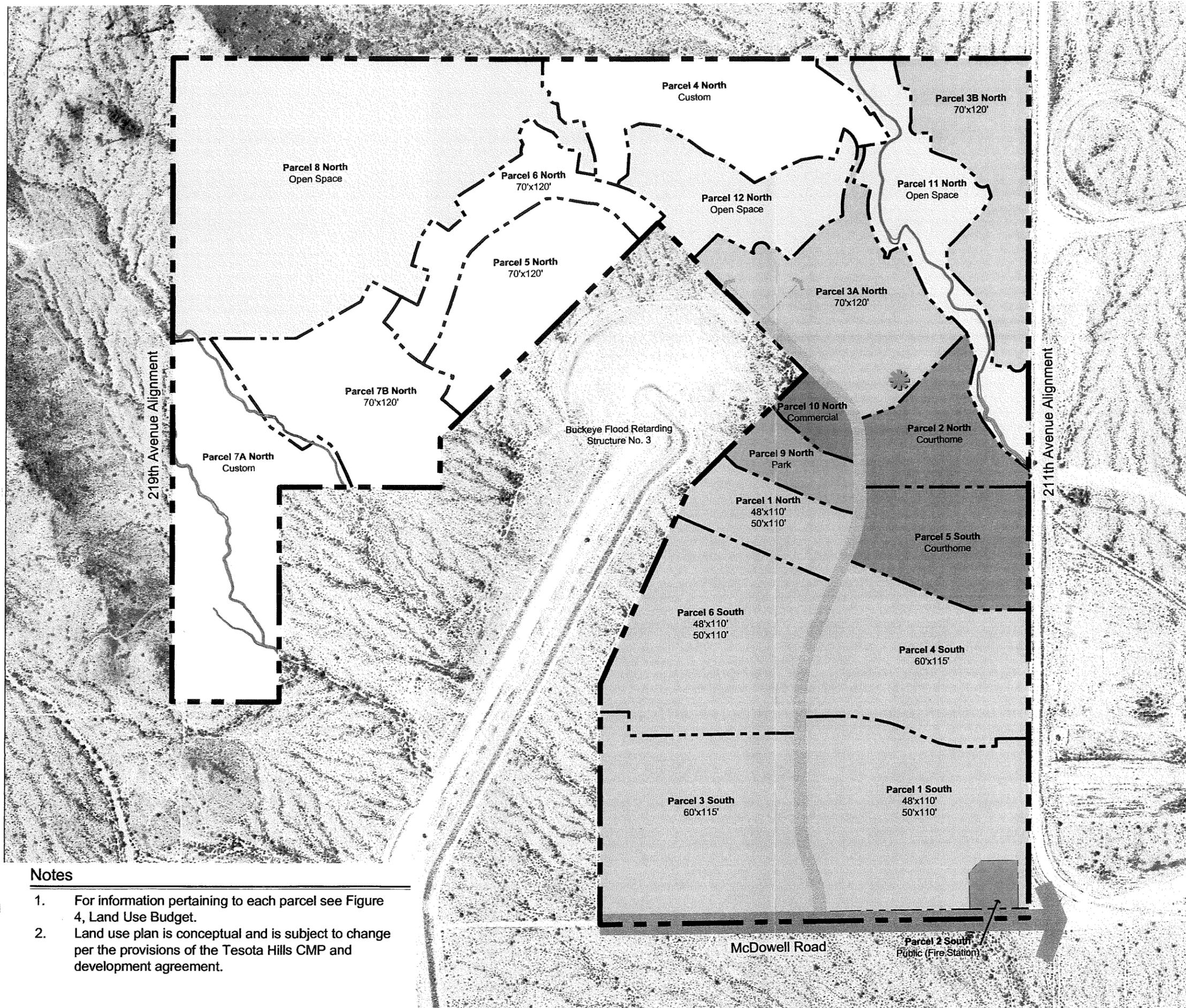
Parcel	Gross Area
1	10ac.
2	12.7ac.
3A	25.6ac.
3B	20.1
4	24.6
5	19.2
6	13.6

Parcel	Gross Area
7A	33.2
7B	23.6
8	71.2
9	6.1
10	4
11	20.1
12	15.9

### South Parcels

1	32.7
2	2
3	32.5

4	26.7
5	16.3
6	30.5



## Notes

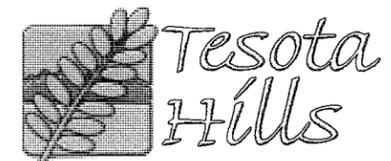
- For information pertaining to each parcel see Figure 4, Land Use Budget.
- Land use plan is conceptual and is subject to change per the provisions of the Tesota Hills CMP and development agreement.

CMX Project #: 6785.05  
November, 2005

Project Manager: D. Burrows  
Designed By: G. Thompson, CD

Graphics By: n/a  
Drawn By: J. Newbegin  
X:\6700\6785\Planning\Exhibits\CMP Amendment\2nd Submittal\6785-Fig-03-Conceptual-Land-Use-F  
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## Land Use Budget

Figure 4

### NORTH PARCELS:

Parcel	Land Use Designation	Approximate Gross Acres	Min. Lot Dimensions (Width X Depth)	Maximum Density (du/ac)	Maximum Dwelling Units Allowed	TARGET - UNITS ALLOWED W/O TRANSFERS	
						Target Density (du/ac)	Dwelling Units Allowed Without Transfers
1	LMDR	10.0	48'X110'	5.0	50	4.8	48
			50'X110'				
2	MDR	12.7	Court Home	8.0	101	7.8	99
3A	LMDR	25.6	70'X120'*	5.0	128	3.5	89
3B	LMDR	20.1	70'X120'	5.0	100	3.3	67
4	ER	24.6	Custom	1.7	41	1.6	39
5	LDR	19.2	70'X120'	3.0	57	2.2	43
6	LDR	13.6	70'X120'	3.0	40	2.8	38
7	ER	33.2	Custom	1.7	56	1.2	40
7B	LDR	23.6	70'X120'	3.0	70	1.9	45
<b>RESIDENTIAL TOTAL</b>		<b>182.6</b>				<b>2.8</b>	<b>508</b>
8	OS	71.2	-	-	-	-	-
9	PARK	6.1	-	-	-	-	-
10	COM	4.0	-	-	-	-	-
11	OS	20.1	-	-	-	-	-
12	OS	15.9	-	-	-	-	-
<b>NORTH TOTALS</b>		<b>299.9</b>				<b>1.7</b>	<b>508</b>

### Legend

ER = Estate Residential

LDR = Low Density Residential

MDR = Medium Density Residential

HDR = High Density Residential

OS = Open Space

COM = Commercial

LMDR = Low Medium Density Residential

### Note

\* Model home complex proposed to include up to eight (8) 50-foot wide lots and eight (8) 63-foot wide lots.

### SOUTH PARCELS:

Parcel	Land Use Designation	Approximate Gross Acres	Min. Lot Dimensions (Width X Depth)	Maximum Density (du/ac)	Maximum Dwelling Units Allowed	TARGET - UNITS ALLOWED W/O TRANSFERS	
						Target Density (du/ac)	Dwelling Units Allowed Without Transfers
1	LMDR	32.7	48'X110'	5.0	163	5.0	162
			50'X110'				
3	LMDR	32.5	60'X115'	5.0	162	4.1	133
4	LMDR	26.7	60'X115'	5.0	133	3.9	104
5	MDR	16.3	Courthome	8.0	130	6.9	113
6	LMDR	30.5	48'X110'	5.0	152	4.3	131
			50'X110'				
<b>RESIDENTIAL TOTAL</b>		<b>138.7</b>				<b>4.6</b>	<b>643</b>
2	PUBLIC	2.0	-	-	-	-	-
<b>SOUTH TOTAL</b>		<b>140.7</b>				<b>4.6</b>	<b>643</b>
McDowell Road ROW		3.2	-	-	-	-	-
<b>TESOTA HILLS OVERALL TOTAL</b>		<b>443.8</b>				<b>2.6</b>	<b>1,151</b>

CMX Project #: 6785.05

November, 2005

Project Manager: D. Burrows

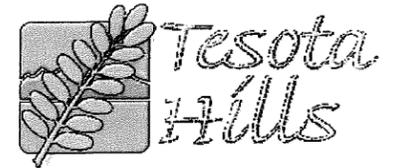
Designed By: G. Thompson, CD

Graphics By: n/a

Drawn By: J. Newbegin

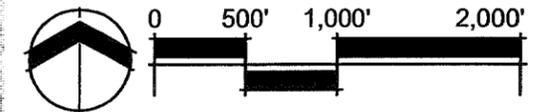
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# Opportunities and Constraints

Figure 6



North Scale: 1" = 1,000'

## Legend

- Project Boundary
- Approved ACOE Wash Limits
- Above 15% Slope
- Above 20% Slope
- Above 25% Slope
- Flood Plain



CMX Project #: 6785.05  
November, 2005

Project Manager: D. Burrows  
Designed By: G. Thompson, CD

Graphics By: n/a Drawn By: J. Newbegin

X:\6700\6785\Planning\Exhibits\CMP Amendment\2nd Submittal\6785-Fig-06-Opportunities-and-Cons  
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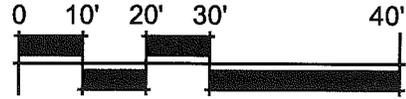
Note:

- \* Product/Lot styles provided to indicate standards and are not intended to limit development diversity.
- \* The front of the lot shall be the side of the lot adjacent to the front door of the unit. The rear of the lot shall be the side of the lot adjacent to the Private Drive. Sides not adjacent to the Private Drive or front door of the unit shall meet the minimum lot side setback as shown in Table 2.

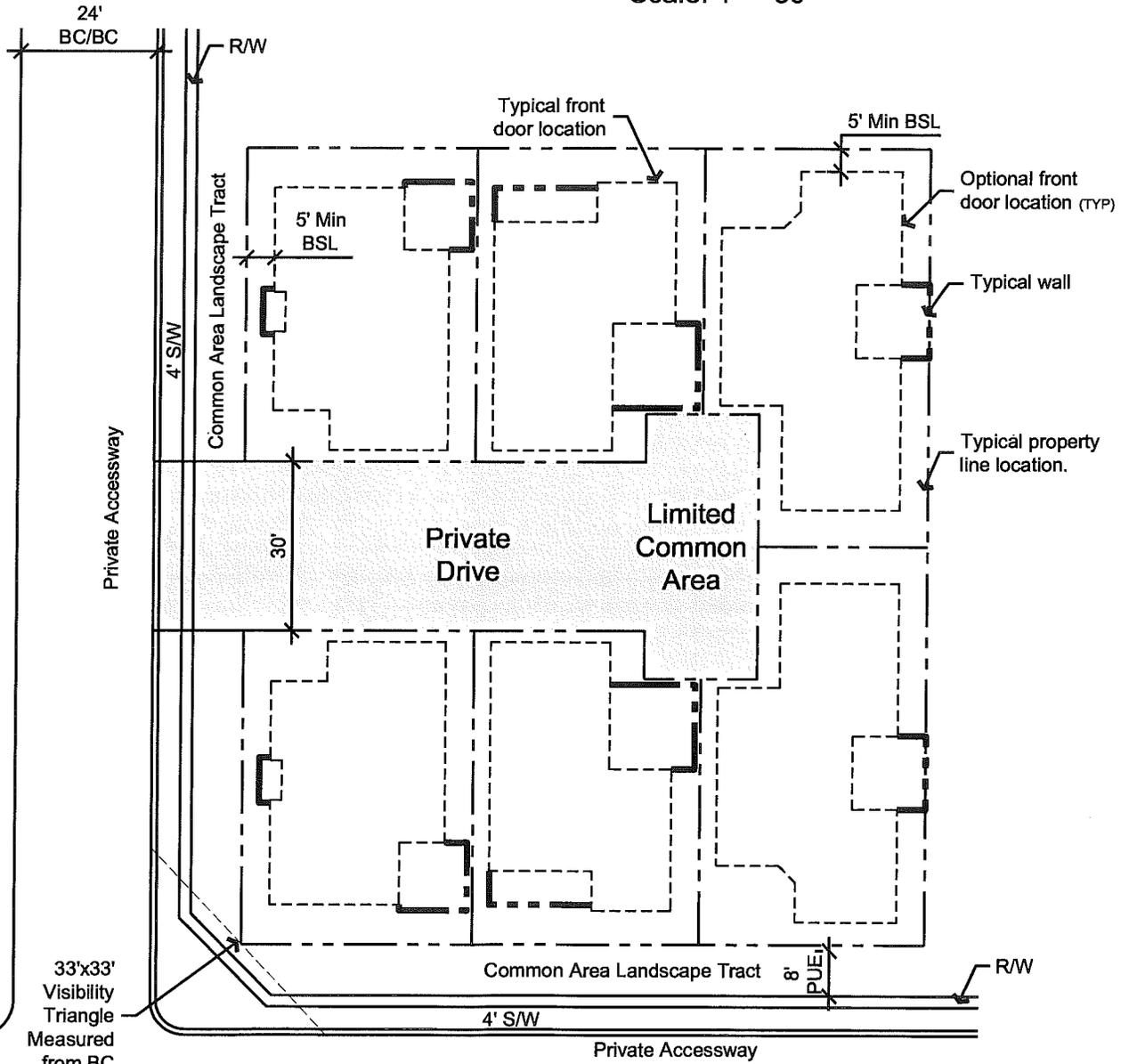


Tesota  
Hills  
CMP Amendment  
Court Home Detail

Figure 7



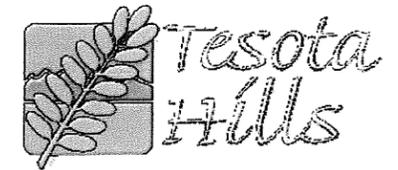
Scale: 1" = 30'



- S/W = Sidewalk
- BSL = Building Setback Line
- BC = Back of Curb
- PUE = Public Utility Easement
- R/W = Right of Way
- PL = Property Line

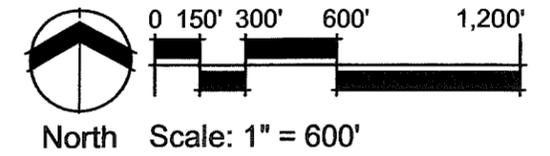
CMX Project #: 6785.05  
October, 2005





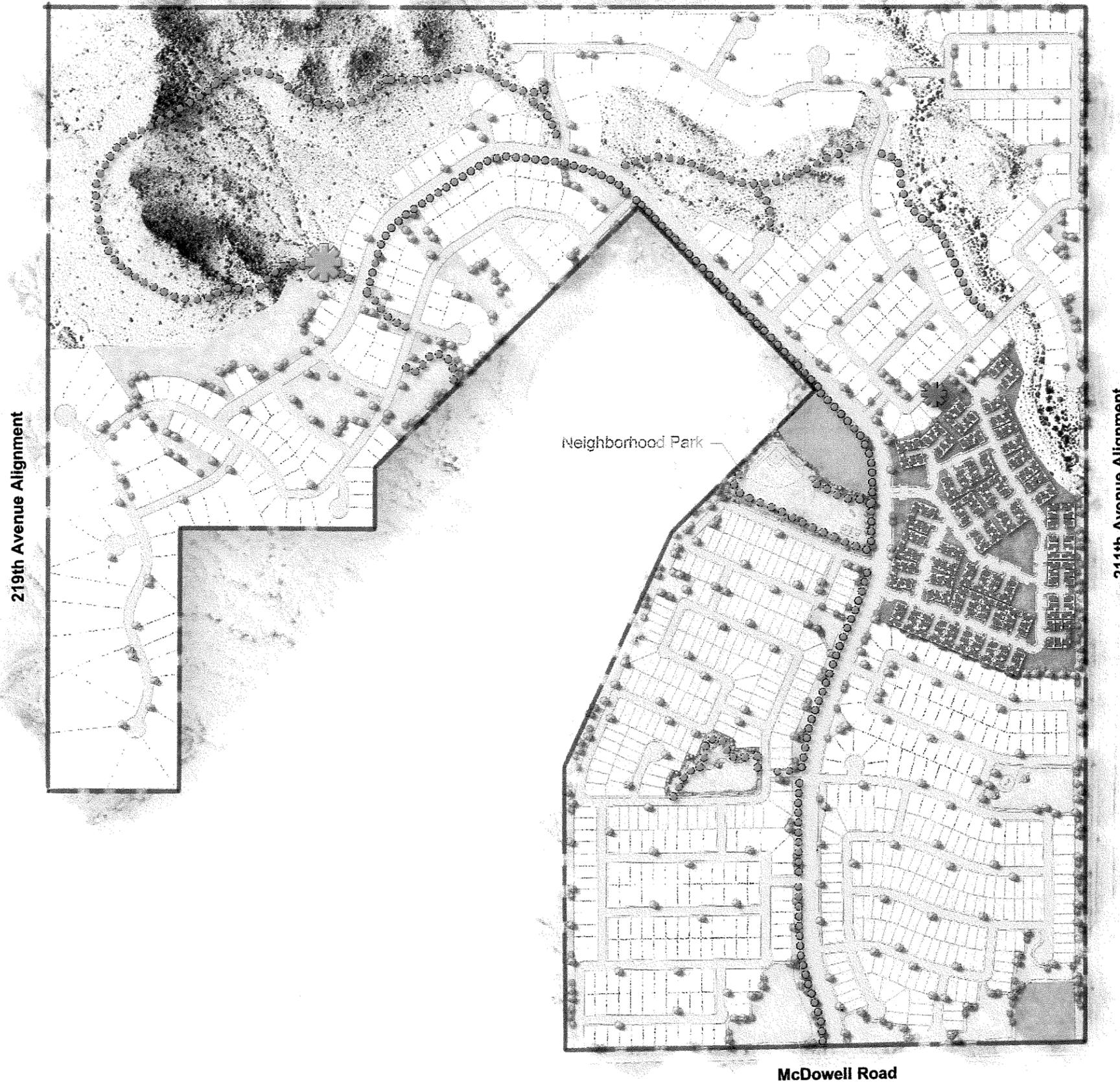
# Conceptual Open Space and Trails System Plan

Figure 8



## Legend

- Trail Head
- Model Home Complex
- Six-Foot Trail



## Notes

Lot layout shown is conceptual, shown for informational purposes only and is subject to change.

CMX Project #: 6785.05

November, 2005

Project Manager: D. Burrows

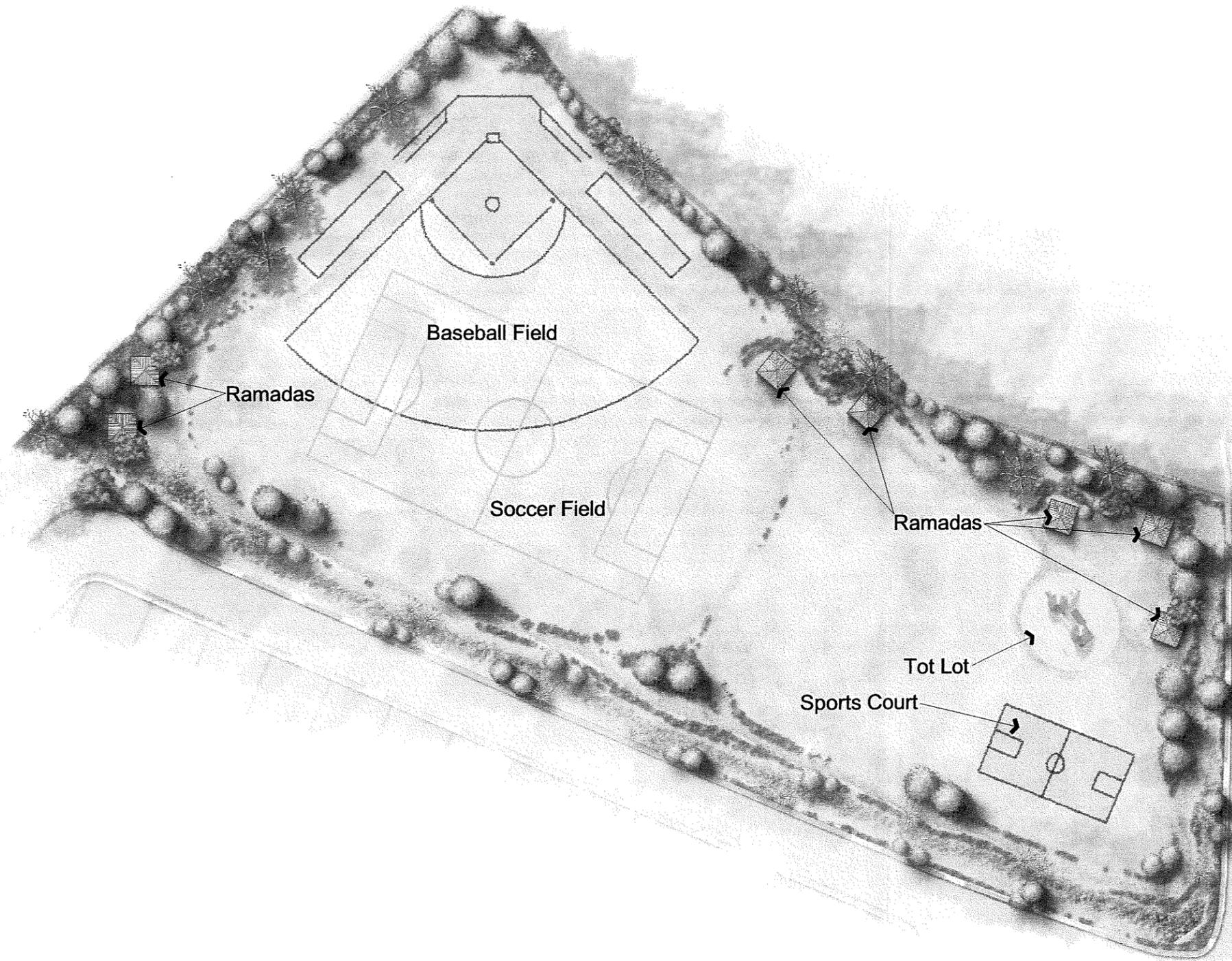
Designed By: G. Thompson, CD

Graphics By: n/a

Drawn By: J. Newbegin

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Potential List of Amenities

- 1 Sports Court with Basketball Hoops
- 1 Volleyball Court
- 4 Ramadas with one large Group Ramada (24' X 24')
- 5 Picnic Tables
- 5 Barbeque Grills
- 1 Parking Lot
- 1 Set of Playground Equipment

CMX Project #: 6785.05

November, 2005

Project Manager: D. Burrows

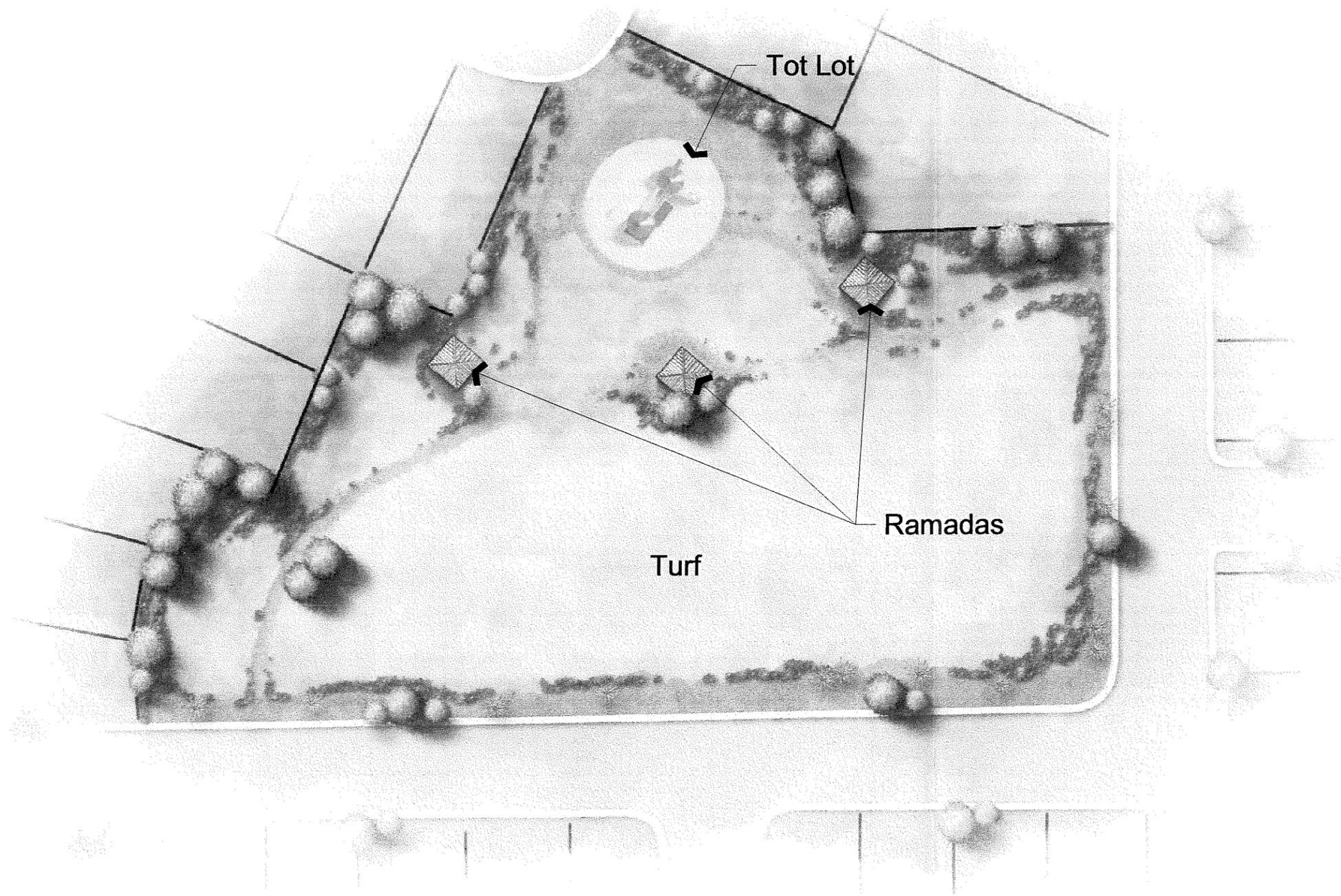
Designed By: G. Thompson, CD

Graphics By: n/a

Drawn By: J. Newbegin

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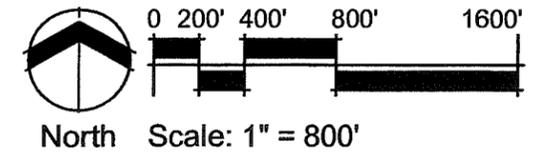
Notes

Pocket parks will be integrated into common drainage areas and may include such amenities as ramadas, playground equipment, and turf areas.



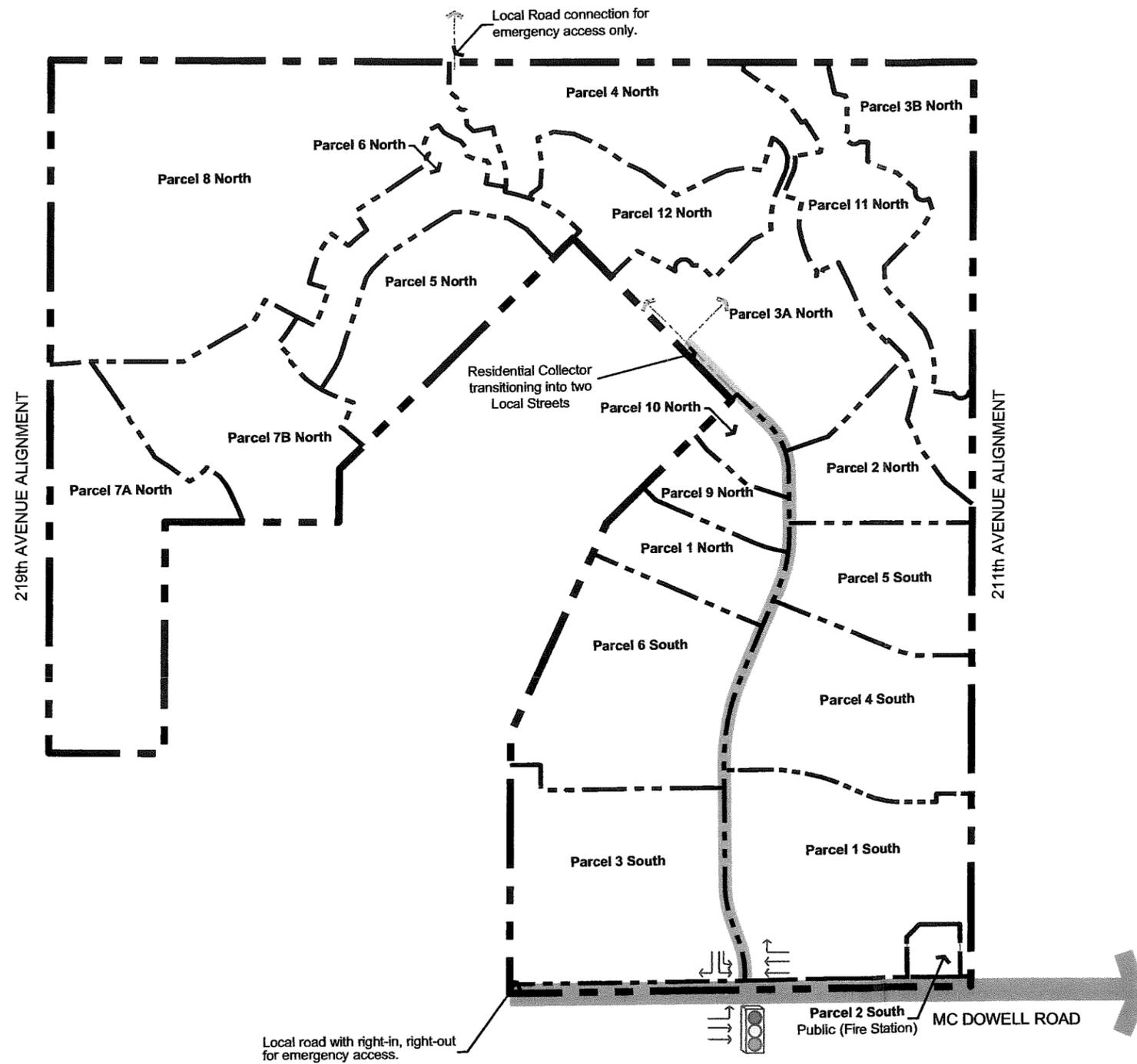
# Master Street and Circulation Plan

Figure 11



## Legend

- Site Boundary
- Parcel Boundary
- Minor Arterial
- Primary Collector
- Primary Collector Transitioning To Local Streets
- Turn Lanes
- Stop Control
- Traffic Signal



Source: Tesota Hills Traffic Impact Study, Task Engineering  
Year 2020 Analysis

CMX Project #: 6785.05  
November, 2005

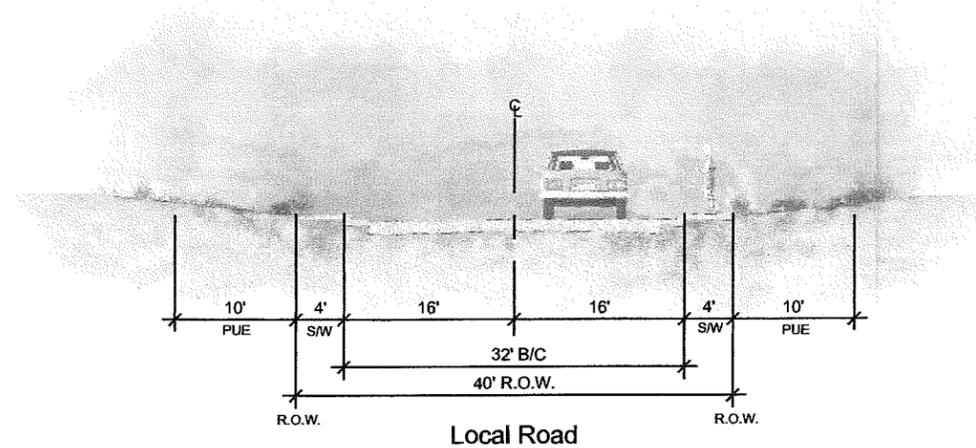
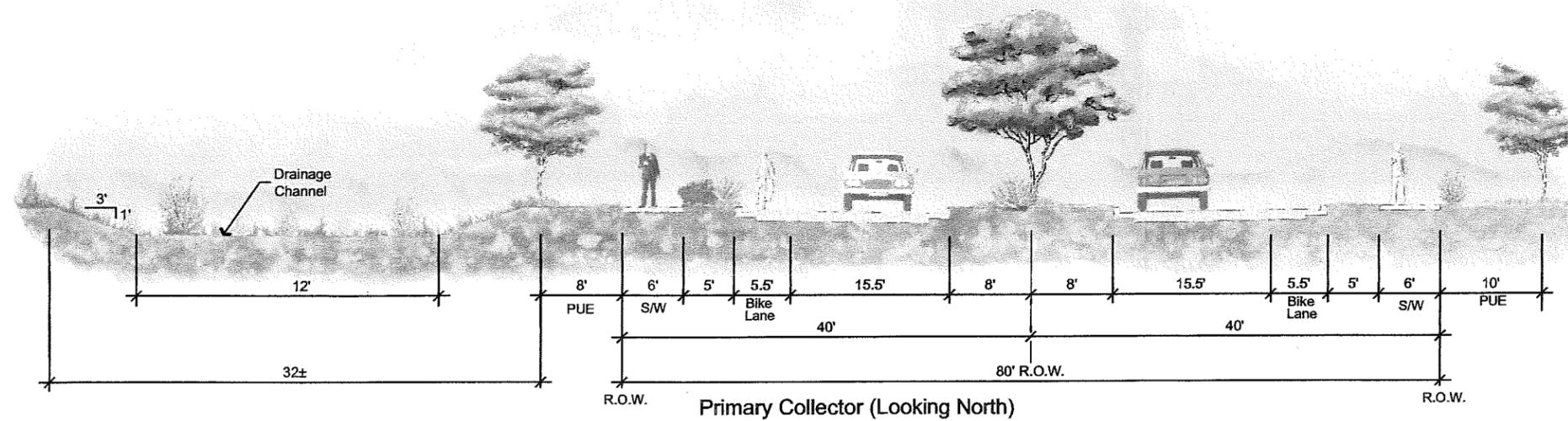
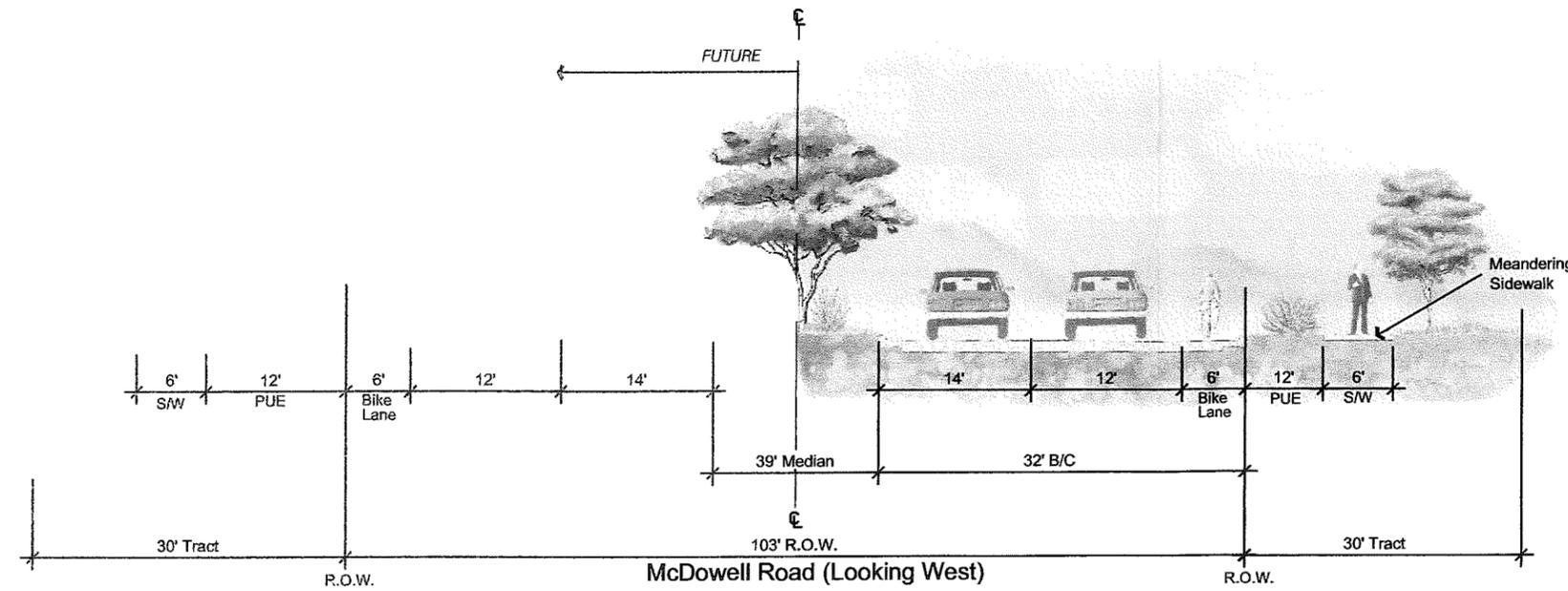
Project Manager: D. Burrows  
Designed By: G. Thompson, CD  
Graphics By: n/a

Drawn By: J. Newbegin

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N.T.S.



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November, 2005

Project Manager: D. Burrows

Designed By: G. Thompson, CD

Graphics By: n/a

Drawn By: J. Newbegin

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**Testota Hills Master Traffic Analysis – Submittal Statement**

The Master Traffic Analysis is too large to submit within this CMP Amendment; however, the Recommendations section of the study is included within this Appendix. In order to conserve resources, the complete analysis will be submitted separately to the Town of Buckeye.



## RECOMMENDATIONS

This Tesota Hills residential development will generate an estimated 12,025 total trip ends per day when fully developed. The traffic disperses in such a way that it can be accommodated on the internal and connecting arterial system with the following recommended improvements. The roadway system in the study area has not yet been built. The following recommendations apply to planned future road network needs to serve the many developments in the study area, and are not primarily related to traffic from this development. Recommendations for Year 2020 are depicted on Figure 9 and 10.

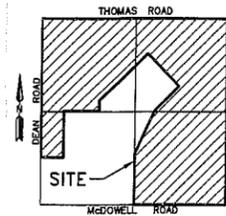
Recommended functional classifications for area roadways are shown on Figure 11. Road cross-sections are found in Appendix C.

- Verrado Way is one of the major roads providing access to the surrounding communities. It will be built as a principal arterial, with 130-foot right of way. It must be widened to a six-lane roadway with median separation by the Year 2020. It will form a four-legged intersection at McDowell Road by the Year 2020. Verrado Way does not border the site.
- McDowell Road, the other major access road, is recommended to be built as a four-lane arterial with median separation and 88 feet of right of way, and an average 27.5' of tract on either side by the Year 2020. It is currently classed as a major arterial by Maricopa County with a planned ultimate cross section of six lanes. However, six lanes are not justified by the foreseeable traffic projections.
- McDowell Road will need to be open to the site before the site can open. It is recommended that Tesota Hills construct the north half of McDowell Road adjacent to the site to provide access to the site.
- McDowell Road west of the Tesota Hills Collector can operate adequately as a two-lane road until such time as McDowell Road is built west to a connection to Interstate-10. The necessary right of way will need to be acquired to construct an interim two-lane cross section until that time, ending at the west Property line of Tesota Hills and not extending over the Buckeye Flood Retardant Structure No. 3.
- The Collector Road is recommended to be built as a two-lane primary collector on 80 feet of right of way from McDowell Road to north of the neighborhood commercial property. The proposed cross section is found in Appendix C. Beyond that point, traffic splits between two local roads that through the community.
- A right turn deceleration lane for westbound to northbound turns is recommended at the intersection of McDowell Road and the Collector Road in both interim and long-range years.

- A right turn deceleration lane for westbound to northbound turns is recommended at the intersection of McDowell Road and Access A in both interim and long-range years. Access A is recommended to be right-in, right-out access only.
- Access B, located about one-quarter mile west of the Collector, is recommended to have full access at McDowell Road.
- A traffic signal will be needed at the off-site intersection of McDowell Road and Verrado Way for Year 2020 conditions with a connection of McDowell Road to the west. By the Year 2020, this intersection will be upgraded with left and right turn lanes on all four approaches, and six through lanes on Verrado Way.
- A traffic signal should be installed at the intersection of McDowell Road and the Collector Road by the Year 2020 if McDowell Road is extended to the west to a connection to Interstate-10. This will be a three-legged "T" intersection.
- The installation of a traffic signal should be based on a TRAFFIC CONTROL NEEDS STUDY as described in the *Manual on Uniform Traffic Control Devices*.
- McDowell Road/Collector Road will operate adequately with STOP sign control before McDowell Road is extended west to a connection with Interstate-10.
- No development should be allowed on this site until adequate off-site access is provided.
- No parcel access locations should be approved at the main site access roadway without a detailed analysis of the intersection traffic volumes and roadway geometrics, especially with regard to motorist's sight distance.

# ALTA/ACSM LAND TITLE SURVEY

OF  
A PORTION OF SECTION 36, TOWNSHIP 2 NORTH,  
RANGE 3 WEST OF THE GILA AND SALT RIVER  
MERIDIAN, MARICOPA COUNTY, ARIZONA



VICINITY MAP  
NOT TO SCALE

## SCHEDULE "B" - EXCEPTIONS

- |  |                         |
|--|-------------------------|
| ④ EASEMENT FOR ROADWAY (PLOTTED HEREON)            | DOCKET 14149, PAGE 564  |
| ⑤ EASEMENT FOR HIGHWAY (PLOTTED HEREON)            | DOCKET 16226, PAGE 1078 |
| ⑥ EASEMENT FOR ROADWAY OR HIGHWAY (PLOTTED HEREON) | DOCKET 16186, PAGE 674  |

## SCHEDULE "B" - ITEMS NOT SHOWN

(ALL ITEMS LISTED AFFECT UNLESS OTHERWISE NOTED)

- |   |   |
|---|---|
| ⑦ RECORDED DISCLOSURE FOR TERRITORY IN THE VICINITY OF A MILITARY AIRPORT (NOT PLOTTABLE) | INSTRUMENT NO. 2001-0743413                                 |
| ⑧ INCLUSION WITH THE FLOOD CONTROL DISTRICT (NOT PLOTTABLE)                               | INSTRUMENT NO. 2003-0373530 AND INSTRUMENT NO. 2003-0373531 |

## FLOOD INFORMATION

ALL AREAS OF SUBJECT PARCELS LIE IN ZONE "X" AND HAS BEEN DETERMINED TO BE AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD, ACCORDING TO CURRENT FLOOD INSURANCE RATE MAP NUMBER 04015C2030 G, ENCOMPASSING COMMUNITY NUMBER 040039, PANEL 2030 OF 4350, DATED JULY 19, 2001.

## ZONING

ZONING FOR THE SUBJECT PROPERTY IS: PC (PLANNED COMMUNITY) PER CITY OF BUCKEYE CODE.

## LEGAL DESCRIPTION

### PARCEL NO. 1:

THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 2 NORTH, RANGE 3 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THE NORTH 587.56 FEET THEREOF; AND ALSO

EXCEPT THAT PORTION OF SAID SOUTHEAST QUARTER OF SECTION 36 WHICH LIES WESTERLY OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 36;

THENCE NORTH 89 DEGREES 48 MINUTES 08 SECONDS WEST ALONG THE MID-SECTION LINE, A DISTANCE OF 2090.00 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 24 DEGREES 25 MINUTES 35 SECONDS WEST, A DISTANCE OF 1324.48 FEET TO A POINT ON THE NORTH TO SOUTH MID-SECTION LINE OF SAID SECTION 36, SAID POINT BEARING NORTH 00 DEGREES 02 MINUTES 28 SECONDS WEST, A DISTANCE OF 1473.88 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION 36; AND ALSO

EXCEPT ALL MINERAL DEPOSITS AND RIGHTS AS RESERVED BY THE STATE OF ARIZONA IN DEED RECORDED IN DOCKET 427, PAGE 489, AND AS SET FORTH IN PATENT FROM THE UNITED STATES OF AMERICA RECORDED IN DOCKET 2089, PAGE 257.

### PARCEL NO. 2:

THE NORTH 587.56 FEET OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 2 NORTH, RANGE 3 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THE EAST 741.36 FEET THEREOF; AND ALSO

EXCEPT THAT PORTION OF SAID NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 36 WHICH LIES WESTERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT A POINT ON THE SOUTH LINE OF SAID SECTION 36, WHICH POINT BEARS SOUTH 89 DEGREES 37 MINUTES 44 SECONDS WEST, 674 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION;

THENCE NORTH 24 DEGREES 36 MINUTES 58 SECONDS EAST, 2930.38 FEET TO A POINT ON THE EAST-WEST MID-SECTION LINE OF SAID SECTION 36, WHICH POINT BEARS SOUTH 89 DEGREES 48 MINUTES 11 SECONDS WEST, 2090.00 FEET FROM THE EAST QUARTER CORNER OF SAID SECTION 36; AND ALSO

EXCEPT ALL MINERAL DEPOSITS AND RIGHTS AS RESERVED BY THE STATE OF ARIZONA IN DEED RECORDED IN DOCKET 427, PAGE 489, AND AS SET FORTH IN PATENT FROM THE UNITED STATES OF AMERICA RECORDED IN DOCKET 2089, PAGE 257.

### PARCEL NO. 3:

THE EAST 741.36 FEET OF THE NORTH 587.56 FEET OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 2 NORTH, RANGE 3 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT ALL MINERAL DEPOSITS AND RIGHTS AS RESERVED BY THE STATE OF ARIZONA IN DEED RECORDED IN DOCKET 427, PAGE 489, AND AS SET FORTH IN PATENT FROM THE UNITED STATES OF AMERICA RECORDED IN DOCKET 2089, PAGE 257.

### PARCEL NO. 4:

THE NORTH HALF AND THE NORTH HALF OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 2 NORTH, RANGE 3 WEST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;

EXCEPT THE EAST HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 36; AND

EXCEPT THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 36; AND

EXCEPT THAT PORTION OF THE NORTH HALF OF SAID SECTION 36 DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST-WEST MID-SECTION LINE OF SAID SECTION 36, WHICH POINT BEARS SOUTH 89 DEGREES 48 MINUTES 11 SECONDS WEST 2090.00 FEET FROM THE EAST QUARTER CORNER THEREOF;

THENCE NORTH 45 DEGREES 00 MINUTES 00 SECONDS EAST 1000.00 FEET;

THENCE NORTH 45 DEGREES 00 MINUTES 00 SECONDS WEST 1300.00 FEET;

THENCE SOUTH 45 DEGREES 00 MINUTES 00 SECONDS WEST 1877.87 FEET;

THENCE SOUTH 304.60 FEET TO THE AFORESAID EAST-WEST MID-SECTION LINE;

THENCE NORTH 89 DEGREES 48 MINUTES 11 SECONDS EAST ALONG SAID EAST-WEST MID-SECTION LINE A DISTANCE OF 1540.00 FEET TO THE POINT OF BEGINNING; AND

EXCEPT ALL MINERAL DEPOSITS AND RIGHTS AS RESERVED BY THE STATE OF ARIZONA IN DEED RECORDED IN DOCKET 427, PAGE 489, AND AS SET FORTH IN PATENT FROM THE UNITED STATES OF AMERICA RECORDED IN DOCKET 2089, PAGE 257.

## TITLE REFERENCE

THIS SURVEY IS BASED UPON THE SPECIAL REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY NO. 4271695, DATED MARCH 31, 2004.

CMX LLC HAS RELIED SOLELY UPON THE SPECIAL REPORT PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY AS LISTED HEREON. CMX LLC AND KENT C. OYBERG, RLS MAKE NO STATEMENT AS TO THE ACCURACY OR COMPLETENESS OF THE SUBJECT REPORT.

## BENCHMARK

BENCHMARK IS NATIONAL GEODETIC SURVEY MONUMENT A33835 (ACE2 DESIGNATION).  
ELEVATION = 1092.91 FEET  
NAVD 88 DATUM

## BASIS OF BEARING

BASIS OF BEARING IS 90°05'50"E ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 2 NORTH, RANGE 3 WEST.

## NOTES

- AREA IS 19,328,758 SQ. FT OR 443.6813 ACRES
- THIS SURVEY REFLECTS ABOVE GROUND INDICATIONS OF UTILITIES. THE SURVEYOR MAKES NO GUARANTEE THAT ALL OF THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION PROVIDED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.
- DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS WITHOUT WRITTEN PERMISSION OF THE SURVEYOR.
- THIS SURVEY IS VALID ONLY WHEN BEARING SEAL AND SIGNATURE OF SURVEYOR.
- NO VISIBLE EVIDENCE OF WASTE DUMP OR LANDFILL WAS NOTED ON THE SITE.

## SURVEYOR'S CERTIFICATION:

TO:

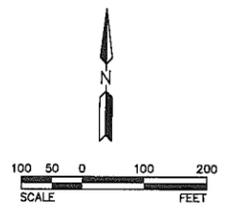
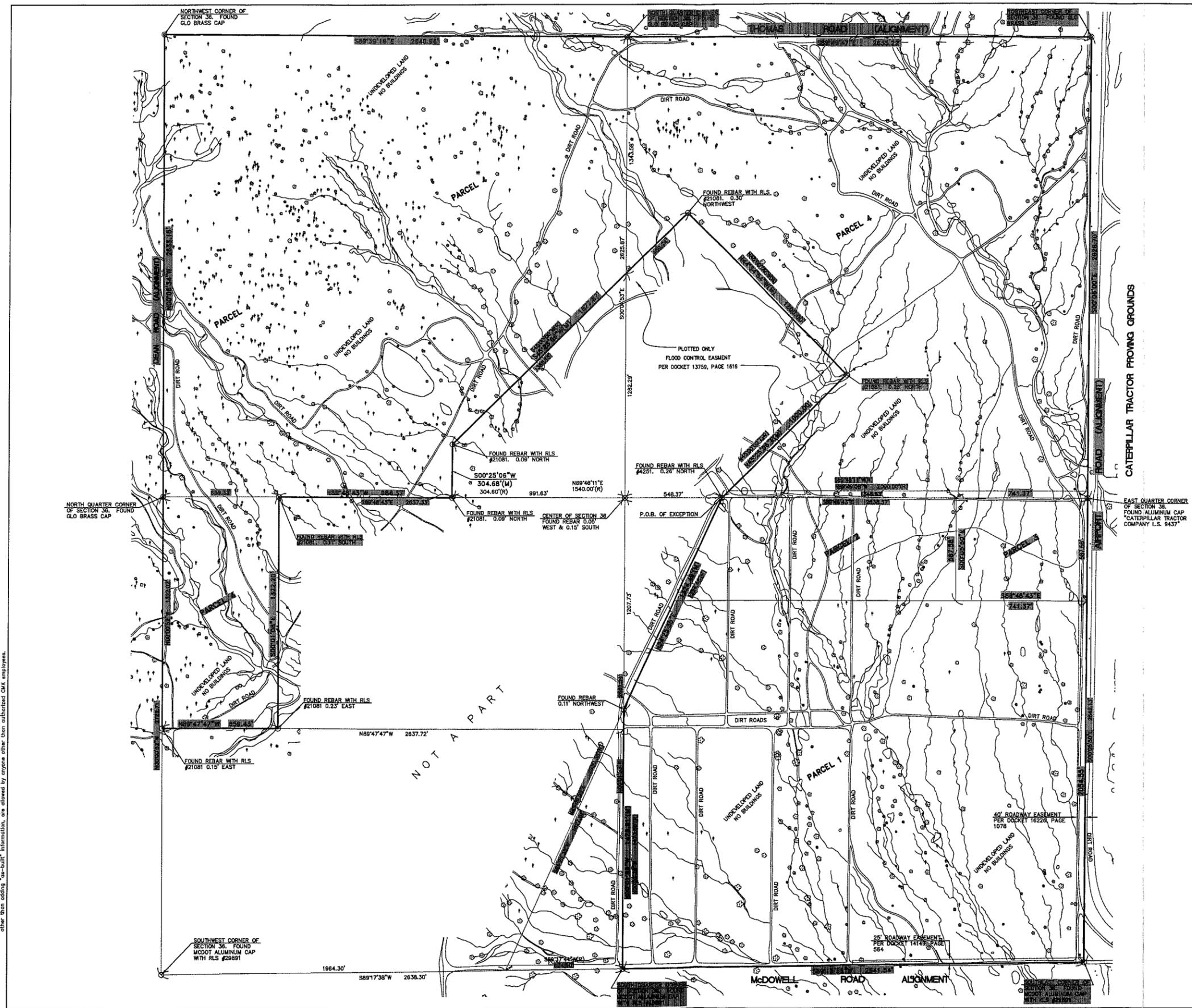
- PULTE HOMES THE COMMUNITIES OF DEL WEBB
- WHITE TANKS 140, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY AS TO PARCELS NO. 1, 2 AND 3 AND WHITE TANKS FOOTHILLS GENERAL PARTNERSHIP, AN ARIZONA GENERAL PARTNERSHIP AS TO PARCEL NO. 4
- FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 1999 AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 11(c), 15 (THIS SURVEYOR HAS NOT BEEN PROVIDED ANY INFORMATION REGARDING PROPOSED STREET RIGHT-OF-WAY LINE CHANGES. NO INQUIRY HAS BEEN MADE CONCERNING PROPOSED RIGHT-OF-WAY CHANGES) AND 16 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNDERGROUNDED FURTHER CERTIFIES THAT THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE, DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS."

KENT C. OYBERG  
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<b>TESOTA HILLS</b> McDOWELL ROAD & AIRPORT ROAD BUCKEYE, ARIZONA			
<b>ALTA/ACSM LAND TITLE SURVEY</b>			
7740 N. 16TH ST. STE. 100 PHOENIX, AZ 85020 PHONE: (602) 587-1800 FAX: (602) 587-1801			
CMX PROJ. 6785.03	DATE: 04/14/04	SCALE: NONE	
DESIGNED: KCO	DRAWN: CLD	APPROVED: KCO	
REV.		DWG. NO.	
		<b>1</b>	
		SHT. 1 OF 3	

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- LEGEND**
- FOUND MONUMENT AS NOTED
  - FOUND BRASS CAP FLUSH
  - 4 SIGN
  - ⊥ SAGUARO CACTUS
  - ⊕ TREE
  - BOUNDARY LINE
  - - - EASEMENT LINE
  - SECTION LINE

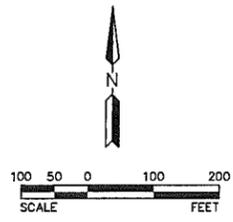
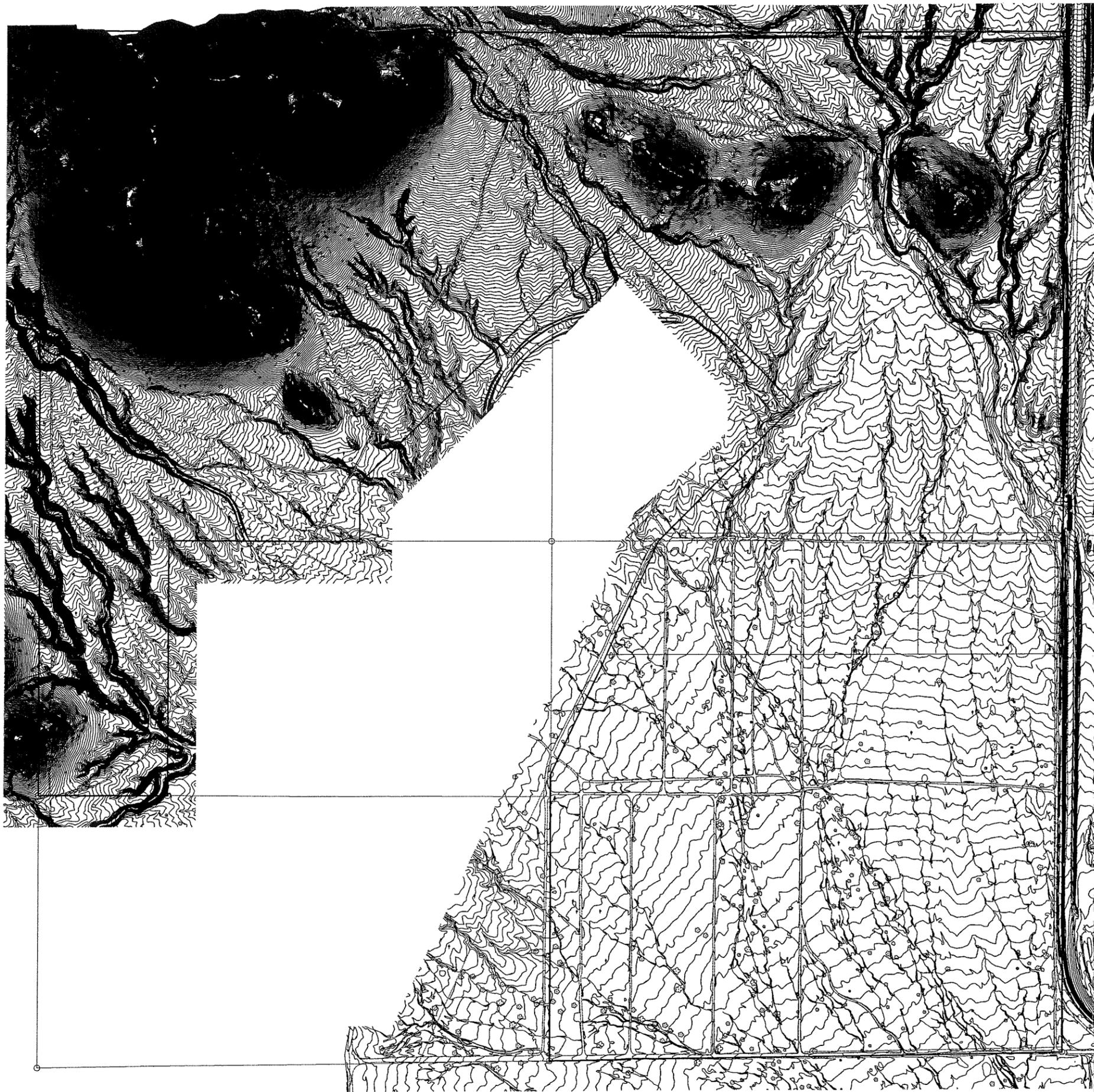
**TESOTA HILLS**  
 McDOWELL ROAD & AIRPORT ROAD  
 BUCKEYE, ARIZONA

**ALTA/ACSM LAND TITLE SURVEY**

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CMX PROJ. 6785.03 DATE: 04/13/04 SCALE: 1"=100'  
 DESIGNED: KCO DRAWN: CLK APPROVED: KCO

REV. \_\_\_\_\_ DWG. NO. **2**  
 SHT. 2 OF 3



**LEGEND**

- FOUND MONUMENT AS NOTED
- FOUND BRASS CAP FLUSH
- ⊕ SIGN
- ☪ SAGUARO CACTUS
- ☪ TREE
- BOUNDARY LINE
- - - EASEMENT LINE
- - - SECTION LINE
- ~1210~ CONTOUR LINE

**TESOTA HILLS**  
McDOWELL ROAD & AIRPORT ROAD  
BUCKEYE, ARIZONA

**TOPOGRAPHIC SURVEY**

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FAX: (602) 587-1901

CMX PROJ. 6785.03 DATE: 04/14/04 SCALE: 1"=100'  
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REV. \_\_\_\_\_ DWG. NO. **3**  
SHT. 3 OF 3

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## **TESOTA HILLS DRAINAGE MASTER PLAN-AMENDMENT STATEMENT**

Pursuant to the design criteria established by the Town of Buckeye and the Flood Control District of Maricopa County, modifications to the Tesota Hills Land Plan have been prepared. The modifications include the elimination of nearly 151 lots from the original approved land plan, and the inclusion of a flow conveyance channel to direct spillway discharge up to a precipitation event approximately equal to the 10,000-year return storm for the Buckeye Flood Retardant Structure (FRS) #3 structure. The 10,000-year storm was selected as the control event, which has a 1.0% probability of occurrence in a 100-year design life for the property. This event discharges 482 cfs, which will be transported through the property using a roadside channel.

The original drainage area to the Tesota Hills property prior to construction of the FRS #3 structure measured approximately 0.5 square miles. Although the capture drainage area for the FRS has increased the drainage area to 8 square miles, the structure has reduced or eliminated the probable discharge from the FRS #3 emergency spillway to the Tesota Hills Property for storm events slightly less than the 10,000-year return event.

The modified land plan as presented will not increase the peak stage elevation in the FRS #3 structure during the Probable Maximum Flood (PMF) event. The existing conditions for the emergency spillway suggest that flow may be directed onto the toe of the embankment as a result of access road placement at the toe of the structure and through the emergency spillway. A grading plan has been conceptually prepared to identify a development configuration that would not increase the amount of flow directed along the toe of the FRS facility.

The approximate inundation limits for the PMF event have been identified for the conceptual grading plan for the Tesota Hills Property. The inundation limits will be used by the operator of the FRS facility to modify the Emergency Action Plan for the structure and prepare a monitoring and evacuation plan for the downstream properties.

Currently a drainage plan is being prepared for the Tesota Hills project to identify the flow characteristics of the PMF discharge from the Emergency Spillway of FRS #3. No additional changes are being made the original approved Master Drainage Plan at this time.

## TESOTA HILLS WATER MASTER PLAN-AMENDMENT STATEMENT

Pursuant to regional management of the potable water infrastructure, current coordination between Verrado, Tesota Hills, and the Arizona American Water Company (AAWC) is on-going. Others are currently updating the water model for Verrado Master Planned Community as managed by AAWC on the north and east boundaries of the property. The model will incorporate demands for the Tesota Hills property.

The land use and water master plan approved by the Town of Buckeye and AAWC in April of 2004 has recently been modified to show a significant reduction in lots for the proposed 444-acre Tesota Hills Subdivision. AAWC is the water service provider in the region and has agreed to apply to the Arizona Corporation Commission (ACC) to expand its service area to include this region. The original Community Master Plan (CMP) specified a maximum of 1,302 dwelling units corresponding to an overall gross density of 2.9 dwelling units per acre. Other land uses include a neighborhood park, fire station, commercial land uses, several pocket parks and an extensive trail system connecting these amenities to the surrounding community. The original master plan required approximately 0.599 million gallons per day (MGD) for average day demands, 1.072 MGD for maximum day demands, and 1.797 MGD for peak hour demands. Calculations supporting these demand estimates are presented in Table 1.

A revised plan has been prepared to address spillway discharge management from the Buckeye Flood Retardant Structure (FRS) #3 structure adjacent to the property and more precise lotting of parcels within Tesota Hills. The revised land plan suggests the maximum number of dwelling units for the property will decrease from 1,302 to 1,151 dwelling units. This reduces the project demands to approximately 0.531 MGD for average day demands, 0.956 MGD for maximum day demands, and 1.624 MGD for peak hour demands. Calculations supporting these demand estimates are presented in Table 2.

The infrastructure required to support the project potable water demands include major water mains, storage facilities, pressure zone management controls and a regional Water Treatment Plant (WTP). The property will be serviced by connection to the Verrado distribution system. The property spans three pressure zones established by the AAWC regional service area. A connection will be made to the Verrado Development Community within each pressure zone. A pressure-reducing valve will be installed at pressure zone breaks within the Tesota Hills development to increase demand support for lower pressure zones.

The general plan for the water distribution system consists of 8-inch to 12-inch water mains connecting Tesota Hills to the regional water network. Water storage will be provided by AAWC by increasing tank capacity to support the

required storage for the project. Any changes to the approved Water Master Plan will require review and approval by AAWC and the town of Buckeye. A detailed potable water analysis for the Tesota Hills development will be prepared and submitted to the town once the regional Water Master Plan has been completed. The original Master Plan prepared for the Tesota Hills development identified three separate connections to the Arizona American potable water system. The connections identified provide service to the three-water pressure zones extending through the project.

**TABLE 1: LAND USE SUMMARY FOR TESOTA HILLS (2003)**

Parcel	Zoning	*Dwelling Units	Acreage	Density (DU/acre)	Persons Per DU	**Population	Average Day Demand (gpd)	Average Day Demand (gpm)	Maximum Day Demand (gpd)	Maximum Day Demand (gpm)	Peak Hour Demand (gpd)	Peak Hour Demand (gpm)
1 SOUTH	LMDR	166	34.0	4.9	2.5	415	66,400	46.11	119,520	83.00	209,184	141.10
2 SOUTH	COM	N/A	2.0	N/A	N/A	N/A	3,400	2.36	6,120	4.25	10,404	7.23
4 SOUTH	LMDR	121	31.9	3.8	3.0	363	58,080	40.33	104,544	72.60	177,725	123.42
5 SOUTH	LMDR	109	26.7	4.1	2.5	273	43,600	30.28	78,480	54.50	133,416	92.65
8 SOUTH	OS	N/A	6.5	N/A	N/A	N/A	23,538	16.35	35,307	24.52	35,307	24.52
<b>TOTAL PHASE 1</b>		<b>396</b>	<b>101.1</b>			<b>1,051</b>	<b>195,018</b>	<b>135.43</b>	<b>343,971</b>	<b>238.87</b>	<b>560,036</b>	<b>388.91</b>
3 SOUTH	COM	N/A	2.5	N/A	N/A	N/A	4,250	2.95	7,650	5.31	13,005	9.03
6 SOUTH	MDR	104	13.9	7.5	2.5	260	41,600	28.89	74,880	52.00	127,296	88.40
7 SOUTH	LMDR	162	33.3	4.9	2.5	405	64,800	45.00	116,640	81.00	196,288	137.70
1 NORTH	LMDR	46	11.1	4.2	2.5	115	18,400	12.78	33,120	23.00	56,304	39.10
2 NORTH	MDR	124	16.5	7.5	2.5	310	49,600	34.44	89,280	62.00	151,776	105.40
3 NORTH	LMDR	150	47.1	3.2	3.0	450	72,000	50.00	129,600	90.00	220,320	153.00
<b>TOTAL PHASE 2</b>		<b>586</b>	<b>124.4</b>			<b>1,540</b>	<b>250,650</b>	<b>174.06</b>	<b>451,170</b>	<b>313.31</b>	<b>766,989</b>	<b>532.63</b>
4 NORTH	LDR	152	60.8	2.5	3.0	456	72,960	50.67	131,328	91.20	223,258	155.04
5 NORTH	LDR	44	20.1	2.2	3.0	132	21,120	14.67	38,016	26.40	64,627	44.88
6 NORTH	LDR	39	16.0	2.5	3.0	117	18,720	13.00	33,696	23.40	57,283	39.78
7 NORTH	ER	85	57.3	1.5	3.0	255	40,800	28.33	73,440	51.00	124,848	86.70
8 NORTH	SPA	N/A	64.1	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
<b>TOTAL PHASE 3</b>		<b>320</b>	<b>218.3</b>			<b>960</b>	<b>153,600</b>	<b>106.67</b>	<b>276,480</b>	<b>192.00</b>	<b>470,016</b>	<b>326.40</b>
<b>Total*</b>		<b>1,302</b>	<b>443.7</b>			<b>3,551</b>	<b>599,268</b>	<b>416.16</b>	<b>1,071,621</b>	<b>744.18</b>	<b>1,797,041</b>	<b>1,247.94</b>

Lot counts for parcels are conceptual and are subject to change  
 \*Total dwelling units shown for residential development only.

- ER - Estate residential (Very low density single-family residential)
- LDR - Low density single-family residential
- LMDR - Low to medium density single-family residential
- MDR - Medium density single-family residential
- COM - Commercial site located within the development
- OS - Open space located within the development
- SPA - Special planning area (only walking paths and lookouts with benches)

The criteria used for the generation of these demands were based on previous Arizona American Water Company Design Guidelines approved for the Wood/Patel & Associates Verrado Water Master Plan update as shown below:

- 160 gpd for Single-Family Residential
- 120 gpd for Multi-Family Residential
- 1618 gpd/acre for landscaped areas with a peaking factor of 1.0 applied for all scenarios
- 1700 gpd/acre for Commercial developments
- 3638 gpd/acre for Open Space development with a peaking factor of 1.5 applied to maximum day only

**TABLE 2: LAND USE SUMMARY FOR TESOTA HILLS (2005)**

Parcel	Zoning	Gross Acreage	Target Density (DU/acre)	*Dwelling Units	Persons Per DU	**Population	Average Day Demand (gpd)	Average Day Demand (gpm)	Maximum Day Demand (gpd)	Maximum Day Demand (gpm)	Peak Hour Demand (gpd)	Peak Hour Demand (gpm)
1 SOUTH	L/MDR	32.7	4.7	153.0	2.5	382.5	61,200	42.5	110,160	76.5	187,272	130.1
2 SOUTH	PUBLIC	2	N/A	N/A	N/A	N/A	3,400	2.4	6,120	4.3	10,404	7.2
3 SOUTH	LDR	32.5	4.1	133.0	2.5	332.5	53,200	36.9	95,760	66.5	162,792	113.1
4 SOUTH	LDR	26.7	3.9	104.0	3.0	312.0	49,920	34.7	89,856	62.4	152,755	106.1
5 SOUTH	MDR	16.3	7.5	122.0	2.5	305.0	48,800	33.9	87,840	61.0	149,328	103.7
6 SOUTH	L/MDR	30.5	4.3	131.0	2.5	327.5	52,400	36.4	94,320	65.5	160,344	111.4
1 NORTH	L/MDR	10	4.8	48.0	2.5	120.0	19,200	13.3	34,560	24.0	58,752	40.8
2 NORTH	MDR	12.7	7.0	88.0	2.5	220.0	35,200	24.4	63,360	44.0	107,712	74.8
3A NORTH	LDR	25.6	3.5	89.0	3.0	267.0	42,720	29.7	76,896	53.4	130,723	90.8
3B NORTH	LDR	20.1	3.5	70.0	3.0	210.0	33,600	23.3	60,480	42.0	102,816	71.4
4 NORTH	ER	24.6	1.6	39.0	3.0	117.0	18,720	13.0	33,696	23.4	57,263	39.8
5 NORTH	LDR	19.2	2.4	46.0	3.0	138.0	22,080	15.3	39,744	27.6	67,565	46.9
6 NORTH	LDR	13.6	2.8	38.0	3.0	114.0	18,240	12.7	32,832	22.8	55,814	38.8
7A NORTH	ER	33.2	1.3	43.0	3.0	129.0	20,640	14.3	37,152	25.8	63,158	43.9
7B NORTH	LDR	23.6	2.0	47.0	3.0	141.0	22,560	15.7	40,608	28.2	69,034	47.9
8 NORTH	OS	71.2	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
9 NORTH	PARK	6.1	N/A	N/A	N/A	N/A	22,192	15.4	39,945	27.7	67,907	47.2
10 NORTH	COM	4	N/A	N/A	N/A	N/A	6,800	4.7	12,240	8.5	20,808	14.5
11 NORTH	OS	20.1	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
12 NORTH	OS	15.9	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
McDowell Rd ROW	ROW	3.2	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
<b>Total*</b>		<b>443.8</b>		<b>1,151</b>		<b>3,116</b>	<b>530,872</b>	<b>366.7</b>	<b>955,569</b>	<b>663.6</b>	<b>1,624,468</b>	<b>1,128.1</b>

Lot counts for parcels are conceptual and are subject to change

\*Total dwelling units shown for residential development only.

- ER - Estate residential (Very low density single-family residential)
- LDR - Low density single-family residential
- L/MDR - Low to medium density single-family residential
- MDR - Medium density single-family residential
- COM/ - Commercial site located within the development
- OS - Open space located within the development
- PARK - Open space for leisure activity
- ROW - Right of Way
- PUBLIC - Fire Station

The criteria used for the generation of these demands were based on previous Arizona American Water Company Design Guidelines approved for the Wood/Patel & Associates Verrado Water Master Plan update as shown below:

- 160 gpd for Single-Family Residential
- 120 gpd for Multi-Family Residential
- 1619 gpd/acre for landscaped areas with a peaking factor of 1.0 applied for all scenarios
- 1700 gpd/acre for Commercial developments
- 3638 gpd/acre for Open Space development with a peaking factor of 1.5 applied to maximum day only

## TESOTA HILLS WASTEWATER MASTER PLAN- AMENDMENT STATEMENT

Pursuant to regional management of the potable water infrastructure, current coordination between Verrado, Tesota Hills, and the Arizona American Water Company (AAWC) is on-going. Others are currently updating the wastewater model for the Verrado Master Planned Community as managed by AAWC on the north and east boundaries of the property. The model will incorporate estimated flows for the Tesota Hills property and coordinate pipe invert elevations for the connection between the Verrado and Tesota Wastewater systems.

AAWC is the wastewater service provider for the region and will expand its service area to include the Tesota Hills development. The original Community Master Plan (CMP) approved April 2004 specified a maximum of 1,302 dwelling units would be constructed within Tesota Hills corresponding to an overall gross density of 2.9 dwelling units per acre. The original land plan estimated an average day flow for the property of 0.293 million gallons per day (MGD). Other land uses include a neighborhood park, several pocket parks and an extensive trail system connecting these amenities to the surrounding community. A revised land plan has been prepared to address spillway discharge management from the Buckeye Flood Retardant Structure (FRS) #3 structure adjacent to the property and more precise lotting of parcels within Tesota Hills. The revised land plan suggests the maximum number of dwelling units for the property will decrease to 1,151 dwelling units corresponding to an estimated average day flow of 0.258 MGD. The master wastewater plan has been modified to exhibit the on-site trunk line system. Verrado is currently amending their wastewater system and will incorporate the trunk line for the Tesota Hills Property to their plan. The Verrado Wastewater Reclamation Facility (WRF) managed by AAWC will service the Tesota Hills property. Flow estimates for the original and proposed development are presented in Tables 1 and 2 respectively.

Figure 1 indicates the trunkline system for the property. The sewer pipes shown in this plan form the backbone collection system required for conveyance of wastewater generated by each parcel within Tesota Hills. Based on current agreements, wastewater from Tesota Hills and Verrado will ultimately be treated to tertiary quality at the WRF located within the adjacent Verrado development. An expansion of the 2.8 MGD plant will be required to meet the additional Tesota Hills sewage discharge and was approved under the existing MAG 208 Permit. As each parcel or phase within Tesota Hills is developed, a detailed analysis of the wastewater sewer system will be prepared and submitted for review by the AAWC and the town of Buckeye.

The design criteria used in this Master Wastewater Report is based on the AAWC Water Resources design standards and requirements for the adjacent Verrado development. All development within this CMP consists of single-family

residential and commercial zonings. Parcels with single-family densities of greater than or equal to 4 dwelling units per acre used 2.5 persons per dwelling unit and parcels with single-family densities of less than 4 dwelling units per acre used 3.0 persons per dwelling unit. All gravity sewer lines were designed to maintain calculated mean velocities between 2.0 and 10.0 feet per second and a pipe depth to diameter ratio of less than or equal to 0.75 during peak hour.

Based on the natural topography, the majority of Tesota Hills can be drained via gravity sewer lines to the regional WRF. However, due to the large elevation differential within Parcels 5-7 North, a force main and lift station is necessary to convey flows from portions of these parcels, to the gravity system transporting the remaining wastewater from Tesota Hills. The use of a lift station within a sewer collection system requires a "Basis of Design Report" to be reviewed and approved by AAWC and by Maricopa County Department of Environmental Services. This Master Plan determined the required force main size and the wet well sump elevation. A comprehensive design of the lift station will be completed in a separate report to be approved by the above-mentioned agencies. The general plan for the wastewater collection system consists of a backbone network of 8-inch to 15-inch gravity sewer lines connecting Tesota Hills to the regional WRF as well as any required force mains.

**TABLE 2: LAND USE SUMMARY FOR TESOTA HILLS (2005)**

Parcel	Zoning	*Dwelling Units	Acreage	Density (DU/acre)	Persons Per DU	Population	Average Day Flow (gpd)	Average Day Flow (gpm)	Maximum Day Flow (gpd)	Maximum Day Flow (gpm)
1 SOUTH	L/MDR	153	32.7	4.7	2.5	383	30,600	21.3	55,080	38.3
2 SOUTH	PUBLIC	N/A	2.0	N/A	N/A	N/A	3,000	2.1	5,400	3.8
3 SOUTH	LDR	133	32.5	4.1	2.5	333	26,600	18.5	47,880	33.3
4 SOUTH	LDR	104	26.7	3.9	3.0	312	24,960	17.3	44,928	31.2
5 SOUTH	MDR	122	16.3	7.5	2.5	305	24,400	16.9	43,920	30.5
6 SOUTH	L/MDR	131	30.5	4.3	2.5	328	26,200	18.2	47,160	32.8
1 NORTH	L/MDR	48	10.0	4.8	2.5	120	9,600	6.7	17,280	12.0
2 NORTH	MDR	88	12.7	7.0	2.5	220	17,600	12.2	31,680	22.0
3A NORTH	LDR	89	25.6	3.5	3.0	267	21,360	14.8	38,448	26.7
3B NORTH	LDR	70	20.1	3.5	3.0	210	16,800	11.7	30,240	21.0
4 NORTH	ER	39	24.6	1.6	3.0	117	9,360	6.5	16,848	11.7
5 NORTH	LDR	46	19.2	2.4	3.0	138	11,040	7.7	19,872	13.8
6 NORTH	LDR	38	13.6	2.8	3.0	114	9,120	6.3	16,416	11.4
7A NORTH	ER	43	33.2	1.3	3.0	129	10,320	7.2	18,576	12.9
7B NORTH	LDR	47	23.6	2	3.0	141	11,280	7.8	20,304	14.1
8 NORTH	OS	N/A	71.2	N/A	N/A	N/A	N/A	N/A	N/A	N/A
9 NORTH	PARK	N/A	6.1	N/A	N/A	N/A	N/A	N/A	N/A	N/A
10 NORTH	COM	N/A	4.0	N/A	N/A	N/A	6,000	4.2	10,800	7.5
11 NORTH	OS	N/A	20.1	N/A	N/A	N/A	N/A	N/A	N/A	N/A
12 NORTH	OS	N/A	15.9	N/A	N/A	N/A	N/A	N/A	N/A	N/A
McDowell RD.	ROW	N/A	3.2	N/A	N/A	N/A	N/A	N/A	N/A	N/A
<b>Total*</b>		<b>1,151</b>	<b>443.8</b>			<b>3,116</b>	<b>258,240</b>	<b>179</b>	<b>464,832</b>	<b>323</b>

Lot counts for parcels are conceptual and are subject to change

\*Total dwelling units shown for residential development only.

The criteria used for the generation of these demands were based on previous Arizona American Water Company Design Guidelines approved for the Wood/Patel & Associates Verrado Master Plan update as shown below:

ER - Estate residential (Very low density single-family residential)

LDR - Low density single-family residential

L/MDR - Low to medium density single-family residential

MDR - Medium density single-family residential

COMM - Commercial site located within the development

OS - Open space located within the development

ROW - Right of Way

PARK - Leisure area

PUBLIC - Fire Station

80 gpd for Single-Family Residential

1500 gpd/acre for Commercial developments

300 gpd/acre for Open Space development

**TABLE 1: LAND USE SUMMARY FOR TESOTA HILLS (2003)**

Parcel	Zoning	*Dwelling Units	Acreage	Density (DU/acre)	Persons Per DU	Population	Average Day Flow (gpd)	Average Day FLOW (gpm)	Max Day Flow (gpd)	Max Day Flow (gpm)
1 SOUTH	L/MDR	166	34.0	4.9	2.5	415	33,200	23.1	59,760	41.5
2 SOUTH	COM	N/A	2.0	N/A	N/A	N/A	3,000	2.1	5,400	3.8
4 SOUTH	L/MDR	121	31.9	3.8	3.0	363	29,040	20.2	52,272	36.3
5 SOUTH	L/MDR	109	26.7	4.1	2.5	273	21,800	15.1	39,240	27.3
8 SOUTH	OS	N/A	6.5	N/A	N/A	N/A	1,941	1.3	1,941	1.3
<b>TOTAL PHASE 1</b>		<b>396</b>	<b>101.07</b>			<b>1,051</b>	<b>88,981</b>	<b>61.8</b>	<b>158,613</b>	<b>110.1</b>
3 SOUTH	COM	N/A	2.5	N/A	N/A	N/A	3,750	2.6	6,750	4.7
6 SOUTH	MDR	104	13.9	7.5	2.5	260	20,800	14.4	37,440	26.0
7 SOUTH	L/MDR	163	33.3	4.9	2.5	408	32,600	22.6	58,680	40.8
1 NORTH	L/MDR	46	11.1	4.2	2.5	115	9,200	6.4	16,560	11.5
2 NORTH	MDR	123	16.5	7.5	2.5	308	24,600	17.1	44,280	30.8
3 NORTH	L/MDR	150	47.1	3.2	3.0	450	36,000	25.0	64,800	45.0
<b>TOTAL PHASE 2</b>		<b>586</b>	<b>124.40</b>			<b>1,540</b>	<b>126,950</b>	<b>88.2</b>	<b>228,510</b>	<b>158.7</b>
4 NORTH	LDR	152	60.83	2.5	3.0	456	36,480	25.3	65,664	45.6
5 NORTH	LDR	44	20.07	2.2	3.0	132	10,560	7.3	19,008	13.2
6 NORTH	LDR	39	15.98	2.5	3.0	117	9,360	6.5	16,848	11.7
7 NORTH	ER	85	57.30	1.5	3.0	255	20,400	14.2	36,720	25.5
8 NORTH	SPA	0	64.07	0.0	0.0	0	0	0.0	0	0.0
<b>TOTAL PHASE 3</b>		<b>320</b>	<b>218.25</b>			<b>960</b>	<b>76,800</b>	<b>53</b>	<b>138,240</b>	<b>96</b>
<b>Total*</b>		<b>1,302</b>	<b>443.72</b>			<b>3,551</b>	<b>292,731</b>	<b>203</b>	<b>525,363</b>	<b>365</b>

Lot counts for parcels are conceptual and are subject to change

\*Total dwelling units shown for residential development only.

The criteria used for the generation of these demands were based on previous Arizona American Water Company Design Guidelines approved for the Wood/Patel & Associates Verrado Master Plan update as shown below:

ER - Estate residential (Very low density single-family residential)

LDR - Low density single-family residential

L/MDR - Low to medium density single-family residential

MDR - Medium density single-family residential

COMM - Commercial site located within the development

OS - Open space located within the development

SPA - Special planning area (only walking paths and lookouts with benches)

80 gpcd for Single-Family Residential

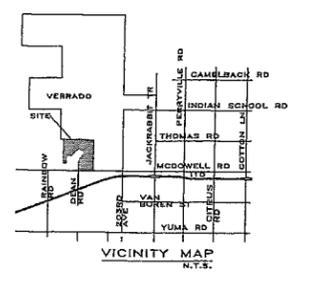
1500 gpd/acre for Commercial developments

300 gpd/acre for Open Space development



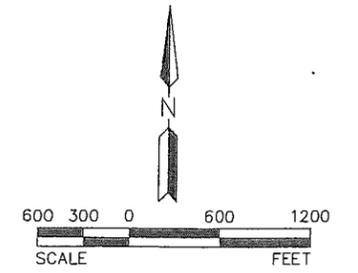
**LEGEND**

PROJECT BOUNDARY	
PARCEL BOUNDARY	
SEWERCAD GRAVITY JUNCTION	P-35
SEWERCAD FORCE MAIN	FM-1
SEWERCAD PRESSURE JUNCTION	J-1
SEWERCAD MANHOLE	MH-36
SEWERCAD PUMP	
SEWERCAD WETWELL	
SEWERCAD OUTLET	



**Color Coding Legend**  
Link: Rise (in)

	<<<	6
	<<	10
	<<	12



**TESOTA HILLS**  
211TH AVE AND MCDOWELL ROAD  
BUCKEYE, ARIZONA

**WASTEWATER MASTER PLAN**

CMX PROJ. 6075  
DATE: MAY 2005  
SCALE: 1"=600'



DESIGNED: SL | DRAWN: JAR | APPROVED: KCK

REV. \_\_\_\_\_ DWG. NO. **1**  
SHT. 1 OF 1

**EXHIBIT "A"**  
**TESOTA HILLS**  
**LEGAL DESCRIPTION**

Lots 3 and 4 and the north half of the Southeast quarter of Section 36, Township 2 North, Range 3 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;

**EXCEPT** that portion lying westerly of that certain line described as follows:

**COMMENCING** at the East quarter corner of said Section 36;

Thence North 89 degrees 49 minutes 08 seconds West, along the mid-section line of said Section 36, 2090.00 feet to the **POINT OF BEGINNING** of the line to be described, herein;

Thence South 24 degrees 25 minutes 35 seconds West, 1324.48 feet to the **POINT OF ENDING** of said line on the north-south mid-section line of said section 36, said point being North 00 degrees 02 minutes 28 seconds West, 1473.86 feet from the South quarter corner of said Section 36; and

The north half, and the north half of the southwest quarter, of Section 36, Township 2 North, Range 3 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona;

**EXCEPT** the east half of the northwest quarter of the Southwest quarter of said Section 36, and

**EXCEPT** the northeast quarter of the Southwest quarter of said Section 36, and

**EXCEPT** that portion of the north half of said Section 36, described as follows:

**BEGINNING** at a point on the east-west mid-section line of said Section 36, which point bears South 89 degrees 46 minutes 11 seconds West, 2090.00 feet from the East quarter corner, thereof;

Thence North 45 degrees 00 minutes 00 seconds East, 1000.00 feet;

Thence North 45 degrees 00 minutes 00 seconds West, 1300.00 feet;

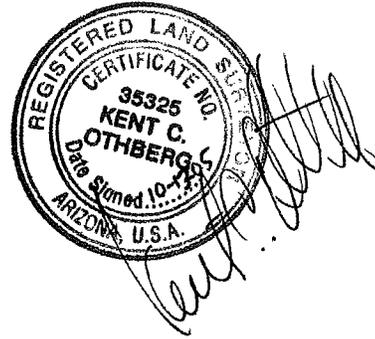
Thence South 45 degrees 00 minutes 00 seconds West, 1877.87 feet;

Thence south, 304.60 feet to the aforesaid east-west mid-section line;

Thence north 89 degrees 46 minutes 11 seconds East, along the said east-west mid-section line, 1540.00 feet to the **POINT OF BEGINNING**.

Site area contains 19,326,755 Square Feet or 443.6813 Acres, more or less and being subject to any easements, restrictions, rights of way of record or otherwise..

Prepared by: CMX L.L.C.  
7740 N. 16th Street, Suite 100  
Phoenix, AZ 85020  
Project No. 6785.03  
October 13, 2005



# Community Master Plan Amendment – No. 2 SIENNA HILLS

NWC McDowell Road and the 211<sup>th</sup> Avenue Alignment  
Buckeye, Arizona  
Prepared February 17, 2012



Hoskin • Ryan Consultants, Inc.  
*creative engineering solutions*

OWNER  
SLV Sienna Hills, LLC  
Shane Graser & Greg Balen  
4900 North Scottsdale Road, Suite 1000  
Scottsdale, Arizona 85251



ENGINEER / PLANNER  
Hoskin Ryan Consultants, Inc  
Matthew J. Mancini, PE  
6245 North 24<sup>th</sup> Parkway, Suite 100  
Phoenix, Arizona 85016



EXPIRES 12/31/2012

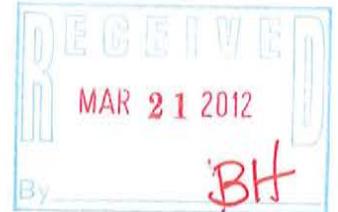
6245 North 24th Parkway, Suite 100 Phoenix, Arizona 85016  
T 602.252.8384 F 602.252.8385 www.hoskinryan.com

APPROVED:

 4-2-12

Woodrow C Scoutten  
Development Services Director  
Town of Buckeye

Date



Date

no liability for errors or omissions

The Town approves this report for concept only and accepts no liability for errors or omissions.

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## SIENNA HILLS COMMUNITY MASTER PLAN AMENDMENT – No. 2

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1. 2004 CMP Entitlements
2. 2006 CMP Amendment Entitlements
3. Lot Size Products
4. Lot Transfer Comparison

### **LIST OF FIGURES**

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- 2a. Land Use Budget
- 2b. Land Development Standards
3. Conceptual Open Space and Trails System Plan
4. Master Street and Circulation Plan
5. Typical Roadway Cross Section – Collector and Local Road
6. Typical Roadway Cross Section – McDowell Road
7. Sienna Hills Plant List
8. Conceptual Phasing Plan

## PROJECT TEAM

**Land Owner:** SLV Sienna Hills, LLC  
Shane Graser & Greg Balen  
4900 North Scottsdale Road, Suite 1000  
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480.305.7225

**Developer/Applicant:** SLV Sienna Hills, LLC  
Shane Graser & Greg Balen  
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Scottsdale, Arizona 85251  
480.305.7225

**Planning/Engineering:** Hoskin Ryan Consultants, Inc  
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**Landscape Architect:** Vollmer & Associates  
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**Legal Counsel:** Burch & Cracchiolo  
Edwin C. Bull  
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Phoenix, Arizona 85014  
602.234.9933

## **I. INTRODUCTION**

The original Tesota Hills Community Master Plan (CMP) was approved by Town Council in April of 2004. A CMP Amendment, prepared by Pulte Home Corporation (Pulte), was subsequently approved, in March of 2006. With the CMP Amendment approved, Pulte prepared and received approval of the Preliminary Plat for a portion of the development under the new name of Fireside at Sienna Hills. This preliminary plat did not include work related to the Estate Residential Parcels. Individual Final Plats for some of the parcels were submitted to the Town, which vested the Preliminary Plat; however, no Final Plats were recorded. A Map of Dedication for that portion of McDowell Road adjacent to the development and Fireside Parkway (the development's collector road) was approved by the Town and recorded with Maricopa County. The parcels located in the southeastern portion of the development have been mass graded while the northern parcels remain in their natural state.

SLV Sienna Hills, LLC (SLV) purchased the property from Pulte in December 2009 and is moving the project forward under the name to Sienna Hills. The intent of this document is to outline the proposed minor modification to the existing CMP and CMP amendment and request approval by the Town. The original CMP, CMP Amendment, and this CMP Amendment are intended to provide a comprehensive master planned community, consistent with the Town's regulations and General Plan.

The documents presented within this amendment provide a detailed description of the residential land uses, trail and open space concepts, and infrastructure requirements for the community. Sienna Hills provides single family detached homes, viable and usable open space, and community amenities that will meet the needs for Town residents.

## **II. ORIGINAL CMP and CMP AMENDMENT ENTITLEMENTS**

### **A. Existing CMP and CMP Amendment**

The original CMP was approved by the Town in April 2004 with a CMP Amendment subsequently approved in March 2006.

Table 1 is a summary of the entitlements and land uses approved for Tesota Hills in April of 2004:

SIENNA HILLS COMMUNITY MASTER PLAN AMENDMENT – No. 2

**TABLE 1 – 2004 CMP ENTITLEMENTS**

<b>Land Use Designation</b>	<b>Gross Acreage</b>	<b>Number of Units*</b>	<b>Max Units Allowed</b>
Residential – Estate	57.3	85	103
Residential – Low Density	96.9	235	289
Residential – Low & Medium	184.1	754	1,102
Residential – High Density	30.4	228	243
Commercial/Business Center	2.5	N/A	N/A
Public	2.0	N/A	N/A
Open Space	6.5	N/A	N/A
Special Planning Area	64.1	N/A	N/A
<b>Total</b>	<b>443.8</b>	<b>1,302</b>	<b>1,737</b>

\*Note: Number of Units = Dwelling Units allowed without a Density Transfer

Table 2 is a summary of the entitlements and land uses approved via amendment for Tesota Hills in 2006:

**TABLE 2 – 2006 CMP AMENDMENT ENTITLEMENTS**

<b>Land Use Designation</b>	<b>Gross Acreage</b>	<b>Number of Units*</b>	<b>Max Units Allowed</b>
Residential – Estate	57.8	82	84
Residential – Low Density	161.3	527	555
Residential – Low & Medium	73.2	332	347
Residential – Medium Density	29.0	210	216
Commercial	4.0	N/A	N/A
Public	2.0	N/A	N/A
Open Space	107.2	N/A	N/A
McDowell Road R/W	3.2	N/A	N/A
<b>Total</b>	<b>443.8</b>	<b>1,151</b>	<b>1,202</b>

\*Note: Number of Units = Dwelling Units allowed without a Density Transfer

**III. GOALS AND OBJECTIVES**

SLV Sienna Hills, LLC, along with their Design Team, is committed to creating a community which balances the needs of the development while respecting the natural amenities associated with the land. The original CMP (with the subsequent approved amendment) is providing a solid foundation for this community. Additional minor modifications as noted within this CMP Amendment are providing the opportunity to further enhance the development while still maintaining the original intent approved by the Town.

## SIENNA HILLS COMMUNITY MASTER PLAN AMENDMENT – No. 2

The following is a list of items and goals addressed in this Amendment:

- Reflect the current development team, land ownership, land planning and infrastructure.
- Reflect necessary changes to the land plan with respect to street alignments, lots sizes, and lot configurations.
- Implement text changes which are consistent with the goals of SLV Sienna Hills, LLC and the Town of Buckeye.
- Illustrate the proposed modifications to the site plans for the Estate and Low Density Residential Parcels. These modifications are designed to preserve additional wash corridors, which increase and enhance the amount of useable open space for all the Sienna Hills residences.
- Identify infrastructure design criteria and standards for the CMP.
- Clarify that any alteration to project phasing will not warrant a CMP amendment.
- Identify additional landscaping general standards.
- Make minor adjustments to outdated development standards outlined in the CMP.
- Remove the identified model-home-complex location.
- Remove the public land use designation from Parcel 2 South.
- Adjust Court/Cluster Home product to a 50-ft x 90-ft wide product.
- Clarify retention/detention requirements.
- Allow waterline line easements for waterline looping.
- Provide a safe community which encourages neighborhood interaction and outdoor enjoyment
  - o Safety through Environmental Design - increasing the amount of open space, especially wash corridors, provides the opportunity to utilize view fencing along the rear property lines. The home owner will not only enjoy the benefit of viewing the natural wash corridors, but it also promotes a level of safety by having eyes on the open space.

## SIENNA HILLS COMMUNITY MASTER PLAN AMENDMENT – No. 2

- Outdoor enjoyment will be achieved through the use of connective open space leading to the larger open space tract in the northwest corner of the site.
- Improved drivability for the residences located in the northern and western portions of the development. Open-ended cul-de-sacs have been utilized to expand the view of hillside areas. The local collector road has been extended to the west, reducing the amount of traffic traveling along the lots fronting the roadway.

### IV. PROPOSED CMP AMENDMENTS

#### A. CMP UPDATES

The CMP will be updated to reflect the name change of the development from Tesota Hills to Sienna Hills. A complete and updated CMP will be provided to the Town upon approval, incorporating the original CMP as well as any changes made as a result of the 2006 Amendment or this Amendment

#### B. Adoption Via Development Agreement

##### 1. Land Use Plan

The 444-acre Sienna Hills site has been re-designed to provide 1,108 total dwelling units (a nearly 200 dwelling unit decrease from the 2004 CMP; a nearly 100 unit decrease from the 2006 Amendment) with an overall gross density of 2.5 dwelling units per acre (including existing dedicated right-of-way). The site's maximum dwelling unit count, however, shall be consistent with the 2006 CMP amendment total of 1,202. This re-design effort will significantly enhance the site's ability to capture natural open space and pedestrian circulation, especially within the hillside areas. Refer to Figure 1 for the Sienna Hills Conceptual Land Use Plan, which identifies the land use locations within the site.

The revised land plan for Sienna Hills, primarily within the hillside and custom home parcels, respects the natural amenities of the site. Preservation of wash corridors and using hillside to its advantages creates a community and theme that provides natural open space, view corridors, and beauty for its residents. This modification promotes natural space preservation while still providing activity and amenities for the community. The land plan maintains multi-use trail corridors, open space, and common area facilities; while adjusting to the effects of recent market conditions.

Another land plan modification relates to adjustments made to Parcels 2 North and 5 South. This component of this CMP Amendment changes the original cluster product to a more conventional 50-ft x 90-ft housing product. In addition to providing improved circulation, this product will create lot uniformity for the community.

As stated in the original CMP Amendment, all community quality control will be established and maintained through master governance tools, such as design guidelines, architectural control, covenants, conditions and restrictions (CC&R's), and a homeowners' association.

## 2. Land Use Designations

The Land Use Budget from the 2006 CMP amendment identified the density ranges, maximum density, and target densities allowed within each parcel. This CMP amendment proposes minor adjustments to the Land Use Budget and development standards, Figure 2a and 2b, based on the revised land plan. Final lot counts may vary during final platting based upon engineering constraints such as, topography, open space, retention, market conditions, and/or customer preference; however, the maximum density (du/ac) for each parcel will not change.

A mixture of lot sizes was an objective of the original CMP. SLV agrees with this planning concept. For this amendment, SLV has revised the overall land plan to include the following lot size products, as shown in Table 3:

**TABLE 3 – LOT SIZE PRODUCTS**

Width (ft)	Depth (ft)
48	110
50	90
50	110
50	115
50	120
60	115
60	120
70	120
85	125

With eight (8) product options, this amendment is consistent with the current CMP's variety of product and provides numerous product options to homebuyers.

## SIENNA HILLS COMMUNITY MASTER PLAN AMENDMENT – No. 2

Notwithstanding, SLV Sienna Hills wishes to retain flexibility with the final diversity of lots sizes which will adhere to the maximum density criteria of each parcel. The lot sizes shown within this amendment may change; however, it will require Town Staff approval and must adhere to the maximum density criteria of each parcel, and in no instance will lot widths be less than 48-feet.

The 2006 CMP amendment discussed the use of an anticipated model home complex within Parcel 3A North. This amendment proposes to remove the model home complex location from the CMP. Model complexes will be determined by the homebuilder within each phased parcel, and must obtain approval prior to construction.

### 3. Maximum Density

The following maximum densities shown within each land use designation shall replace the maximum densities shown within Section II.A of the 2004 CMP and Section III.C of the 2006 CMP Amendment:

- **ESTATE RESIDENTIAL (ER)** Max. Density = 1.7 DU/AC
- **LOW DENSITY RESIDENTIAL (LDR)** Max. Density = 4.0 DU/AC
- **LOW/MED. DENSITY RESIDENTIAL (MDR)** Max. Density = 5.0 DU/AC
- **MEDIUM DENSITY RESIDENTIAL (MDR)** Max. Density = 8.0 DU/AC

### 4. Commercial (COM)

Parcel 10 North will remain designated as commercial land use; however, shall allow additional public/institutional uses including:

- Botanical Garden
- Museum
- Library
- Safety Facility
- Assembly/Religious/Country Club/Social Facility
- School

The site planning, site design review and final design will be separate from this CMP and will be prepared once an end-user has been engaged. All Parcel 10 North design documents will be processed and approved through the Town separate of the CMP.

**5. Open Space (OS)**

Per the 2006 CMP Amendment and its Figure 9, Parcel 9 North (which is approximately six (6) acres) is designated as a potential neighborhood park site. The final design for the neighborhood park will be prepared in accordance with the Town's guidelines and review procedures. Figure 10 of the 2006 Amendment also depicts concepts of interior pocket parks, which will be designed and constructed with their respective parcel developments.

With the use of open space parcels, tracts, and park areas, the new Land Use Plan results in over fifty (50) percent open space and increases the amount of preserved natural amenities. The site requires 7 acres/1000 new residents of useable open space, which equates to 22.8 acres for the current land plan. Providing over fifty (50) percent open space provided on-site, SLV well exceeds the Town's requirement. Refer to Figure 3 for a depiction of the Conceptual Open Space and Trails System Plan

**6. Public**

Based upon the 2006 CMP Amendment Parcel 2 South, was designated for public use as a Fire Station unless it was subsequently determined that a fire station would be redundant. If determined to be redundant, the area associated with Parcel 2 South would convert to an L/MDR land use.

The Town of Buckeye has determined that Sienna Hills will be serviced from the Town's existing fire station within Verrado. Therefore, the area associated with Parcel 2 South is now L/MDR and included within Parcel 1 South.

Fire suppression systems will be installed throughout the community, as agreed to within the Second Amendment to the Development Agreement.

**C. Adoption Via Development Agreement**

An amended Development Agreement was signed and approved by Council in August 2011. This development agreement is associated with this CMP Amendment.

**D. Land Splits**

Section IV.A.3.b of the 2004 CMP is hereby removed.

### **E. Preliminary Plat**

A preliminary plat for Fireside at Sienna Hills, which included Parcels 1 North, 2 North/5 South, 3A North, 3B North, 1 South, 3 South, 4 South, 6 South, 8 North, 9 North, 10 North, 11A North, 11B North, 11C North, and 12 North, is validated and vested as provided for in Section IV.A.4.a. of the 2004 CMP and Section 5.a. of the Second Amendment to the Development Agreement (“Development Agreement”), adopted August 16, 2011 as Resolution 110-11, and as a result of the submittals of the final plats for portions of the area covered by the preliminary plat.

Revised preliminary plat(s) will be submitted in conjunction with and/or subsequent to this CMP Amendment. Its/their approval will be valid for a period of 24-months from the date of Council approval of such preliminary plat(s), and are validated and vested upon submittal of a final plat on the entire area or a portion of the area covered by the preliminary plat. This is consistent with Section IV.A.4.a.2. of the 2004 CMP, and ensures that Owner is provided with the certainty of the entitlements to commit to proceed with development of the project in a manner consistent with the Development Agreement, particularly with Sections 5.a. (material progress milestones), and 6.a through 6.k (additional owner obligations).

The developer may apply for, and the Town may approve, extensions of the revised preliminary plat(s) approval if a final plat on the entire area or a portion of the area covered by the preliminary plat is not submitted within the 24-months approval period. The extensions may be for one (1) year or other greater duration acceptable to the Town at the time the extension is applied for. Depending upon development progress for the project, the material progress stipulations of Development Agreement Section 5.a. determines, and limits the ability to extend the revised preliminary plat(s) beyond a time period not agreed to by the Town and Owner. This is a result of the large scale (planned as 1,108 lots) and long development duration (through July 21, 2023) anticipated for the project.

Some lots included in the revised preliminary plat submitted as part of this CMP are not anticipated to be developed until after the July 21, 2020 (62% completion milestone) committed to in Development Agreement Section 5.a. The ability to extend revised preliminary plats ensures for Owner and Town the certainty of entitlements, as well as, eliminates the potentially premature development of improvement plans that would be associated with premature processing of final maps limiting the flexibility of Town infrastructure planning and specifications.

If a revised preliminary plat is not extended in accordance with the above, the failure to do so has no effect in the previously validated and vested preliminary plat for Fireside at Sienna Hills.

#### **F. Subdivision Design Standards**

The following language shall replace Section IV.A.6 of the 2004 CMP:

- All subdivisions within Sienna Hills shall meet or exceed the minimum development standards set forth in the CMP, as amended, unless otherwise approved by the Town, but in no instance shall those standards be less than the Town of Buckeye Development Code.

#### **G. Amendments to the Community Master Plan**

CMP amendments shall not be necessary to accommodate site constraints, topography, and/or meet the requirements of potential users or builders, relative to land use plans, traffic impact studies, drainage, utility infrastructure, phasing, and/or increases in lot product options; however, the recommendations from “The Probable Maximum Flood Hydraulic Study for Fireside at Sienna Hills”, as prepared by CMX, shall always be permanently incorporated in the complete development.

#### **H. Access and Circulation**

Entry to Sienna Hills is provided via McDowell Road, which is currently an unimproved dedicated right-of-way from Verrado Way to the site’s southeast corner. McDowell Road from Verrado Way to the site will be upgraded to a half-arterial, as previously designed and approved by the Town.

The primary circulation pattern for Sienna Hills remains consistent with the 2006 CMP Amendment, with anticipated traffic from Metropolitan Phoenix traveling west on Interstate 10 and exiting on the Verrado Way/Airport Road Exit. Traffic will then travel 1/8 of a mile north on Verrado Way to McDowell Road and then 3/4 of a mile west to the Sienna Hills entrance.

Referring to Figure 4, primary on-site circulation is provided via the main collector roadway, being renamed Sienna Hills Parkway, which continues north through the site from McDowell Road and reduces to a local street once it reaches the northern parcels. The revised land plan also provides secondary circulation corridors through the individual parcels to assist with emergency and community circulation.

The revised land plan is designed in accordance with the recommendations established in the Tesota Hills Traffic Impact Study prepared by Task Engineering dated November 2005. An electronic copy of the report is submitted separately with this CMP amendment. At this time it is not anticipated that modifications to the study will be necessary.

## SIENNA HILLS COMMUNITY MASTER PLAN AMENDMENT – No. 2

In reference to Figure 5, typical roadway cross sections for the on-site residential collector and on-site local roads are shown. The single collector roadway provides adequate ingress/egress for the projected traffic of the site. A right-of-way bump-out has been provided at the southern cul-de-sac of Parcel 7A North to allow for a potential connection in the future when development occurs, on what is currently State Land, to the south.

As stated in the 2006 CMP Amendment, the existing 40-foot roadway easement along the eastern property line from McDowell Road north to the Encanto Boulevard alignment which then runs west to the Sienna Hill's property line will be abandoned. A request for abandonment of this roadway easement will be included as part of the Final Plat of the first phase parcels which will be submitted and reviewed by the Town.

The developer has worked with the Town to accommodate the future roadway cross section for McDowell Road. McDowell Road will conform to the MAG Transportation Plan with respect to right-of-way and back-of-curb location requirements of a median-divided parkway section. Refer to Figure 6 for cross-section.

McDowell Road design has accommodated for crossing of the Buckeye FRS#3 Structure. This was completed and approved by the Town prior to this CMP Amendment and will be adhered to when final documents are prepared. Coordination with the Arizona State Land Department and Flood Control District of Maricopa County may be required.

### **I. Regional Drainage Patterns**

The Sienna Hills development is adjacent to and encompasses the eastern end of the existing Flood Control District of Maricopa County's (FCDMC) Buckeye Flood Retarding Structure (FRS) #3 and emergency spillway. The FRS collects drainage from the White Tanks Mountain foothills which are located directly north and west of the development. The FRS is designed to protect Interstate 10 and the downstream properties by collecting the storm water runoff from the White Tank Mountains and conveying the flow to the southwest.

Based upon "The Probable Maximum Flood Study for Fireside at Sienna Hills" (PMF Study), prepared by CMX, the previous land plan took considerable steps to eliminate potential effects to the FRS, and was designed so that the FRS would not restrict the development. Revisions to the land plan associated with this CMP amendment incorporate the recommendations from the PMF Study. Specifically, the adjustments made to Parcel 3 South actually improve drainage conveyance at the site's outfall locations.

## **J. Retention of Storm Drainage**

The following language shall replace Section III.C.6.b of the 2004 CMP:

- Retention basin sizing will provide the necessary volume for the 100-year, 2-hour rainfall event with the exceptions listed within Section V.F.3.c.

Based on Section V.F.3.c of the 2004 CMP, retention basin sizing will provide necessary volume for the 100-year 2-hour rainfall event, except for parcels located directly behind the Buckeye FRS#3, parcels above the 5 percent slope line, and parcels that discharge into an established wash. For these parcels it will be necessary to demonstrate that post development peak runoff does not exceed the pre-development peak runoff.

For parcels that are above the 5 percent slope line, and that ultimately discharge to the White Tanks FRS#4, retention basin sizing will provide the necessary volume for the 100-year 2-hour rainfall event associated with the developed portion of such parcels only.

First Flush (first 1/2 inch of rainfall) retention requirements for these parcels will also be met as a means to remove siltation and pollutants from reaching washes and/or the FRS. Homeowners' Association will be responsible for maintenance of these basin facilities, which will be documented within the CC&R's.

In addition to Town review, the FCDMC will review and approve drainage reports associated with preliminary and final plats for this project.

## **K. Landscaping**

The following language shall replace the last paragraph in Section III.A of the 2004 CMP:

- In addition to the trails system planned for the community, open space will also include a larger neighborhood park, and several pocket parks, all strategically located so they benefit the pedestrian circulation patterns. The various components of the Open Space and Trails System are identified and described below:

The following language shall replace Section III.A.1.a.1 and Section III.A.1.a.2 of the 2004 CMP:

1. Pedestrian Pathway (sidewalk), a minimum of 4-ft to 8-ft and paved or granular.
2. Bike lanes, a minimum of 52-inches to 6-ft and paved, within the road right-of-way.

## SIENNA HILLS COMMUNITY MASTER PLAN AMENDMENT – No. 2

The following language shall replace Section V.G.1c of the 2004 CMP and the second point of Section IV.F of the 2006 CMP Amendment:

- Except in those areas where the site native material is unsuitable for topping (as determined by a Registered Landscape Architect), all landscaped areas shall be finished with a natural topping material which may include, but not limited to the following: turf, groundcover, planting, decomposed granite (onsite native material varying in size from ¼” to 12”), river run rock, expanded shale, or bark. Areas where non-native material is utilized may be treated with a pre-emergent herbicide. Rock/granite material shall be a minimum of 2” deep except decomposed granite trails shall be a minimum of ¼” screened.

The following language shall replace Section V.G.1d of the 2004 CMP:

- Landscaped areas along street frontages are encouraged to be contoured or bermed to provide variations in grade, visual relief, parking lot screening, and a more pleasing aesthetic value. All on-site commercial parking areas shall be screened from street view, with landscaping, a landscape berm, or a decorative screen wall no less than 3-feet in height.

The following language shall replace Section V.G.3 of the 2004 CMP:

- Each street’s rights-of-way contiguous with the proposed development site not used for street pavement, curbs, gutters, sidewalks, or driveways shall be landscaped, top dressed, or native.

The following language shall replace Section V.G.6 of the 2004 CMP:

- All developments that back or side onto a street and which have a six (6) foot screening wall constructed on the property line shall install within the street right-of-way contiguous with the property three (3) water conserving shrubs and one (1) water conserving variety tree for every thirty (30) feet of such double frontage. All such trees and shrubs shall be provided with an automatic drip or soaker irrigation system. Ground cover shall be decomposed granite or other material approved by the Town without plastic liners. A pre-emergent herbicide shall be applied to the ground prior to and after the placement of natural surface materials in any landscape area to prevent weed growth. The foregoing requirement shall apply in lieu of the street frontage landscape requirements.

## SIENNA HILLS COMMUNITY MASTER PLAN AMENDMENT – No. 2

The following language shall replace Section V.G.7 of the 2004 CMP:

- The following provisions apply to development of those portions of Sienna Hills established as hillside areas outside of the graded building envelope. The landscaping elements of the hillside development area will be specified at the preliminary plat or development site plan review state. Non-Native/Indigenous trees in excess of twenty-five (25) feet, in mature height, will not be permitted. At a minimum, the landscape palette will be based upon the approved Arizona Department of Water Resources Low Water Use Plant List. The plant palette may expand upon this list to allow greater flexibility in design concepts while ensuring environmental sensitivity. The landscape palette will appropriately provide for botanical diversity given the regional context of the project site. All landscaping improvements shall include a suitable method of irrigation.

Refer to Figure 7 for the Sienna Hills Plant List.

### **L. Screening**

The following language shall replace Section V.K.3a of the 2004 CMP and Section IV.G.a of the 2006 CMP Amendment:

- All roof mounted equipment, with the exception of solar equipment, shall be completely screened from view from ground level or adjacent property. The parapet, if provided, shall be architecturally compatible with the primary building.

### **M. Driveways**

Maximum driveway widths shall be twenty-eight (28) feet for garages with three car garages. Where appropriate, driveways may be shared between lots for mutual benefit between lots. Maintenance, ownership, and responsibility shall be recorded within project CC&Rs.

### **N. Fire Hydrants**

The following language shall replace Section V.P.7c of the 2004 CMP:

- The proposed fire hydrant spacing for Sienna Hills is 600-feet, based on Town approval and the project's Development Agreement, as amended.

**O. Improvement/Facilities Districts**

The developer shall create a Street Light Improvement District (SLID), and a Maintenance Improvement District (MID), as stipulated on preliminary plat(s). The developer reserves the right to create Community Facilities Districts (CFD) for each phase.

**P. Street Layout**

The following language shall be added to Section V.P.2. of the 2004 CMP:

- The tangent distance between to curves in the same direction shall be no less than 100-feet, and shall adhere to site visibility standards.

**V. MASTER PLANS AND REPORTS**

**A. Master Public Facilities Plan**

**1. Schools**

Sienna Hills is located within the Saddle Mountain Unified School District (SMUSD). SLV is investigating a variety of school solutions for the project. These potential solutions include modifying the school district boundaries to annex into adjacent elementary and high school districts, entering into an inter-district school services agreement with the adjacent Agua Fria High School (AFHSD) and Litchfield Elementary School (LESF) districts, or entering into an agreement with a charter school in creating a school on the Sienna Hills commercial site (Parcel 10)

The ability for any of these entities to commit to an appropriate School Donation Agreement, in the best interest of the future residents of Sienna Hills, cannot occur prior to the anticipated first approval of a first Final Plat for the project. As a result, prior to the first Final Plat being approved for the project, SLV will enter into an agreement with the Town, enabling SLV to establish an escrow account or other similar instrument acceptable to the Town, for the deposit of School Donation Fees as they will occur. The funds collected in the escrow account will be controlled by SLV and will be held until an appropriate School Donation Agreement can be executed with an acceptable entity, whereupon the funds can be distributed to that entity. It is anticipated that an appropriate school donation agreement for this project may ultimately include a land donation component in lieu of, or in addition to, a per lot fee.

**2. Fire and Emergency Services**

As previously discussed, the existing emergency services infrastructure has adequate capacity to service Sienna Hills. As such, it has been determined by the Town that there is no longer a need for an on-site emergency services facility. In addition, all homes within Sienna Hills are to be sprinkled.

**B. Master Drainage Plan and Report**

The Master Drainage Report for Fireside at Sienna Hills, approved by the Town on May 25, 2007, and the Drainage Report for Fireside at Sienna Hills Phases 1 & 2 – Mass Grading, prepared in February 2007, shall be the basis of all drainage design for the project.

Detailed drainage reports will be required for subsequent preliminary and final plats, and shall be completed in accordance with the previously approved reports and in accordance with Town and Maricopa County standards and regulations.

**C. Master Street and Circulation Plan and Traffic Report**

The Master Street and Circulation Plan for Sienna Hills is set forth in Figure 4, and roadway classifications for McDowell Road, collector roads, and local road are set forth in Figures 5 and 6. Traffic analysis shall be based on the Master Traffic Analysis, prepared by Task Engineering on November 17, 2005.

**D. Master Potable Water System Plan and Study**

Conceptual location and sizes of the water infrastructure needed to support Sienna Hills have been approved as part of the original CMP. In addition, Verrado has provided water connections to Verrado at three (3) locations: McDowell Road; along the eastern boundary of the site; and along the northern boundary of the site. Verrado has also accommodated water storage for Sienna Hills within the Verrado Storage Tank.

SLV has entered into an Main Extension Application (MXA) with Arizona American Water Company (AAWC) for this development. AAWC will be assisting with any Certificate of Assured Water Certificate applications. For looped connectivity of water lines within Sienna Hills, waterline easements shall be allowed where right-of-way is not available, per the development agreement, as amended. AAWC understands that homes will be sprinkled, and that this has been taken into account into the design.

The Master Water Study completed for Verrado, including Tesota Hills, shall be the basis for the Sienna Hills infrastructure. In addition, the water analyses prepared in conjunction with the vested preliminary plat shall also be used as a basis for Sienna Hills. Updated water reports shall be submitted concurrently with any updated

SIENNA HILLS COMMUNITY MASTER PLAN AMENDMENT – No. 2

preliminary plats and/or improvement plans to confirm adequate infrastructure is designed. Reports shall be reviewed by the Town and Arizona American Water Company, or its successor.

All site water services and meter requirements shall be subject to the Development Agreement, as amended.

**E. Master Wastewater System Plan and Study**

Conceptual location and sizes of the wastewater infrastructure needed to support Sienna Hills have been approved as part of the original CMP. In addition, Verrado has upgraded the downstream sewer treatment facilities to accommodate the Sienna Hills development.

The Master Wastewater Study completed as part of Verrado, shall be utilized as a basis for Sienna Hills design. Updated wastewater reports shall be submitted concurrently with any updated preliminary plats and/or improvement plans to confirm adequate infrastructure is designed. Reports shall be reviewed by the Town and Arizona American Water Company, or its successor.

**F. Master Phasing Plan**

Sienna Hills, including the infrastructure, public facilities, and other community amenities, is intended to be carried out in phases over a number of years. Development is contemplated to progress in phases that may or may not develop concurrently, and/or phases that may not be contiguous; however, each phase shall be designed to stand-alone with regard to phased infrastructure, and circulation.

For the purposes of this CMP amendment, a lot transfer comparison (based on the 2006 CMP Amendments phasing) has been completed to show the minor change that the revised land plan produces. Referring to Table 4, the revised land plan has a reduction in two phases and a minor increase in one phase:

**TABLE 4 – LOT TRANSFER COMPARISON**

Phase	Parcels	2006 CMP Amendment Units (without Transfer)	Revised Land Plan Units (without Transfer)	% Differential
1	1S, 4S, 5S, 2N, 3AN	556	527	-2.5%
2	3S, 6S, 1N	312	296	-1.4%
3	3BN, 4N, 5N, 6N, 7AN, 7BN	283	285	0.2%
	<b>Total</b>	<b>1,151</b>	<b>1,108</b>	<b>-3.7%</b>

NOTE: % Differential (Revised Plan minus 2006 CMP) / (CMP Total)

## SIENNA HILLS COMMUNITY MASTER PLAN AMENDMENT – No. 2

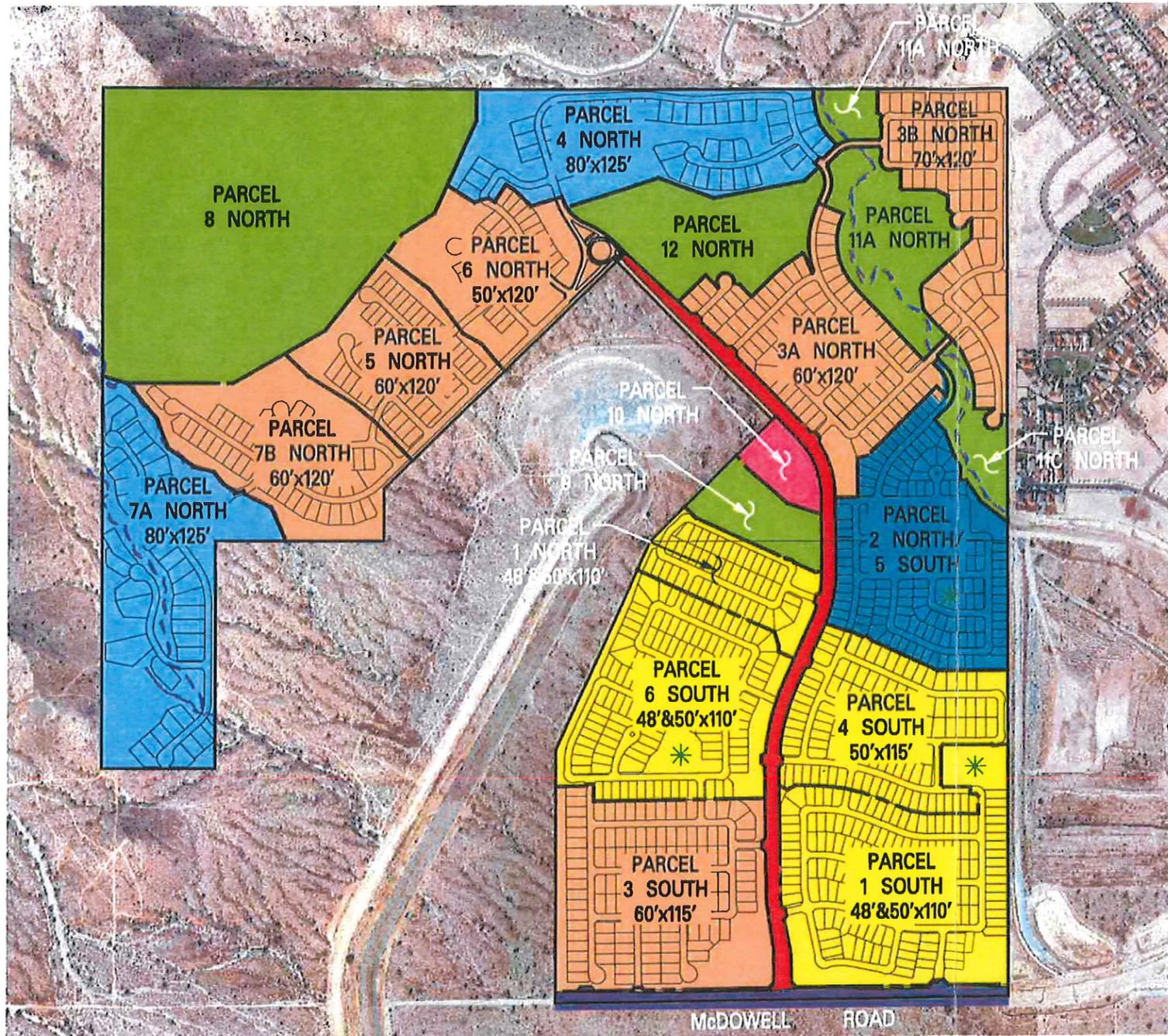
It is anticipated Sienna Hills will be developed in phases with each phase designed to include fifty (50) to one hundred (100) dwelling units. Each phase will be created to provide the necessary infrastructure, utilities, and proper access for emergency and service type vehicles. Phases and sequence of development is subject to change and shall not warrant an amendment to the CMP or associated preliminary plat.

The boundaries of each phase, and the sequence for development of the infrastructure and amenities, shall be identified in the preliminary plat. The phases, when determined, shall be subject to modification by the Project Team based upon Town requirements, changing residential real estate market conditions, industry factors and/or business considerations. Any such modification to the phases shall not necessitate an amendment to the CMP or associated preliminary plat; however, the revised phasing plan shall be provided to the Town and the Town shall retain a copy on file. Figure 8 shows the currently anticipated phasing plan for Sienna Hills at the time of preparing this CMP Amendment. At the time of final plat, each phase shall provide adequate circulation, sewer service, two points of water connection, and provide the necessary drainage improvements for the phase to stand alone. In addition, construction documents shall be created so that each phase has its own separate plan set so that each phase can be built and closed out in its entirety.

### **VI. CONCLUSION**

The modifications requested in this 2011 CMP Amendment are relatively minor in nature, decrease the total number of dwelling units, improve the development's open space and aesthetics, and generally "modernize" the development to match market demand and homebuyer needs. SLV looks forward to enhancing the Town of Buckeye and respectfully requests Town approval of this CMP Amendment.

G:\Projects\11\11-005 Sienna Hills\01 -Engineering\E-CMP FIG1.dgn  
2/17/2012



### LAND USE

- LOW DENSITY RESIDENTIAL (LDR)
- LOW/MEDIUM DENSITY RESIDENTIAL (L/MDR)
- MEDIUM DENSITY RESIDENTIAL (MDR)
- ESTATE RESIDENTIAL (ER)
- OPEN SPACE (OS)
- COMMERCIAL (COM)
- \* POTENTIAL LOCATION OF POCKET PARKS

PARCEL	APPROXIMATE GROSS ACRES	LOTS
1 NORTH	9.98	45
2 NORTH/5 SOUTH	27.21	166
3A NORTH	23.81	94
3B NORTH	20.15	62
4 NORTH	28.30	41
5 NORTH	16.76	49
6 NORTH	18.27	39
7A NORTH	32.38	43
7B NORTH	22.85	51
1 SOUTH	35.10	159
3 SOUTH	31.81	120
4 SOUTH	22.40	108
6 SOUTH	29.62	131
8 NORTH	66.71	-
9 NORTH	5.94	-
10 NORTH	3.48	-
11A NORTH	2.41	-
11B NORTH	12.78	-
11C NORTH	4.82	-
12 NORTH	14.95	-
EX R/W	13.3	-
<b>TOTAL</b>	<b>443.03</b>	<b>1108</b>

  
SCALE: 1" = 800'

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### LEGEND

- BOUNDARY LINE
- PARCEL LINE
- ARTERIAL STREET
- COLLECTOR STREET



WASH LIMITS

**SIENNA HILLS**  
CONCEPTUAL LAND USE PLAN

FIGURE 1

G:\Projects\11-005 Sienna Hills\01 -Engineering\E-CMP FIG2a.dgn  
2/17/2012

LAND USE BUDGET							
Parcel	Land Use Designation	Approximate Gross Acres	Minimum Lot Dimensions (Width x Depth)	Maximum Density (DU/AC)	Maximum Dwelling Units Allowed (Per 2006 CMP Amendment)	NEW Land Plan Density (DU/AC)	NEW Land Plan Dwelling Units
1 North	L/MDR	9.98	50' x 110'	5.0	50	4.5	45
2 North/5 South	MDR	27.21	50' x 90'	7.9	216	6.1	166
3A North	LDR	23.81	60' x 120'	3.9	94	3.9	94
3B North	LDR	20.15	70'x120'	3.7	74	3.1	62
4 North	ER	28.30	80' x 125'	1.4	41	1.4	41
5 North	LDR	16.76	60' x 120'	2.9	49	2.9	49
6 North	LDR	18.27	50' x 120'	2.1	39	2.1	39
7A North	ER	32.38	80' x 125'	1.3	43	1.3	43
7B North	LDR	22.85	60' x 120'	2.2	51	2.2	51
1 South	L/MDR	35.10	48' & 50' x 110'	4.6	160	4.5	159
3 South	LDR	31.81	60' x 115'	4.4	139	3.8	120
4 South	LDR	22.40	48' x 110' & 50' x 115'	4.9	109	4.8	108
6 South	L/MDR	29.62	48' & 50' x 110'	4.6	137	4.4	131
<b>RESIDENTIAL TOTAL</b>	-	<b>318.64</b>			<b>1202</b>	<b>3.5</b>	<b>1108</b>
8 North	OS	66.71	-	-	-	-	-
9 North	OS	5.94	-	-	-	-	-
10 North	COM	3.48	-	-	-	-	-
11A North	OS	2.41	-	-	-	-	-
11B North	OS	12.78	-	-	-	-	-
11C North	OS	4.82	-	-	-	-	-
12 North	OS	14.95	-	-	-	-	-
<b>Ex. McDowell Road &amp; Fireside Parkway</b>	R/W	13.30	-	-	-	-	-
<b>Sienna Hills Overall Total</b>		<b>443.03</b>				<b>2.5</b>	<b>1108</b>



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SIENNA HILLS  
LAND USE BUDGET &  
DEVELOPMENT STANDARDS

FIGURE 2a

**SINGLE FAMILY MINIMUM DEVELOPMENT STANDARDS**

	1 North	2 North/5 South	3A North	3B North	4 North	5 North	6 North	7A North	7B North	1 South	3 South	4 South	6 South
Parcel Numbers	L/MDR	MDR	LDR	LDR	ER	LDR	LDR	ER	LDR	L/MDR	LDR	LDR	L/MDR
Land Use Designations	50' x 110'	50' x 90'	60' x 120'	70' x 120'	80' x 125'	60' x 120'	50' x 120'	80' x 125'	60' x 120'	48' & 50' x 110'	60' x 115'	48' & 50' x 115'	48' & 50' x 110'
Typical Lot Sizes	5,500	4,500	7,200	8,400	10,000	7,200	6,000	10,000	7,200	5,280	6,900	5,520	5,280
Minimum Lot Area (sq.ft.)	48' <sup>(1)</sup>	50'	60'	70'	80'	60'	50'	80'	60'	48' <sup>(1)</sup>	60'	48' <sup>(1)</sup>	48' <sup>(1)</sup>
Minimum Lot Width	110'	90'	120'	120'	125'	120'	120'	125'	120'	110'	115'	115'	110'
Minimum Lot Depth <sup>(2)</sup>	<b>Minimum Building Setbacks <sup>(3)</sup></b>												
Living Front Yard	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'
Rear Yard <sup>(4)</sup>	15'	15'	15'	15'	15'	15'	15'	15'	15'	15'	15'	15'	15'
Street Side Yard	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'
Side Yard	5' & 8' 13' Total	5' & 10' 15' Total	5' & 10' 15' Total	5' & 10' 15' Total	5' & 10' 15' Total	5' & 10' 15' Total	5' & 10' 15' Total	5' & 10' 15' Total	5' & 10' 15' Total	5' & 8' 13' Total	5' & 10' 15' Total	5' & 8', 5' & 10' 13' Total, 15' Total	5' & 8' 13' Total
Minimum Building Separation	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'
Minimum Garage Setback	<b>Minimum Garage Setback</b>												
Front Loaded <sup>(6)</sup>	20'	20'	20'	20'	20'	20'	20'	20'	20'	20'	20'	20'	20'
Side Loaded	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'
Maximum Garage Width <sup>(7)</sup>	48' - 2 Car Widths 50' - 3 Car Widths	3 - Car Widths	3 - Car Widths	3 - Car Widths	No Maximum	3 - Car Widths	3 - Car Widths	No Maximum	3 - Car Widths	48' - 2 Car Widths 50' - 3 Car Widths	3 - Car Widths	48' - 2 Car Widths 50' - 3 Car Widths	48' - 2 Car Widths 50' - 3 Car Widths
Maximum Structure Height <sup>(8)</sup>	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)
Maximum Lot Coverage	60%	55%	55%	55%	40%	55%	55%	40%	55%	60%	55%	55%	60%
Minimum Parking Requirement	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit

**Notes:**

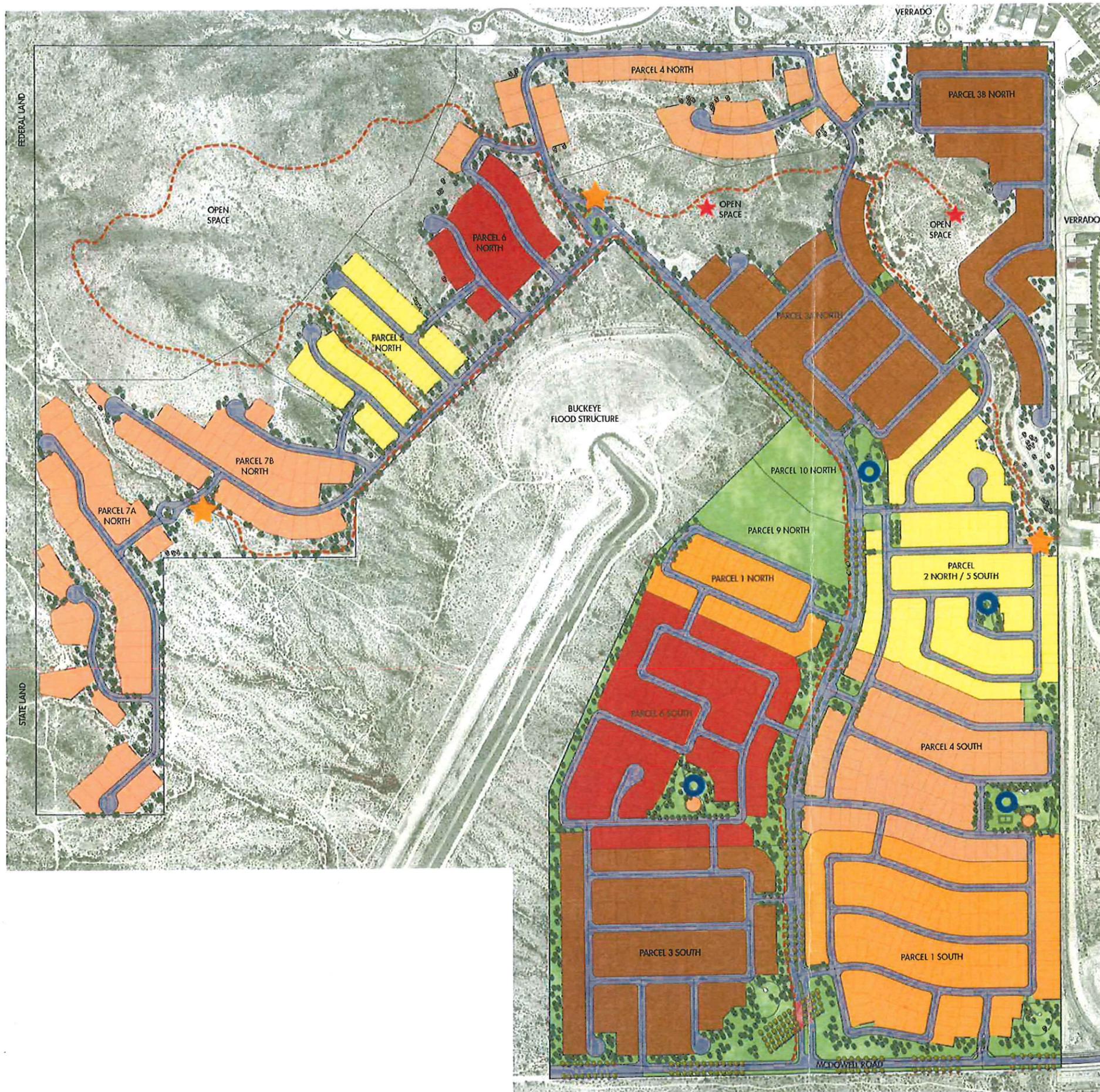
- (1) NO MORE THAN 25% OF THE TOTAL NUMBER OF LOTS WITHIN SIENNA HILLS SHALL BE LESS THAN 50- FEET WIDE.
- (2) LOT DEPTH MAY BE DECREASED BY 10- FT ON CUL-DE-SAC AND KNUCKLE LOTS AS LONG AS MINIMUM LOT AREA IS MAINTAINED.
- (3) BUILDING SETBACK LINE IS THE REQUIRED DISTANCE BETWEEN THE PROPERTY LINE AND THE CLOSEST POINT OF ANY BUILDING. A MINIMUM 20-FOOT TRACT ALONG ARTERIAL STREETS. TRACT SHALL BE IN COMMON OWNERSHIP.
- (4) THE REAR YARD SETBACK APPLIES ONLY TO ENCLOSED LIVABLE AREAS; OTHER PROJECTIONS SUCH AS PATIOS OR BALCONIES SHALL HAVE A MINIMUM 10-FOOT SETBACK.
- (5) UNLESS AN ADJACENT 5-FOOT LANDSCAPE TRACT HAS BEEN PROVIDED, THEN MINIMUM SETBACK SHALL BE 5- FEET.
- (6) THE FRONT LOADED GARAGE SETBACK IS THE REQUIRED DISTANCE BETWEEN THE FACE OF THE GARAGE AND THE BACK OF THE SIDEWALK, OR PROPERTY LINE, WHICHEVER IS CLOSER.
- (7) MAXIMUM DRIVEWAY WIDTH SHALL BE 28- FEET FOR GARAGES WITH THREE (3) CAR GARAGES. WHERE APPROPRIATE, SHARED DRIVEWAYS CAN BE USED FOR MUTUAL BENEFIT. MAINTENANCE TO BE COVERED WITHIN CC&R'S.
- (8) EXCEPT FOR HILLSIDE LOTS, AS SHOWN IN FIGURE 1, HILLSIDE MEASUREMENTS IN THE 2004 TESOTA HILLS CMP.

# CONCEPTUAL OPEN SPACE & TRAILS SYSTEM PLAN SIENNA HILLS

FIGURE 3

## LEGEND

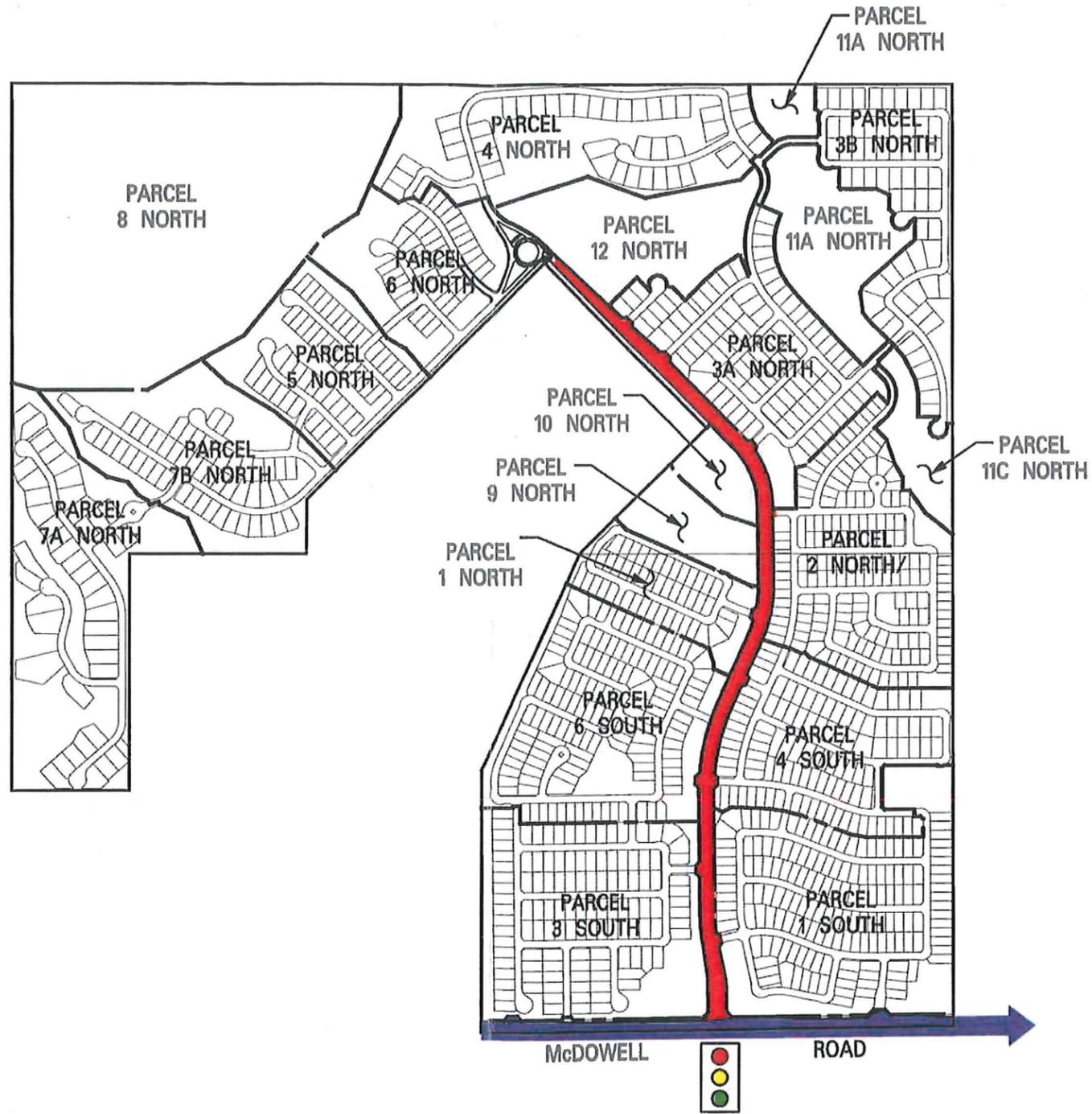
symbol	description
	LOOKOUT POINT
	TRAIL HEAD
	POCKET PARK
	GRANULAR TRAIL



 NORTH  
SCALE: 1"=500'-0"  
DATE: 22 JULY 2011

**VOLLMER**  
& ASSOCIATES LANDSCAPE ARCHITECTS

G:\Projects\11-005 Sienna Hills\01 - Engineering\E-CMP FIG4.dgn  
2/17/2012



SOURCE: TESOTA HILLS TRAFFIC  
IMPACT STUDY,  
TASK ENGINEERING  
YEAR 2020 ANALYSIS

  
SCALE: 1" = 800'

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LEGEND

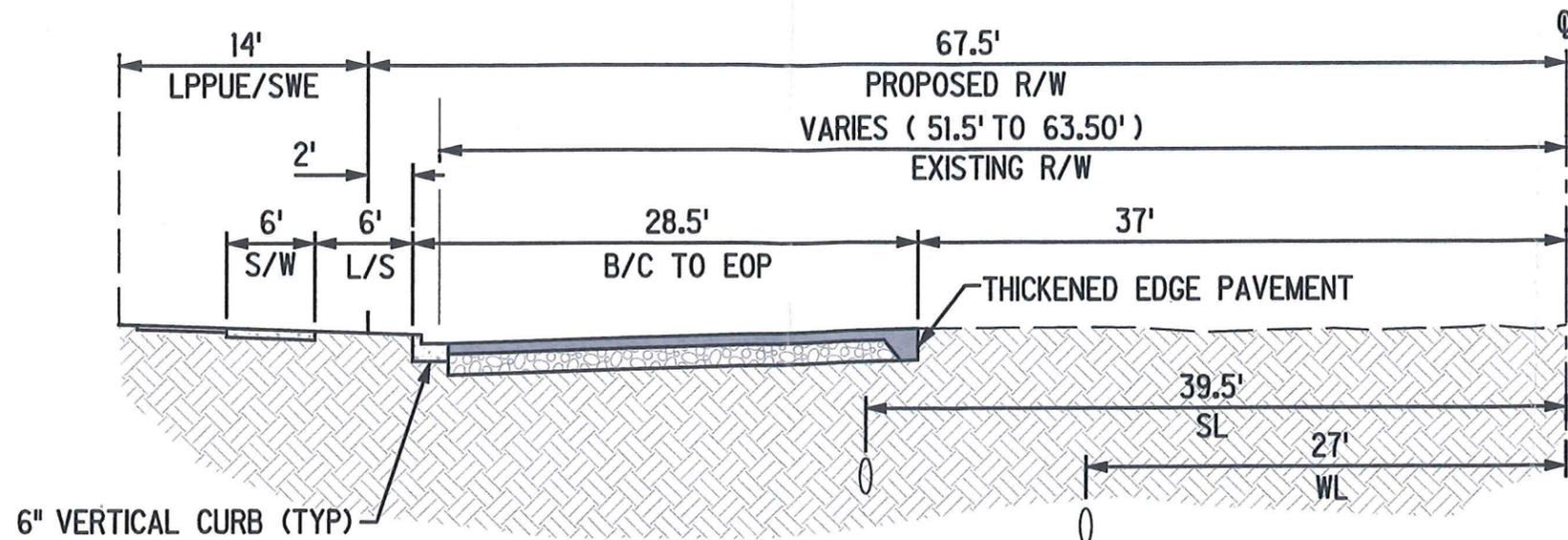
-  BOUNDARY LINE
-  PARCEL LINE
-  ARTERIAL STREET (POTENTIAL PARKWAY)
-  PRIMARY COLLECTOR

-  TRAFFIC SIGNAL  
(WHEN TRAFFIC DEMAND  
WARRANTS INSTALLATION)

SIENNA HILLS  
MASTER STREET &  
CIRCULATION PLAN

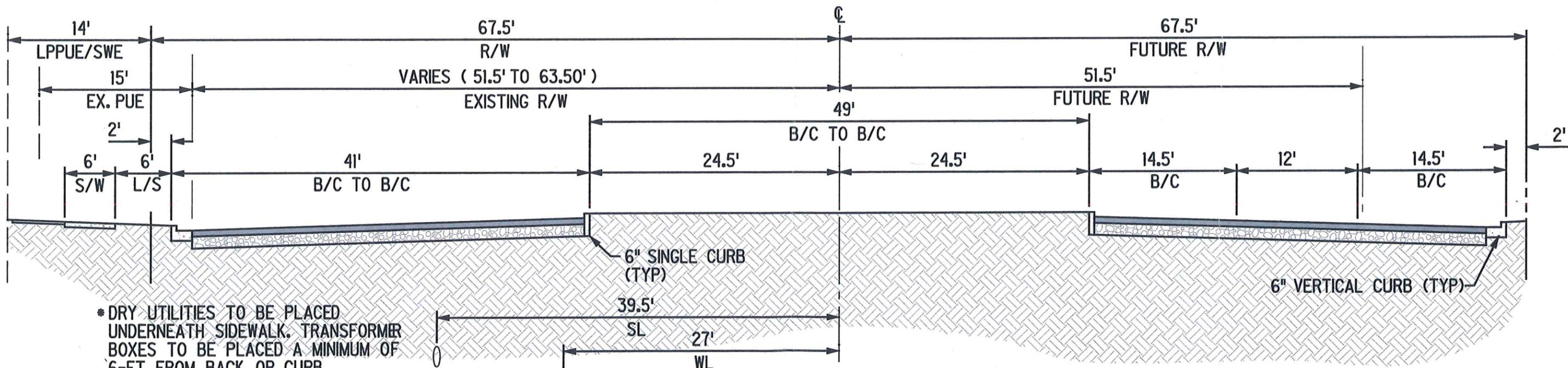
FIGURE 4





**INTERIM MCDOWELL ROAD**

LOOKING EAST  
NOT TO SCALE



**6 LANE SECTION  
ULTIMATE MCDOWELL PARKWAY - BY OTHERS**

LOOKING EAST  
NOT TO SCALE

### Sienna Hills Plant List

Botanical Name	Common Name	Native	Transition	Parks/Residential
<b>TREES</b>				
<i>Acacia aneura</i>	Mulga		X	X
<i>Acacia greggii</i>	Calclaw Acacia	X	X	X
<i>Acacia salicina</i>	Willow Acacia		X	X
<i>Acacia smallii</i> (fameelana)	Sweet Acacia		X	X
<i>Caesalpinia cacalaco</i>	Cacalote		X	X
<i>Chilopsis linearis</i>	Desert Willow		X	X
<i>Delbergia elaeoco</i>	Elaeoco Tree		X	X
<i>Fraxinus velutina</i>	Fantex Ash		X	X
<i>Olinaya tesota</i>	Ironwood	X	X	X
<i>Parkinsonia floridum</i>	Blue Palo Verde	X	X	X
<i>Parkinsonia hybrid</i>	Desert Museum Palo Verde		X	X
<i>Parkinsonia microphyllum</i>	Foothills Palo Verde	X	X	X
<i>Pithecellobium mexicanum</i>	Mexican Ebony		X	X
<i>Prosopis alba</i>	Argentine Mesquite		X	X
<i>Prosopis chilensis</i>	Chilean Mesquite	X	X	X
<i>Prosopis velutina</i>	Velvet Mesquite	X	X	X
<i>Quercus virginiana</i>	Live Oak		X	X
<i>Sophora secundiflora</i>	Texas Mountain Laurel		X	X
<i>Ulmus parvifolia</i>	Evergreen Elm		X	X
<i>Vitex agnus castus</i>	Cheste Pepper Tree		X	X
<b>CACTI/ACCENTS</b>				
<i>Agave species</i>	Agave	X	X	X
<i>Aloe species</i>	Aloe		X	X
<i>Asclepias subulata</i>	Desert Milkweed	X	X	X
<i>Carnegiea gigantea</i>	Saguaro	X	X	X
<i>Chamaerops humilis</i>	Mediterranean Fan Palm		X	X
<i>Dasyliiron acrotiche</i>	Green Desert Spoon		X	X
<i>Dasyliiron wheeleri</i>	Desert Spoon	X	X	X
<i>Echinocereus engelmannii</i>	Engelmann's Hedgehog	X	X	X
<i>Echinocactus grusonii</i>	Golden Barrel Cactus		X	X
<i>Ferocactus wislizenii</i>	Fleshhook Barrel	X	X	X
<i>Fouquieria splendens</i>	Ocotillo	X	X	X
<i>Hesperaloe parviflora</i>	Red Hesperaloe		X	X
<i>Mammillaria microcarpa</i>	Pincushion Cactus	X	X	X
<i>Opuntia acanthocarpa</i>	Buckhorn Cholla	X	X	X
<i>Opuntia bigelovii</i>	Teddybear Cholla	X	X	X
<i>Opuntia engelmannii</i>	Engelmann's Prickly Pear	X	X	X
<i>Opuntia fulgida</i>	Chalifruit Cholla	X	X	X
<i>Pedilanthus macrocarpus</i>	Lady Slipper		X	X
<i>Penstemon species</i>	Penstemon	X	X	X
<i>Yucca species</i>	Yucca		X	X

### Sienna Hills Plant List

Botanical Name	Common Name	Native	Transition	Parks/Residential
<b>SHRUBS</b>				
<i>Ambrosia deltoidea</i>	Bursage	X	X	X
<i>Abutilon palmeri</i>	Indian Mallow	X	X	X
<i>Alyogyne huegelii</i>	Blue Hibiscus		X	X
<i>Bougainvillea 'Barbara Kari'</i>	Bougainvillea		X	X
<i>Buddleia marrubifolia</i>	Woolly Butterfly Bush		X	X
<i>Caesalpinia mexicana</i>	Mexican Bird of Paradise		X	X
<i>Caesalpinia pulcherrima</i>	Red Bird of Paradise		X	X
<i>Calliandra californica</i>	Red Fairy Duster		X	X
<i>Calliandra eriophylla</i>	Pink Fairy Duster	X	X	X
<i>Cassia nemophila</i>	Desert Cassia		X	X
<i>Cassia oligophylla</i>	Outback Cassia		X	X
<i>Celtis pallida</i>	Desert Hackberry	X	X	X
<i>Dalea frutescens 'Sierra Negra'</i>	Sierra Negra Dalea		X	X
<i>Dalea pulchra</i>	Indigo Bush		X	X
<i>Dodonaea viscosa</i>	Hopbush		X	X
<i>Encelia farinosa</i>	Brittlebush	X	X	X
<i>Ephedra trifurca</i>	Mormon Tea	X	X	X
<i>Eremophila gabra</i>	Emu Bush		X	X
<i>Eriocameria laricifolia</i>	Turpentine Bush	X	X	X
<i>Eriogonum fasciculatum</i>	Buckwheat	X	X	X
<i>Gaura lindheimeri</i>	Gaura		X	X
<i>Gutierrezia sarothrae</i>	Snakeweed	X	X	X
<i>Hymenoxys acaulis</i>	Angelita Daisy		X	X
<i>Hypis emoryi</i>	Desert Lavender	X	X	X
<i>Ilex vomitoria</i>	Dwarf Yaupon Holly		X	X
<i>Justicia californica</i>	Chuparosa	X	X	X
<i>Larrea tridentata</i>	Creosote Bush	X	X	X
<i>Leucophyllum frutescens 'Green Cloud'</i>	Green Cloud Sage		X	X
<i>Leucophyllum laevigatum</i>	Chihuahuan Sage		X	X
<i>Leucophyllum langmaniae 'Rio Bravo'</i>	Rio Bravo Sage		X	X
<i>Lotus rigidus</i>	Deer Vetch	X	X	X
<i>Lycium fremontii</i>	Fremont Lycium	X	X	X
<i>Muhlenbergia rigida 'Nashville'</i>	Nashville Grass		X	X
<i>Muhlenbergia capillaris 'Regal Mist'</i>	Muhly		X	X
<i>Muhlenbergia rigens</i>	Deer Grass		X	X
<i>Nerium oleander varietes</i>	Petite Pink		X	X
<i>Pellotrophe species</i>	Paperflower	X	X	X
<i>Rosmarinus varietes</i>	Rosemary		X	X
<i>Ruellia peninsularis</i>	Desert Ruella		X	X
<i>Salvia clevelandii</i>	Chaparral Sage		X	X
<i>Salvia greggii</i>	Autumn Sage		X	X
<i>Salvia leucantha</i>	Mexican Bush Sage		X	X
<i>Simmondsia chinensis</i>	Jojoba	X	X	X
<i>Sophora secundiflora</i>	Texas Mountain Laurel		X	X
<i>Sphaeralcea ambigua</i>	Globemallow	X	X	X
<i>Tecoma stans</i>	Yellowbells		X	X
<i>Tribes californica</i>	Trixta	X	X	X
<i>Vaqueria californica</i>	Arizona Rosewood		X	X
<i>Viguiera deltoidea</i>	Goldeneye	X	X	X
<i>Zizyphus obtusifolia</i>	Graythorn	X	X	X

### Sienna Hills Plant List

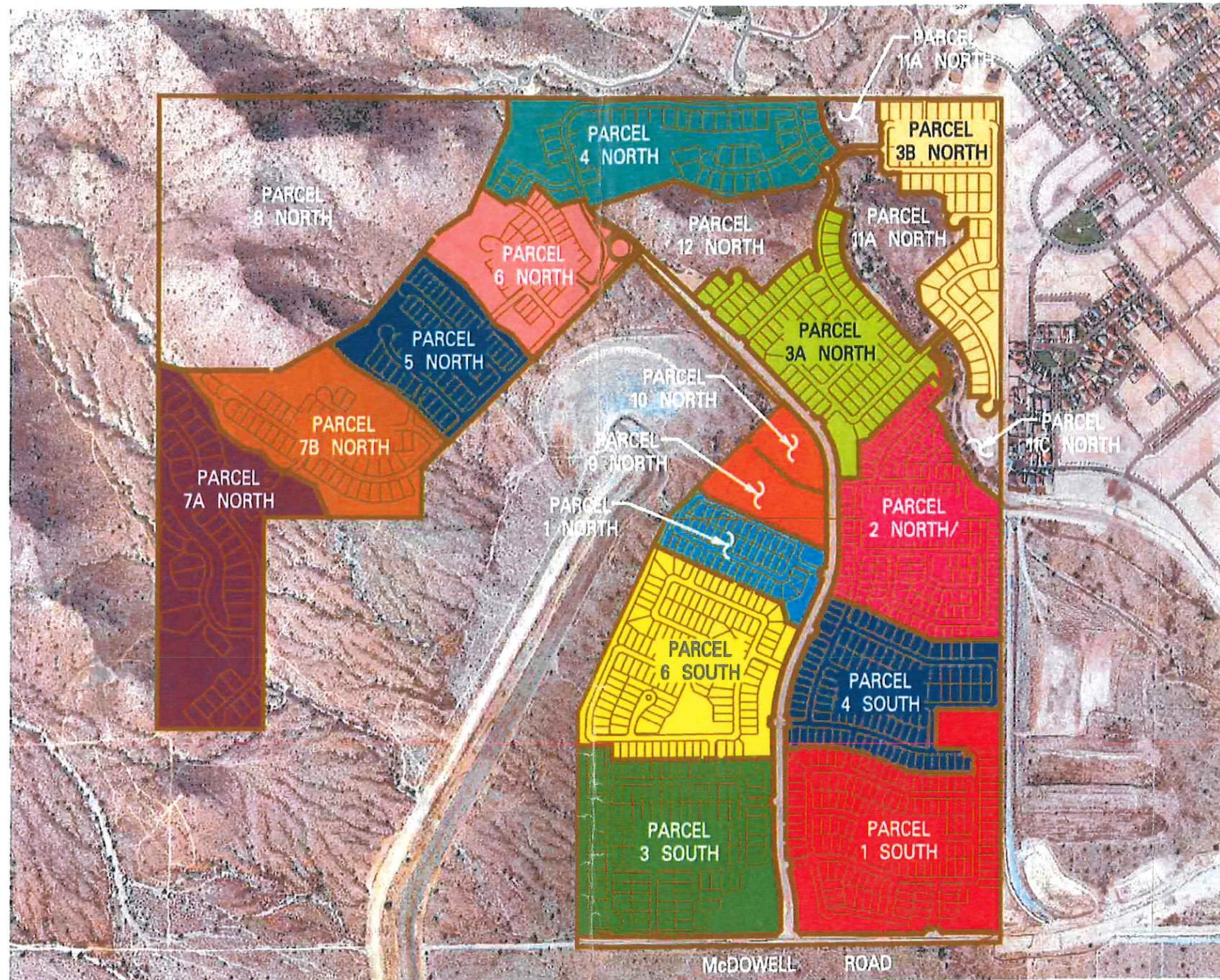
Botanical Name	Common Name	Native	Transition	Parks/Residential
<b>GROUNDCOVERS</b>				
<i>Baccharis cantanalis</i>	Dwarf Coyote Bush		X	X
<i>Baileya multiradiata</i>	Desert Marigold	X	X	X
<i>Chrysanthemum mexicanum</i>	Damianita		X	X
<i>Convolvulus mauritanicus</i>	Ground Morning Glory		X	X
<i>Dalea capitata 'Sierra Gold'</i>	Sierra Gold Dalea		X	X
<i>Diosodia pentachaeta</i>	Golden Diosodia		X	X
<i>Eremophila prostrata</i>	Outback Sunrise		X	X
<i>Lantana speciosa</i>	Lantana		X	X
<i>Melampodium leucanthum</i>	Blackfoot Daisy	X	X	X
<i>Oenothera berlandieri</i>	Mexican Evening Primrose	X	X	X
<i>Oenothera caespitosa</i>	Evening Primrose	X	X	X
<i>Senna covellii</i>	Desert Senna	X	X	X
<i>Tagetes lemmonii</i>	Mt. Lemmon Marigold		X	X
<i>Verbena gooddingii</i>	Goodding's Verbena	X	X	X
<i>Verbena pulchella</i>	Moss Verbena		X	X
<i>Zinnia eserosa</i>	Desert Zinnia	X	X	X

Botanical Name	Common Name	Native	Transition	Parks/Residential
<b>VINES</b>				
<i>Antigonon leptopus</i>	Queen's Wreath		X	X
<i>Bougainvillea varietes</i>	Bougainvillea		X	X
<i>Cissus trifoliata</i>	Native Grape Ivy		X	X
<i>Ficus pumila</i>	Fig Vine		X	X
<i>Macleadyana unguis-cati</i>	Cat's Claw Vine		X	X
<i>Mascagnia macroptera</i>	Yellow Orchid Vine		X	X
<i>Podranea ricasoliana</i>	Pink Trumpet Vine		X	X
<i>Pyracantha varietes</i>	Pyracantha		X	X
<i>Rosa banksiae</i>	Lady Bank rose		X	X
<i>Vigna caraccalla</i>	Snail Vine		X	X

**PROHIBITED PLANTS**  
 Any species of tree or shrub with a mature height above 30' tall.  
 All Pines, Cypress, Cedar or Juniper  
 All Palms are prohibited except palms less than 6' at maturity, Date Palms and California Fan Palms  
 Olive Trees  
 Oleanders - except dwarf varieties  
 Fountain Grass  
 Common Bermuda Grass  
 Desert Broom

### Sienna Hills Plant List

Botanical Name	Common Name	Native	Transition	Parks/Residential
<b>PROHIBITED PLANTS</b>				
Hydroseed mix is recommended to be used in addition to supplemental planting to revegetate areas disturbed by construction.				
BOTANICAL NAME	COMMON NAME	LBS/ACRE		
<i>Ambrosia deltoidea</i>	Bursage			7
<i>Baileya multiradiata</i>	Desert Marigold			1
<i>Cercidium microphyllum</i>	Foothills Palo Verde			1
<i>Ephedra trifurca</i>	Mormon Tea			0.5
<i>Eriocameria laricifolia</i>	Turpentine Bush			2
<i>Escholtzia mexicana</i>	Mexican Poppy			1
<i>Larrea tridentata</i>	Creosote Bush			1
<i>Lycium acaule</i>	Thornbush			0.5
<i>Olinaya tesota</i>	Ironwood			0.5
<i>Penstemon pseudopectabilis</i>	Desert Penstemon			0.5
<i>Panicum insularis</i>	Indian Wheat			1
<i>Pellotrophe cooperi</i>	Paper Flower			1
<i>Scleranthus barbatus</i>	Scleranthus Grass			1
<i>Sienna covellii</i>	Desert Sienna			0.5
<i>Simmondsia chinensis</i>	Jojoba			1
<i>Sphaeralcea ambigua</i>	Desert Globe Mallow			1
<i>Viguiera deltoidea</i>	Goldeneye			1
<i>Zinnia eserosa</i>	Desert Zinnia			0.5
<b>Total Pounds per Acre</b>				<b>22</b>



\* INFRASTRUCTURE PHASING WILL BE BASED UPON TOWN REQUIREMENTS FOR ACCESS AND UTILITIES.

SCALE: 1" = 800'

G:\Projects\11\11-005 Sienna Hills\01 - Engineering\1-CMP F1C8.dgn 2/17/2012

**Hoskin • Ryan Consultants**  
creative engineering solutions

6245 N. 24th Parkway, Suite 100, Phoenix, Arizona 85016  
Office: (602) 252-8384 Fax: (602) 252-8385 www.hoskinryan.com

LEGEND

	BOUNDARY LINE		PHASE 3		PHASE 7		PHASE 11
	PARCEL LINE		PHASE 4		PHASE 8		PHASE 12
	PHASE 1		PHASE 5		PHASE 9		PHASE 13
	PHASE 2		PHASE 6		PHASE 10		PHASE 14

SIENNA HILLS  
CONCEPTUAL PHASING PLAN

FIGURE 8

WHEN RECORDED RETURN TO:

City of Buckeye  
ATTN: City Clerk, Lucinda J. Aja  
530 East Monroe Avenue  
Buckeye, Arizona 85326

**ORDINANCE NO. 17-17**

**AN ORDINANCE OF THE MAYOR AND CITY COUNCIL OF THE CITY OF BUCKEYE, ARIZONA, APPROVING THE THIRD AMENDMENT TO THE SIENNA HILLS (TESOTA HILLS) DEVELOPMENT AGREEMENT BY AND BETWEEN THE CITY OF BUCKEYE, ARIZONA, AND SLV SIENNA HILLS, LLC; APPROVING THE AMENDMENT TO THE SIENNA HILLS COMMUNITY MASTER PLAN AS DESCRIBED IN THE MASTER PLAN CASE PLZ-17-00048; AND AUTHORIZING THE MAYOR TO EXECUTE AND DELIVER THE THIRD AMENDMENT TO THE SIENNA HILLS DEVELOPMENT AGREEMENT.**

**WHEREAS**, consideration of the proposed Sienna Hills Community Master Plan Amendment No. PLZ-17-00048 (the "CMP Amendment") was properly noticed for public hearings and the necessary hearings were conducted on May 23, 2017 and July 5, 2017; and

**WHEREAS**, the proposed CMP Amendment will enhance the health, safety, and welfare of the community, and will not depreciate surrounding property values, and at the same time is in harmony with the purposes and intent of the City of Buckeye Development Code and the City of Buckeye General Plan; and

**WHEREAS**, the CMP Amendment applies to the property as described in the legal description contained within the attached Exhibit A and property depiction illustrated in the attached Exhibit B; and

**WHEREAS**, the City of Buckeye Planning and Zoning Commission unanimously recommended approval of the CMP Amendment at a public meeting held on May 23, 2017; and

**WHEREAS**, the City of Buckeye Development Code requires that approval of a Community Master Plan ("CMP") or a CMP amendment be adopted by the Mayor and City Council as part of an approved development agreement or amendment between the City and the CMP applicant; and

WHEREAS, the City of Buckeye is authorized by A.R.S §9-500-.05 to enter into an amendment to the existing Sienna Hills Development Agreement.

NOW, THEREFORE IT BE ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF BUCKEYE, ARIZONA, as follows:

Section 1. The recitals set forth above are hereby incorporated as if fully set forth herein.

Section 2. The Sienna Hills Community Master Plan Amendment No. PLZ-17-00048 is hereby approved amending the existing Sienna Hills Community Master Plan, subject to the attached stipulations in Exhibit C, which are made a part hereof as if fully set out in this Ordinance.

Section 3. The Third Amendment to the Sienna Hills (Tesoto Hills) Development Agreement, is hereby approved in substantially the form on file with the City Clerk.

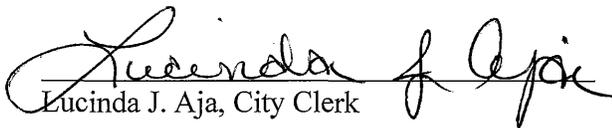
Section 4. The Mayor, the City Manager, the City Clerk and the City Attorney are hereby authorized and directed to execute all documents and to take all steps necessary to carry out the purpose and intent of this Ordinance.

Section 5. If any section, subsection, or clause of this Ordinance shall be deemed to be unconstitutional or otherwise invalid, the validity of the remaining sections, subsections and clauses shall not be affected.

**PASSED AND ADOPTED** by the Mayor and City Council of the City of Buckeye, Arizona, this 5th day of July, 2017.

  
Jackie A. Meck, Mayor

ATTEST:

  
Lucinda J. Aja, City Clerk

APPROVED AS TO FORM:

  
City Attorney

**EXHIBIT A  
TO  
ORDINANCE NO. 17-17**

[Legal Description]

PER TITLE REPORT - NCS-492655-PHX1

THAT PORTION OF SECTION 36, TOWNSHIP 2 NORTH, RANGE 3 WEST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND MCDOT ALUMINUM CAP ACCEPTED AS THE NORTHEAST CORNER OF SECTION 2, TOWNSHIP 1 NORTH, RANGE 3 WEST, FROM WHICH A FOUND MCDOT ALUMINUM CAP ACCEPTED AS THE SOUTHEAST CORNER OF SECTION 36, TOWNSHIP 2 NORTH, RANGE 3 WEST THEREOF BEARS NORTH 89 DEGREES, 20 MINUTES, 22 SECONDS EAST FOR A DISTANCE OF 2464.87 FEET;

THENCE SOUTH 89 DEGREES 14 MINUTES 15 SECONDS WEST FOR A DISTANCE OF 176.68 FEET ALONG THE SOUTH LINE OF SAID SECTION 36 TO THE SOUTH QUARTER CORNER OF SECTION 36, TOWNSHIP 2 NORTH, RANGE 3 WEST;

THENCE NORTH 00 DEGREES 01 MINUTES 53 SECONDS WEST FOR A DISTANCE OF 1473.81 FEET ALONG THE NORTH - SOUTH MID SECTION LINE OF SAID SECTION 36;

THENCE NORTH 24 DEGREES 25 MINUTES 35 SECONDS EAST FOR A DISTANCE OF 1324.49 FEET;

THENCE NORTH 45 DEGREES 25 MINUTES 06 SECONDS EAST FOR A DISTANCE OF 1000.00 FEET;

THENCE NORTH 44 DEGREES 34 MINUTES 54 SECONDS WEST FOR A DISTANCE OF 1300.00 FEET;

THENCE SOUTH 45 DEGREES 25 MINUTES 06 SECONDS WEST FOR A DISTANCE OF 1877.87 FEET;

THENCE SOUTH 00 DEGREES 25 MINUTES 06 SECONDS WEST FOR A DISTANCE OF 304.68 FEET TO A POINT ON THE EAST - WEST MID SECTION LINE OF SAID SECTION 36;

THENCE NORTH 89 DEGREES 48 MINUTES 43 SECONDS WEST FOR A DISTANCE OF 986.37 FEET ALONG SAID EAST - WEST MID SECTION LINE;

THENCE SOUTH 00 DEGREES 01 MINUTES 08 SECONDS EAST FOR A DISTANCE OF 1322.20 FEET;

THENCE NORTH 89 DEGREES 47 MINUTES 47 SECONDS WEST FOR A DISTANCE OF 659.43 FEET TO A POINT ON THE WEST LINE OF SAID SECTION 36;

THENCE NORTH 00 DEGREES 00 MINUTES 52 SECONDS WEST FOR A DISTANCE OF 1322.02 FEET ALONG SAID WEST LINE TO THE WEST QUARTER CORNER OF SAID SECTION 36;

THENCE CONTINUING ALONG SAID WEST LINE NORTH 00 DEGREES 06 MINUTES 34 SECONDS WEST FOR A DISTANCE OF 2633.15 FEET TO THE NORTHWEST CORNER OF SAID SECTION 36;

THENCE SOUTH 89 DEGREES 39 MINUTES 16 SECONDS EAST FOR A DISTANCE OF 2640.98 FEET ALONG THE NORTH LINE OF SAID SECTION 36 TO THE NORTH QUARTER CORNER OF SAID SECTION 36;

THENCE CONTINUING ALONG SAID NORTH LINE SOUTH 89 DEGREES 49 MINUTES 47 SECONDS EAST FOR A DISTANCE OF 2635.22 FEET TO THE NORTHEAST CORNER OF SAID SECTION 36;

THENCE SOUTH 00 DEGREES 06 MINUTES 00 SECONDS EAST FOR A DISTANCE OF 2626.70 FEET ALONG THE EAST LINE OF SAID SECTION 36 TO THE EAST QUARTER CORNER OF SAID SECTION 36;

THENCE CONTINUING ALONG SAID EAST LINE SOUTH 00 DEGREES 05 MINUTES 50 SECONDS EAST FOR A DISTANCE OF 2642.13 FEET TO THE SOUTHEAST CORNER OF SAID SECTION 36;

THENCE SOUTH 89 DEGREES 20 MINUTES 22 SECONDS WEST FOR A DISTANCE OF 2464.87 FEET ALONG THE SOUTH LINE OF SAID SECTION 36 TO THE POINT OF BEGINNING;

EXCEPT ALL MINERAL DEPOSITS AND RIGHTS AS RESERVED BY THE STATE OF ARIZONA IN DEED RECORDED IN DOCKET 427, PAGE 469, AND AS SET FORTH IN PATENT FROM THE UNITED STATES OF AMERICA RECORDED IN DOCKET 2089, PAGE 257; AND

EXCEPT THAT PORTION CONTAINED IN FIRESIDE AT SIENNA HILLS MCDOWELL ROAD AND FIRESIDE PARKWAY MAP OF DEDICATION RECORDED IN BOOK 893 OF MAPS, PAGE 11.



EXPRES 12/31/12



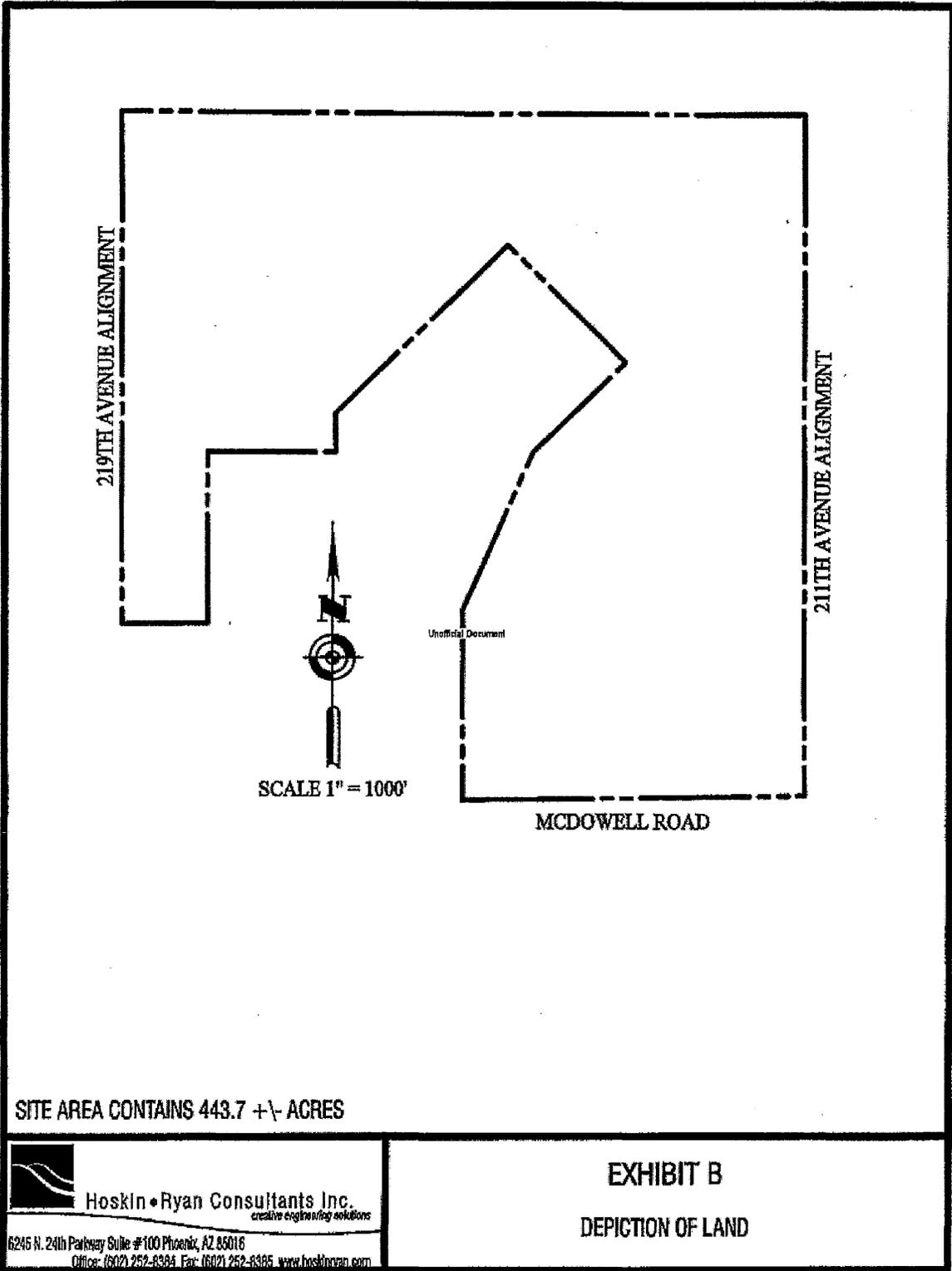
**Hoskin-Ryan Consultants Inc.**  
*creative engineering solutions*

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Office: (602) 252-8384 Fax: (602) 252-8385 www.hoskinryan.com

**EXHIBIT A**  
**LEGAL DESCRIPTION OF LAND**

**EXHIBIT B  
TO  
ORDINANCE NO. 17-17**

[Property Depiction]



**EXHIBIT C  
TO  
ORDINANCE NO. 17-17**

[Stipulations]

- a) Concurrent with City Council approval, this request shall require a formal amendment to the Sienna Hills, formerly known as Tesota Hills, Development Agreement.
- b) Development of the property shall be in general conformance to the project narrative entitled “Sienna Hills Parcel 2N5S CMP Amendment - Narrative” consisting of three (3) pages, stamped received March 30, 2017.
- c) Provisions of the City of Buckeye Development Code, as amended, not covered by the Development Agreement or the Community Master Plan remain applicable to the development of the property.
- d) All previous Sienna Hills CMP stipulations not previously addressed or modified by these stipulations shall remain in full force and effect.
- e) The property owner/s and their successor waive any and all claims for diminution in value of the property with regard to any action taken by City of Buckeye as result of this approval.
- f) The developer to maintain the original agreement for residential fire sprinklers on each lot as noted.
- g) Pursuant to the agreed-upon provisions of the development agreement, as amended, the City of Buckeye will not issue a building permit on a given lot unless a multi-use fire suppression sprinkler system approved by the city, is installed in the home constructed on such lot.
- h) Any building on the property will need to meet the City of Buckeye adopted Development, Fire, Building, and Engineering Codes.

## **SIENNA HILLS PARCEL 2N5S**

### **CMP Amendment - Narrative**

**Prepared for:**

SLV Sienna Hills, LLC  
6720 North Scottsdale Road, Suite 195  
Scottsdale, Arizona 85253  
Contact: Shane Graser  
Phone: (602) 703-0595



Expires 12/31/2018

Matthew J. Mancini, P.E.

March 13, 2017

**Submittal to:**

City of Buckeye  
530 E. Monroe Avenue  
Buckeye, Arizona 85326

**Prepared by:**

3 engineering, L.L.C.  
2929 E. Camelback Road, Suite 116  
Phoenix, Arizona 85016  
Contact: Matthew J. Mancini, P.E.

**Job Number 5010A**

**1. Narrative**

On behalf of SLV Sienna Hills, LLC (SLV), 3 engineering, LLC is contracted to prepare an amendment to the Development Standards within the CMP for Sienna Hills. Sienna Hills is a Master Planned Community located within the City of Buckeye, at Sienna Hills Parkway and McDowell Road. The CMP for Sienna Hills was approved on April 2<sup>nd</sup>, 2012, and since that time, the community has started development. To-date, the following Parcels and Community Infrastructure has been developed:

- McDowell Road – from Verrado Way to Western Property Boundary
- Sienna Hills Parkway – from McDowell Road to Northern Terminus
- Parcel 1 South
- Parcel 3 South
- Parcel 4 South
- Parcel 6 South
- Parcel 1 North
- Parcel 3A North – including the Sienna Hills Swim Club
- Parcel 9 North – Community Park
- Parcel 10 North – Odyssey Charter School

Currently two (2) additional parcels are being processed for permit and final plat applications; Parcel 3B north and Parcel 2 North/5 South. These parcels' development is anticipated to be completed by 2018.

Due to current market conditions, buyer demographics and requirements, it has been determined that the side yard setbacks set forth for Parcel 2 North/5 South create a housing product that is less desirable for buyers and very limited to potential homebuilders . The setbacks within the current CMP are listed a 5' and 10', with a 50' wide lot product. It is SLV's request that this development standard be amended through a CMP Amendment to reflect a 5' and 5' side yard setback requirement for Parcel 2 North/5 South.

SLV looks forward to working with City of Buckeye staff on this CMP Amendment application, and to enhancing the City with this project. If you require any additional information, please contact me at [matt@3engineering.com](mailto:matt@3engineering.com).

SINGLE FAMILY MINIMUM DEVELOPMENT STANDARDS													
Parcel Numbers	1 North	2 North/5 South	3A North	3B North	4 North	5 North	6 North	7A North	7B North	1 South	3 South	4 South	6 South
Land Use Designations	L/MDR	MDR	LDR	LDR	ER	LDR	LDR	ER	LDR	L/MDR	LDR	LDR	L/MDR
Typical Lot Sizes	50' x 110'	50' x 90'	60' x 120'	70' x 120'	80' x 125'	60' x 120'	50' x 120'	80' x 125'	60' x 120'	48' & 50' x 110'	60' x 115'	48' & 50' x 115'	48' & 50' x 110'
Minimum Lot Area (sq.ft.)	5,500	4,500	7,200	8,400	10,000	7,200	6,000	10,000	7,200	5,280	6,900	5,520	5,280
Minimum Lot Width	48 <sup>(1)</sup>	50'	60'	70'	80'	60'	50'	80'	60'	48 <sup>(1)</sup>	60'	48 <sup>(1)</sup>	48 <sup>(1)</sup>
Minimum Lot Depth <sup>(2)</sup>	110'	90'	120'	120'	125'	120'	120'	125'	120'	110'	115'	115'	110'
<b>Minimum Building Setbacks <sup>(3)</sup></b>													
Living Front Yard	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'
Rear Yard <sup>(4)</sup>	15'	15'	15'	15'	15'	15'	15'	15'	15'	15'	15'	15'	15'
Street Side Yard <sup>(5)</sup>	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'
Side Yard	5' & 8' 13' Total	5' & 5' 10' Total	5' & 10' 15' Total	5' & 8' 13' Total	5' & 10' 15' Total	5' & 8', 5' & 10' 13' Total, 15' Total	5' & 8' 13' Total						
Minimum Building Separation	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'
<b>Minimum Garage Setback</b>													
Front Loaded <sup>(6)</sup>	20'	20'	20'	20'	20'	20'	20'	20'	20'	20'	20'	20'	20'
Side Loaded	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'
Maximum Garage Width <sup>(7)</sup>	48' - 2 Car Widths 50' - 3 Car Widths	3 - Car Widths	3 - Car Widths	3 - Car Widths	No Maximum	3 - Car Widths	3 - Car Widths	No Maximum	3 - Car Widths	48' - 2 Car Widths 50' - 3 Car Widths	3 - Car Widths	48' - 2 Car Widths 50' - 3 Car Widths	48' - 2 Car Widths 50' - 3 Car Widths
Maximum Structure Height <sup>(8)</sup>	30' (2 stories)	30' (2 stories)	30' (2 stories)	30' (2 stories)	30' (2 stories)	30' (2 stories)	30' (2 stories)	30' (2 stories)	30' (2 stories)	30' (2 stories)	30' (2 stories)	30' (2 stories)	30' (2 stories)
Maximum Lot Coverage	60%	55%	55%	55%	40%	55%	55%	40%	55%	60%	55%	55%	60%
Minimum Parking Requirement	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit

**Notes:**

- (1) NO MORE THAN 25% OF THE TOTAL NUMBER OF LOTS WITHIN SIENNA HILLS SHALL BE LESS THAN 50-FEET WIDE.
- (2) LOT DEPTH MAY BE DECREASED BY 10-FT ON CUL-DE-SAC AND KNUCKLE LOTS AS LONG AS MINIMUM LOT AREA IS MAINTAINED.
- (3) BUILDING SETBACK LINE IS THE REQUIRED DISTANCE BETWEEN THE PROPERTY LINE AND THE CLOSEST POINT OF ANY BUILDING. A MINIMUM 20-FOOT TRACT ALONG ARTERIAL STREETS. TRACT SHALL BE IN COMMON OWNERSHIP.
- (4) THE REAR YARD SETBACK APPLIES ONLY TO ENCLOSED LIVABLE AREAS; OTHER PROJECTIONS SUCH AS PATIOS OR BALCONIES SHALL HAVE A MINIMUM 10-FOOT SETBACK.
- (5) UNLESS AN ADJACENT 5-FOOT LANDSCAPE TRACT HAS BEEN PROVIDED, THEN MINIMUM SETBACK SHALL BE 5-FEET.
- (6) THE FRONT LOADED GARAGE SETBACK IS THE REQUIRED DISTANCE BETWEEN THE FACE OF GARAGE AND THE BACK OF THE SIDEWALK, OR PROPERTY LINE, WHICHEVER IS CLOSER.
- (7) MAXIMUM DRIVEWAY WIDTH SHALL BE 28-FEET FOR GARAGES WITH THREE (3) CAR GARAGES. WHERE APPROPRIATE, SHARED DRIVEWAYS CAN BE USED FOR MUTUAL BENEFIT. MAINTENANCE TO BE COVERED WITHIN CC&R'S.
- (8) EXCEPT FOR HILLSIDE LOTS, AS SHOWN IN FIGURE I, HILLSIDE MEASUREMENTS IN THE TESOTA HILLS CMP.

FIGURE 2b

**SIENNA HILLS**  
BUCKEYE, ARIZONA

LAND USE BUDGET & DEVELOPMENT STANDARDS



3e engineering  
planning      civil engineering      surveying

3 ENGINEERING, LLC  
2929 E. CAMELBACK ROAD, SUITE # 116 - PHOENIX, ARIZONA 85016  
PHONE: (602) 334-4387 - FAX: (602) 490-3230  
WWW.3ENGINEERING.COM

DATE: 03/08/17

PROJECT NO: 5003

C:\My SecurSync\Projects\_5000\5010\_Sienna Hills\5010A\_Sienna Hills - Parcel 2N5S\Reports\Community Master Plan (CMP)\5010A\_Figure 2b Land Use Budget & Development Standards.dgn

**CITY OF BUCKEYE**  
**City Council Regular Meeting**  
**COUNCIL ACTION REPORT**

<b>MEETING DATE:</b> 8/18/2020	<b>AGENDA ITEM:</b> 7C. Public Hearing and Action PLZZ-20-00008 Sienna Hills Community Master Plan (CMP) 4th amendment- Major Amendment
<b>DATE PREPARED:</b> 7/23/2020	<b>DISTRICT NO.:</b> 6
<b>STAFF LIAISON:</b> Andrea Marquez, Planner II, (623) 349-6220, amarquez@buckeyeaz.gov	
<b>DEPARTMENT:</b> Development Services	<b>AGENDA ITEM TYPE:</b> Public Hearing and Action

**ACTION / MOTION:** (This language identifies the formal motion to be made by the Council)

Council to hold a public hearing and take action on Ordinance No. 07-20 approving the Fourth Amendment to the Sienna Hills (Tesota Hills) Development Agreement by and between the City of Buckeye, Arizona, an Arizona municipal corporation, and JEN Arizona 40, LLC, an Arizona limited liability company; approving the Amendment to the Sienna Hills Community Master Plan as described in the Master Plan Case PLZZ-20-00008 (CMPA-20-01); and authorizing the Mayor to execute and deliver the Fourth Amendment to the Sienna Hills Development Agreement.

**RELEVANT GOALS:**

GOAL 3: A Well-Planned Urban Community

**SUMMARY**

**PROJECT DESCRIPTION:**

Sienna Hills CMP Amendment No. 4 pertains to the undeveloped property, Parcels 4 North, 5 North, 6 North, 7A North, 7B North. Amendments include development standards, eliminating the Residential - Estate Land Use Designation and density transfers from the Estate Land Use designation to the Residential – Low & Medium land use designation, including new enhanced amenities at the Community Pool area, changes to the undeveloped Sienna Hills Parkway leading to the proposed development and new phasing. The staff report to the Planning and Zoning Commission including the Sienna Hills Community Master Plan Amendment No. 4 Narrative is attached for your review and approval.

The City of Buckeye Development Code requires the approval of a CMP amendment be adopted by the Mayor and the City Council as part of an approved development agreement or amendment between the City and the CMP applicant. Amendment No. 4 to the Sienna Hills Development Agreement includes approval of the subject CMP amendment, PLZZ-20-00008 Sienna Hills Community Master Plan Amendment - No. 4 Narrative.

Staff will update Council on the Planning and Zoning Commission recommendation which will be decided on August 11, 2020 during the regularly scheduled Planning and Zoning Commission meeting.

**BENEFITS:**

Approval will allow for the continued orderly and flexible development of the Sienna Hills Community Master Plan.

**FUTURE ACTION:** Council and staff; does this need to be communicated internally/externally?

N/A

**FINANCIAL IMPACT STATEMENT:** Must be completed before submission

N/A

**CURRENT FISCAL YEAR TOTAL COST:**  
**Andrea Marquez, Planner II**

---

**FISCAL YEAR:**  
**Mike Cronin, JEN Arizona 40 LLC**

---

**FUND/DEPARTMENT:**  
**N/A**

---

**Items related to a project or facility location must include an attached vicinity map for Council review.**

**ATTACHMENTS:**

- |                          | <b>Description</b>                         |
|--------------------------|--|
| <input type="checkbox"/> | <b>v2. Narritive</b>                       |
| <input type="checkbox"/> | <b>Vicinity Map</b>                        |
| <input type="checkbox"/> | <b>Ordinance No. 07-20</b>                 |
| <input type="checkbox"/> | <b>Sienna Hills Fourth Amendment to DA</b> |

# Sienna Hills Community Master Plan Amendment – No. 4 Narrative

NWC McDowell Road and the 211<sup>th</sup> Avenue Alignment  
Buckeye, Arizona  
Prepared December 03, 2019  
Revised March 30, 2020  
Revised June 15, 2020  
Revised July 09, 2020

## OWNER

JEN Arizona 40 LLC  
Attn: Mike Cronin  
2222 West Pinnacle Peak Road, Suite 140  
Phoenix, AZ 85027

## ENGINEER / PLANNER

Huitt-Zollars, Inc  
Lawrence S. Eisenhart, PE  
5050 North 40<sup>th</sup> Street, Suite 100  
Phoenix, Arizona 85018



EXPIRES 12/31/2022

**4th Submittal**

RECEIVED

PLZZ 20 00008

\*7/14/2020\*

CITY OF BUCKEYE by: JB

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3. Conceptual Open Space and Trails System Plan
4. Master Street and Circulation Plan
8. Conceptual Phase Plans
9. Open Space/Park Calculations

## PROJECT TEAM

**Land Owner:**

JEN Arizona 40 LLC  
2222 West Pinnacle Peak Road, Suite 140  
Phoenix, AZ 85027  
602-374-2777

**Developer/Applicant:**

JEN Arizona 40 LLC  
Attn: Mike Cronin  
2222 West Pinnacle Peak Road, Suite 140  
Phoenix, AZ 85027  
602-374-2777

**Planning/Engineering:**

Huitt-Zollars, Inc  
Lawrence S. Eisenhart, PE  
5050 North 40<sup>th</sup> Street, Suite 100  
Phoenix, Arizona 85018  
602.252.8384

**Landscape Architect:**

CollectiV  
Jim Smith, RLA, LEED AP  
1426 North 2<sup>nd</sup> Street, Suite 200  
Phoenix, Arizona 85004  
602.358.7711

## **I. INTRODUCTION**

The original Tesota Hills Community Master Plan (CMP) was approved by City Council in April of 2004. A CMP Amendment, prepared by Pulte Home Corporation (Pulte), was subsequently approved in March of 2006. With the CMP Amendment approved, Pulte prepared and received approval of the Preliminary Plat for a portion of the development under the new name of Fireside at Sienna Hills. This preliminary plat did not include work related to the Estate Residential Parcels. Individual Final Plats for some of the parcels were submitted to the City, which vested the Preliminary Plat; however, no Final Plats were recorded. A Map of Dedication for that portion of McDowell Road adjacent to the development and Fireside Parkway (the development's collector road) was approved by the City and recorded with Maricopa County. The parcels located in the southeastern portion of the development have been mass graded while the northern parcels remain in their natural state.

A second CMP amendment was approved in 2012. The purpose of this amendment was to provide development changes from the 2006 amendment.

A third CMP amendment was approved in 2017. The purpose of this amendment was to provide changes to Parcel 2 North/5 South to the side yard setbacks.

JEN ARIZONA 40 LLC purchased the property in July 2019. The intent of this document is to outline all the proposed modifications to the current existing CMP, with its associated and previously approved CMP amendments, and request an approval by the City. The original CMP and CMP Amendments are superseded by this CMP Amendment. This amendment is intended to provide a comprehensive master planned community, consistent with the City's regulations and General Plan.

The documents presented within the amendment provide a detailed description of the residential land uses, trail and open space concepts, and infrastructure requirements for the community. Sienna Hills provides single family detached homes, viable and usable open space, and community amenities that will meet the needs for City residents.

## **II. ORIGINAL CMP and CMP AMENDMENT ENTITLEMENTS**

### **A. Current CMP and CMP Amendments**

The original CMP was approved by the City in April 2004 with CMP Amendment subsequently approved in March 2006, April 2012, and August 2017.

Table 1 is a summary of the CMP entitlements current and proposed entitlements:

**TABLE 1 – CMP ENTITLEMENTS CURRENT VERSUS PROPOSED**

Land Use Designation	Current		Proposed	
	Gross Acreage	Number of Units	Gross Acreage	Number of Units
Residential – Estate	60.58	84	-	-
Residential – Low Density	152.57	523	180.87	611
Residential – Low & Medium	74.7	335	74.7	335
Residential – Medium Density	27.21	166	27.21	166
School	3.48	N/A	3.48	N/A
Public	13.3	N/A	13.3	N/A
Open Space	111.09	N/A	143.09	N/A
<b>Total</b>	<b>443.03</b>	<b>1,008</b>	<b>443.03</b>	<b>1,112</b>

**III. GOALS AND OBJECTIVES**

Jen Arizona 40 LLC, along with their Design Team, is committed to maintaining a community which balances the approved single family residential development while respecting the natural features associated with the land. The original CMP (and the subsequent approved amendments) provides a solid foundation for this community. Additional minor modifications as noted within this CMP Amendment are providing the opportunity to further enhance the development while still maintaining the original intent approved by the City.

The approved CMP plan contains 13 parcels identified for single-family residential uses. Of those 13 parcels, six parcels are fully developed or in the latter stages of development. One parcel, 3B North is expected to begin residential development shortly, in conformance with the existing CMP. This amendment affects the five remaining single-family development parcels (4 North, 5 North, 6 North, 7A North and 7B North).

The following is a list of items and goals addressed in this Amendment:

- Update the current development team, land ownership, land planning and infrastructure information.
- Reflect necessary changes to the land plan with respect to street alignments, lots sizes, and lot configurations.
- Implement text changes which are consistent with the goals of SLV Sienna Hills, LLC and the City of Buckeye.

- Illustrate the proposed modifications to the site plans for the Estate and Low Density Residential Parcels. These modifications are designed to preserve wash corridors and increase the amount of open space, while maintaining the overall approved density for Sienna Hills.
- Identify infrastructure design criteria and standards for the CMP.
- Remove Parcel 7A north from development of single-family homes and convert the parcel area to open space.
- Revise the lot sizes of Parcel 4 North.
- Revise the lotting patterns of the remaining development parcels to accommodate changes to the street designs which provide improved emergency access by introducing additional means of ingress and egress for these four parcels.

#### **IV. PROPOSED CMP AMENDMENTS**

##### **A. CMP UPDATES**

This document and its exhibits have been updated to reflect the proposed amendment to the Sienna Hills CMP development plan.

##### **B. Land Use and Use Plan Adjustments**

###### **1. Land Use Plan**

The 444-acre Sienna Hills site has been re-designed to provide 1,112 total dwelling units (a four dwelling unit increase from the 2012 CMP amendment; which maintains the overall gross density of 2.5 dwelling units per acre approved as part of the 2012 amendment. The site's maximum dwelling unit count, shall be consistent with the 2006 CMP amendment total of 1,202. This re-design effort will significantly increase natural open space from 107.6 acres to 139.9 acres which removes development from the more sloped areas of the site. Refer to Figure 1 for the Sienna Hills Conceptual Land Use Plan, which identifies the land use locations within the site.

The revised land plan for Sienna Hills is within the parcels on the northern and western areas of the site. The proposed changes do not significantly affect the development areas of this portion of the community, with the exception of the conversion of Parcel 7A north to open space, increasing the Sienna Hills open space area by approximately 32.4 acres. Preservation of wash corridors and using hillside to its advantages creates a community and theme that provides natural open space, view corridors, and beauty for its residents. This

modification promotes natural space preservation. The land plan maintains multi-use trail corridors while improving and increasing open space.

As stated in the original CMP Amendment, all community quality control will be established and maintained through master governance tools, such as design guidelines, architectural control, covenants, conditions and restrictions (CC&R's), and a homeowners' association.

**2. Land Use Designations**

The Land Use Budget from the 2012 and 2017 CMP amendments identified the density ranges, maximum density, and target densities allowed within each parcel. This CMP amendment proposes minor adjustments to the Land Use Budget and development standards, Figure 2a and 2b, based on the revised land plan. Final lot counts may vary during final platting based upon engineering constraints such as, topography, open space, retention, market conditions, and/or customer preference; however, the maximum density (du/ac) for each parcel will not change.

Table 2 identifies a mixture of lot sizes in the approved CMP dated 04/02/2012 and amended on 07/19/2019.

**TABLE 2 – LOT SIZE PRODUCTS**

<b>Width (ft)</b>	<b>Depth (ft)</b>
48	110
50	90
50	110
50	115
50	120
60	115
60	120
70	120
85	125

This CMP Amendment seeks the conversion of Parcel 7A North from 85' wide lots to Open Space and to allow the redistribution of those lots across the four remaining development parcels, 4 North, 5 North, 6 North and 7B North. The conversion of 7A North to Open Space allows the more sensitive areas of the site, with greater topography, to be removed from development. A secondary benefit is to avoid disturbance of Clean Water Act 404 designated areas that would be impacted if Parcel 7A North were to be developed as originally approved. As part of the redistribution of the lots originally planned for Parcel 7A North, the lots in Parcel 4 North are being developed at a width of 50', but

will be developed with lots deeper than anywhere else in Sienna Hills, with a lot depth of 125'. For this amendment, JEN Arizona 40 LLC has revised the overall land plan and Table 3 shows the lot size products allowed:

**TABLE 3 – LOT SIZE PRODUCTS ALLOWED**

<b>Width (ft)</b>	<b>Depth (ft)</b>
48	110
50	90
50	110
50	115
50	120
*50	*125
60	115
60	120
70	120

\*- New Lot Size

With eight (8) product options, this amendment will still be consistent with the current CMP's variety of product and provides numerous product options to homebuyers.

Notwithstanding, JEN Arizona 40 LLC wishes to retain flexibility with the final diversity of lots sizes which will adhere to the maximum density criteria of each parcel.

**3. Maximum Density**

The bullet points below identify the maximum densities for each of the land use designations in the requested CMP amendment.

- **LOW DENSITY RESIDENTIAL (LDR)** Max. Density = 4.0 DU/AC
- **LOW/MED. DENSITY RESIDENTIAL (MDR)** Max. Density = 5.0 DU/AC
- **MEDIUM DENSITY RESIDENTIAL (MDR)** Max. Density = 8.0 DU/AC

The previously approved maximum density classification included the Estate Residential (ER) classification. The ER classification had a maximum density of 1.7 DU/AC and was designated 80' x 125' lots. As explained earlier, this lot product is no longer included due to conversion of one parcel to open space and to allow for the redistribution of those lots across the other four development parcels. Although this density classification has been removed, it has no effect

overall density of Sienna Hills. With this CMP amendment, the overall density of Sienna Hills remains virtually the same.

#### **4. Education**

At the time of the original approval of the CMP, Sienna Hills was located in the Saddle Mountain School District. As part of the original entitlement, the developer at that time donated \$500,000 to the Saddle Mountain School District. In 2014, a school district boundary change occurred that placed the area of Sienna Hills into the Buckeye Elementary School District and the Buckeye Union High School District. At that time, the developer received welcome letters from both of those districts acknowledging that students within the Sienna Hills community are now to be part of those districts.

In addition to the \$500,000 contribution to the Saddle Mountain District, the previous developer also donated a school site to Odyssey Schools for the location of an Odyssey Charter School. That school has been developed and is in place to serve the residents of Sienna Hills.

#### **5. Open Space (OS)**

Refer to Figure 3 for a depiction of the Conceptual Open Space and Trails System Plan. In accordance with the City of Buckeye park standards, Sienna Hill should provide 15.43 acres of develop open space based on average lot sizes. However, the proposed CMP amendment actually exceeds the requirements and provides 18.17 acres of park space, nearly 18% more than required (2.74 acres). With this CMP amendment, an additional 32.38 acrs of open space is being added to the Sienna Hills Community. Refer to Figure 9 for the park calculations.

### **C. Adoption Via Development Agreement**

An amended Development Agreement was signed and approved by Council in April 2012 and August 2017.

### **D. Amendments to the Community Master Plan**

CMP amendments shall not be necessary to accommodate site constraints, topography, and/or meet the requirements of potential users or builders, relative to land use plans, traffic impact studies, drainage, utility infrastructure, phasing, and/or increases in lot product options; however, the recommendations from “The Probable Maximum Flood Hydraulic Study for Fireside at Sienna Hills”, as prepared by CMX, shall always be permanently incorporated in the complete development.

### **E. Access and Circulation**

Entry to Sienna Hills is provided via McDowell Road, which is currently an improved dedicated right-of-way from Verrado Way to the site's southwest corner. McDowell Road from Verrado Way to the site was upgraded to a half-arterial, as previously designed and approved by the City.

The primary circulation pattern for Sienna Hills remains consistent with the 2006 and 2012 CMP Amendments, with anticipated traffic from Metropolitan Phoenix traveling west on Interstate 10 and exiting on the Verrado Way/Airport Road Exit. Traffic will then travel 1/8 of a mile north on Verrado Way to McDowell Road and then 3/4 of a mile west to the Sienna Hills entrance.

Referring to Figure 4, primary on-site circulation is provided via Sienna Hills Parkway, which continues north through the site from McDowell Road to the northern parcels. One significant benefit of the changes being sought with this amendment is improvement of the local street circulation in the undeveloped portions of Sienna Hills by introducing secondary access points and other emergency access points as requested by the City of Buckeye.

McDowell Road design has accommodated for crossing of the Buckeye FRS#3 Structure. This was completed and approved by the City prior to this CMP Amendment and will be adhered to when final documents are prepared. Coordination with the Arizona State Land Department and Flood Control District of Maricopa County may be required.

### **F. Regional Drainage Patterns**

The Sienna Hills development is adjacent to and encompasses the eastern end of the existing Flood Control District of Maricopa County's (FCDMC) Buckeye Flood Retarding Structure (FRS) #3 and emergency spillway. The FRS collects drainage from the White Tanks Mountain foothills which are located directly north and west of the development. The FRS is designed to protect Interstate 10 and the downstream properties by collecting the storm water runoff from the White Tank Mountains and conveying the flow to the southwest.

Based upon "The Probable Maximum Flood Study for Fireside at Sienna Hills" (PMF Study), prepared by CMX, the previous land plan took considerable steps to eliminate potential effects to the FRS, and was designed so that the FRS would not restrict the development. Revisions to the land plan associated with this CMP amendment incorporate the recommendations from the PMF Study.

### **G. Landscaping**

All revisions included in the most current CMP amendment shall remain.

All proposed and existing trail systems are shown on the “The Concept Open Space and Trails Plan” Figure 3.

Pocket parks have been completed as shown on “The Conceptual Open Space and Trails Plan” Figure 3. These six pocket parks exceed the CMP requirement for five pocket parks within Sienna Hills. Consistent with the previously approved CMP amendment, additional pocket parks are not being located within Parcels 4 North, 5 North, 6 North and 7B North, given the topography of this area and this area's proximity to the Sienna Hills trail system.

The open space and park requirements have been fulfilled as depicted on the Figure 3 and the updated calculation (Exhibit 9). No additional parks are anticipated with the remaining balance of the community.

As part of this CMP amendment, an additional recreational amenity will be provided at the pool area to allow for additional recreation activities for the community. The intent is to provide a play feature and enhance/upgrade the existing outdoor area.

## **V. MASTER PLANS AND REPORTS**

### **A. Master Public Facilities Plan**

#### **1. Schools**

Sienna Hills is located within the Buckeye Union High School District (BUHSD) and the Buckeye Union Elementary School District (BUESD). A school site was donated on Parcel 10 that allowed for the development of the existing Odyssey Charter School. Additionally, the original developer donated \$500,000 to the Saddle Mountain School District before Sienna Hills was brought into the Buckeye High School and Elementary School Districts.

#### **2. Fire and Emergency Services**

As previously discussed, the existing emergency services infrastructure has adequate capacity to service Sienna Hills. In addition, all homes within Sienna Hills are to have sprinklers installed.

### **B. Master Drainage Plan and Report**

An updated Master Drainage report to the approved The Master Drainage Report for Fireside at Sienna Hills will be provided and shall be the basis of all drainage design for the project.

Detailed drainage reports will be required for subsequent preliminary and final plats, and shall be completed in accordance with the previously approved reports and in accordance with City and Maricopa County standards and regulations.

**C. Master Street and Circulation Plan and Traffic Report**

The Master Street and Circulation Plan for Sienna Hills is set forth in Figure 4 of the Traffic analysis, shall be based on the Master Traffic Analysis, prepared by Task Engineering on November 17, 2005.

A subsequent traffic memo will be provided summarizing the trip generation for the proposed parcels and will compare them to the number of trips projected for the same parcels of land in the approved Traffic Impact Analysis for Sienna Hills.

**D. Master Potable Water System Plan and Study**

An updated Master Water Study to the approved The Master Water Study completed for Verrado, which includes Sienna Hills shall be the basis for the Sienna Hills infrastructure. In addition, the water analyses prepared in conjunction with the vested preliminary plat shall also be used as a basis for Sienna Hills. Updated water reports shall be submitted concurrently with any preliminary plats and/or improvement plans to confirm adequate infrastructure is designed. Reports shall be reviewed by the City and EPCOR.

All site water services and meter requirements shall be subject to the Development Agreement, as amended.

**E. Master Wastewater System Plan and Study**

An updated Master Wastewater Study to the approved Master Wastewater Study completed as part of Verrado, shall be utilized as a basis for Sienna Hills design. Updated wastewater reports shall be submitted concurrently with any updated preliminary plats and/or improvement plans to confirm adequate infrastructure is designed. Reports shall be reviewed by the City and EPCOR.

**F. Master Phasing Plan**

Sienna Hills, including the infrastructure, public facilities, and other community amenities, is intended to be carried out in phases over a number of years. Development is contemplated to progress in phases that may or may not develop concurrently, and/or phases that may not be contiguous; however, each phase shall be designed to stand-alone with regard to phased infrastructure, and circulation.

It is anticipated that the four remaining single-family development parcels will be developed at the same time. However, this development phasing is dependent on market conditions and the site will be designed to be developed on a parcel by parcel basis. Phases and sequence of development is subject to change and shall not warrant an amendment to the CMP or associated preliminary plat.

The boundaries of each phase, and the sequence for development of the infrastructure and amenities, shall be identified in the preliminary plat. The phases, when determined, shall be subject to modification by the Project Team based upon City requirements, changing residential real estate market conditions, industry factors and/or business considerations. Any such modification to the phases shall not necessitate an amendment to the CMP or associated preliminary plat; however, the revised phasing plan shall be provided to the City and the City shall retain a copy on file. Figure 8 shows the currently anticipated phasing plan for Sienna Hills at the time of preparing this CMP Amendment. At the time of final plat, each phase shall provide adequate circulation, sewer service, minimum of two points of water connection, and provide the necessary drainage improvements for the phase to stand alone. In addition, construction documents shall be created so that each phase has its own separate plan set so that each phase can be built and closed out in its entirety.

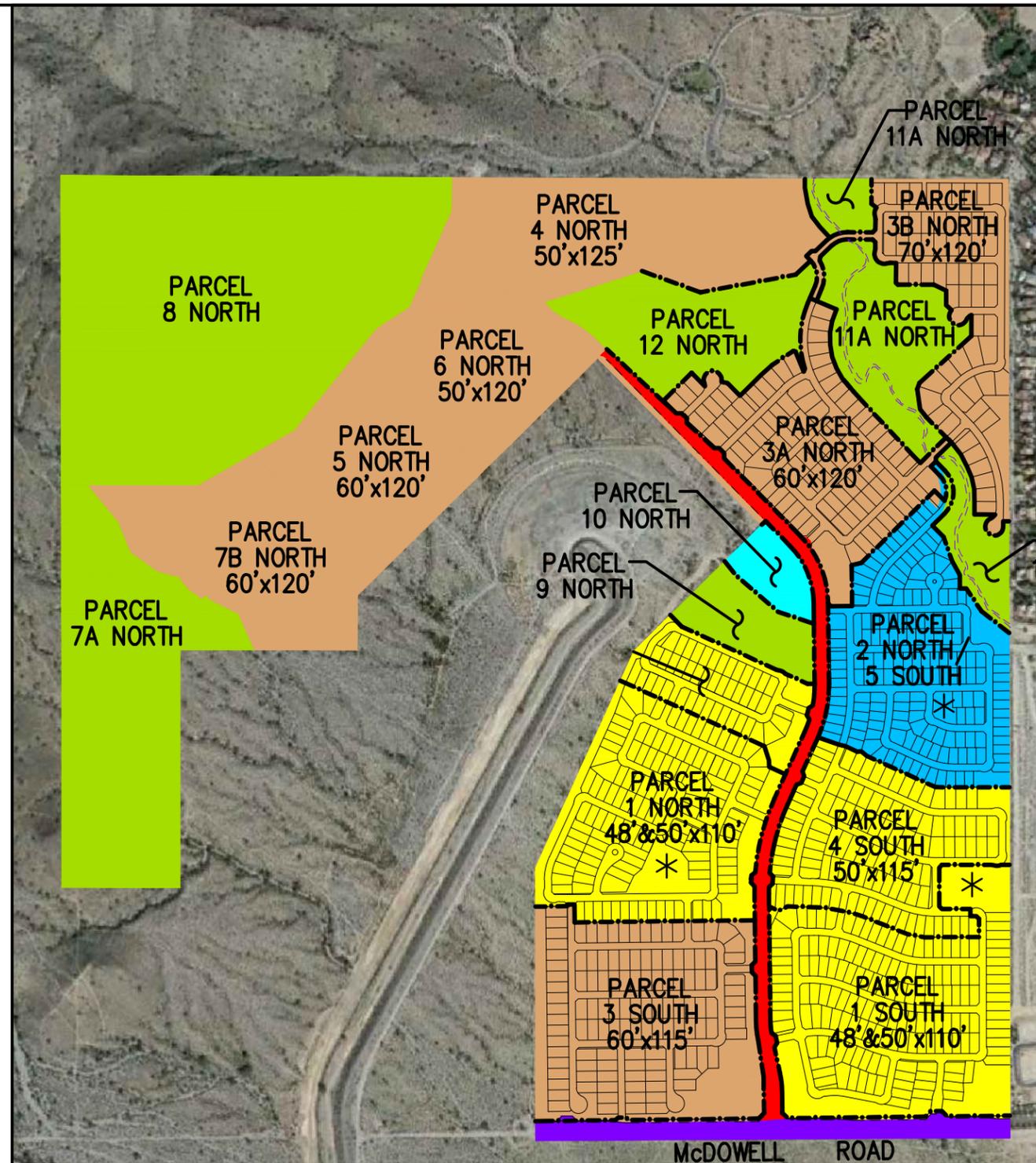
#### **G. Traffic**

A traffic memo that will be an amendment to the previously approved Traffic Impact Analysis (TIA) will be provided to document the change in housing units. This memo shall be submitted concurrently with any updated preliminary plats and/or improvement plans to confirm adequate infrastructure is designed. Reports shall be reviewed and approved by the City.

### **VI. CONCLUSION**

The modifications requested in this 2020 CMP Amendment are to decrease the land area for the single family development and increases the open space area in the community, which improves the development's open space and aesthetics by removing land from development, and generally "modernize" the development to match market demand and homebuyer needs. Changing of development standards constitutes a Major Amendment to a CMP. The City of Buckeye Development Code requires the approval of a CMP Amendment to be adopted by the Mayor and City Council as part of an approved development agreement or amendment between the City and the CMP applicant. JEN 40 Arizona LLC looks forward to enhancing the City of Buckeye and respectfully requests City approval of this CMP Amendment.

# FIGURES



### LAND USE

- LOW DENSITY RESIDENTIAL (LDR)
- LOW/MEDIUM DENSITY RESIDENTIAL (L/MDR)
- MEDIUM DENSITY RESIDENTIAL (MDR)
- OPEN SPACE (OS)
- SCHOOL SITE
- \* POTENTIAL LOCATION OF POCKET PARKS

PARCEL	APPROXIMATE GROSS ACRES	LOTS
1 NORTH	9.98	45
2 NORTH/5 SOUTH	27.21	166
3A NORTH	23.81	94
3B NORTH	20.15	62
4 NORTH	28.30	67
5 NORTH	16.76	46
6 NORTH	18.27	62
7A NORTH	32.38	-
7B NORTH	22.85	52
1 SOUTH	35.10	159
3 SOUTH	31.81	120
4 SOUTH	22.40	108
6 SOUTH	29.62	131
8 NORTH	66.71	-
9 NORTH	5.94	-
10 NORTH	3.48	-
11A NORTH	2.41	-
11B NORTH	12.78	-
11C NORTH	4.82	-
12 NORTH	14.95	-
EX R/W	13.3	-
<b>TOTAL</b>	<b>448.76</b>	<b>1112</b>

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### LEGEND

- BOUNDARY LINE
- PARCEL LINE
- ARTERIAL STREET
- COLLECTOR STREET
- WASH LIMITS

SIENNA HILLS  
 CONCEPTUAL LAND USE PLAN

SCALE: 1" = 800'

FIGURE 1

LAND USE BUDGET					
Parcel	Land Use Designation	Approximate Gross Acres	Minimum Lot Dimensions (Width x Depth)	Land Plan Density (DU/AC)	Land Plan Dwelling Units
1 North	L/MDR	9.98	50' x 110'	4.5	45
2 North/5 South	MDR	27.21	50' x 90'	6.1	166
3A North	LDR	23.81	60' x 120'	3.9	94
3B North	LDR	20.15	70'x120'	3.1	62
*4 North	LDR	28.30	50' x 125'	2.4	67
*5 North	LDR	16.76	60' x 120'	2.7	46
*6 North	LDR	18.27	50' x 120'	3.4	62
*7B North	LDR	22.85	60' x 120'	2.3	52
1 South	L/MDR	35.10	48' & 50' x 110'	4.5	159
3 South	LDR	31.81	60' x 115'	3.8	120
4 South	LDR	22.40	48' x 110' & 50' x 115'	4.8	108
6 South	L/MDR	29.62	48' & 50' x 110'	4.4	131
<b>RESIDENTIAL TOTAL</b>	-	<b>318.64</b>		<b>3.5</b>	<b>1112</b>
7A North	OS	32.38	-	-	-
8 North	OS	66.71	-	-	-
9 North	OS	5.94	-	-	-
10 North	COM	3.48	-	-	-
11A North	OS	2.41	-	-	-
11B North	OS	12.78	-	-	-
11C North	OS	4.82	-	-	-
12 North	OS	14.95	-	-	-
<b>Ex. McDowell Road &amp; Fireside Parkway</b>	R/W	13.30	-	-	-
<b>Sienna Hills Overall Total</b>		<b>443.03</b>		<b>2.5</b>	<b>1112</b>

\* - Undeveloped Parcels

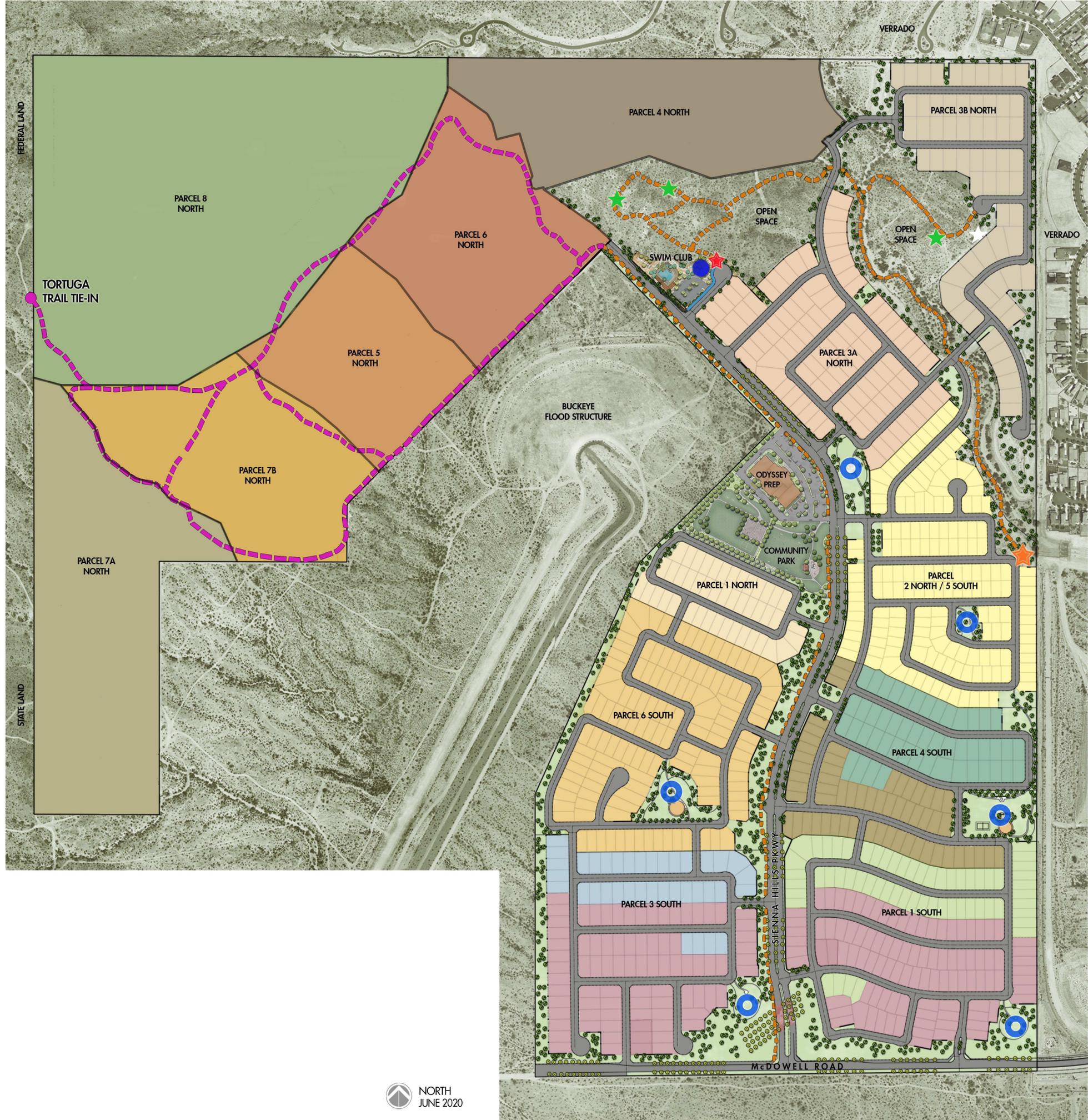
SINGLE FAMILY MINIMUM DEVELOPMENT STANDARDS												
Parcel Numbers	1 North	2 North/5 South	3A North	3B North	4 North	5 North	6 North	7B North	1 South	3 South	4 South	6 South
Land Use Designations	L/MDR	MDR	LDR	LDR	LDR	LDR	LDR	LDR	L/MDR	LDR	LDR	L/MDR
Typical Lot Sizes	50' x 110'	50' x 90'	60' x 120'	70'x120'	50' x 125'	60' x 120'	50' x 120'	60' x 120'	48' & 50' x 110'	60' x 115'	48' & 50' x 115'	48' & 50' x 110'
Minimum Lot Area (sq.ft.)	5,500	4,500	7,200	8,400	6,250	7,200	6,000	7,200	5,280	6,900	5,520	5,280
Minimum Lot Width	48' <sup>(1)</sup>	50'	60'	70'	50'	60'	50'	60'	48' <sup>(1)</sup>	60'	48' <sup>(1)</sup>	48' <sup>(1)</sup>
Minimum Lot Depth <sup>(2)</sup>	110'	90'	120'	120'	125'	120'	120'	120'	110'	115'	115'	110'
<b>Minimum Building Setbacks<sup>(3)</sup></b>												
Living Front Yard	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'
Rear Yard <sup>(4)</sup>	15'	15'	15'	15'	15'	15'	15'	15'	15'	15'	15'	15'
Street Side Yard	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'
Side Yard	5' & 8' 13' Total	5' & 5' 10' Total	5' & 10' 15' Total	5' & 8' 13' Total	5' & 10' 15' Total	5' & 8', 5' & 10' 13' Total, 15' Total	5' & 8' 13' Total					
Minimum Building Separation	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'	10'
<b>Minimum Garage Setback</b>												
Front Loaded <sup>(6)</sup>	20'	20'	20'	20'	20'	20'	20'	20'	20'	20'	20'	20'
Side Loaded	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'	12'
Maximum Garage Width <sup>(7)</sup>	48' - 2 Car Widths 50' - 3 Car Widths	3 - Car Widths	3 - Car Widths	3 - Car Widths	No Maximum	3 - Car Widths	3 - Car Widths	3 - Car Widths	48' - 2 Car Widths 50' - 3 Car Widths	3 - Car Widths	48' - 2 Car Widths 50' - 3 Car Widths	48' - 2 Car Widths 50' - 3 Car Widths
Maximum Structure Height <sup>(8)</sup>	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)	30' (2 Stories)
Maximum Lot Coverage	60%	55%	55%	55%	60%	55%	55%	55%	60%	55%	55%	60%
Minimum Parking Requirement	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit	2 per unit

**Notes:**

- (1) NO MORE THAN 25% OF THE TOTAL NUMBER OF LOTS WITHIN SIENNA HILLS SHALL BE LESS THAN 50-FOOT WIDE.
- (2) LOT DEPTH MAY BE DECREASED BY 10-FT ON CUL-DE-SAC AND KNUCKLE LOTS AS LONG AS MINIMUM LOT AREA IS MAINTAINED.
- (3) BUILDING SETBACK LINE IS THE REQUIRED DISTANCE BETWEEN THE PROPERTY LINE AND THE CLOSEST POINT OF ANY BUILDING. A MINIMUM 20-FOOT TRACT ALONG ARTERIAL STREETS. TRACT SHALL BE IN COMMON OWNERSHIP.
- (4) THE REAR YARD SETBACK APPLIES ONLY TO ENCLOSED LIVABLE AREAS; OTHER PROJECTIONS SUCH AS PATIOS OR BALCONIES SHALL HAVE A MINIMUM 10-FOOT SETBACK.
- (5) UNLESS AN ADJACENT 5-FOOT LANDSCAPE TRACT HAS BEEN PROVIDED, THEN MINIMUM SETBACK SHALL BE 5-FEET.
- (6) THE FRONT LOADED GARAGE SETBACK IS THE REQUIRED DISTANCE BETWEEN THE FACE OF THE GARAGE AND THE BACK OF THE SIDEWALK, OR PROPERTY LINE, WHICHEVER IS CLOSER.
- (7) MAXIMUM DRIVEWAY WIDTH SHALL BE 28-FEET FOR GARAGES WITH THREE (3) CAR GARAGES. WHERE APPROPRIATE, SHARED DRIVEWAYS CAN BE USED FOR MUTUAL BENEFIT. MAINTENANCE TO BE COVERED WITHIN CC&R'S.
- (8) EXCEPT FOR HILLSIDE LOTS, AS SHOWN IN FIGURE I, HILLSIDE MEASUREMENTS IN THE 2004 TESOTA HILLS CMP.

OPEN SPACE AND TRAIL SYSTEM PLAN  
**SIENNA HILLS**

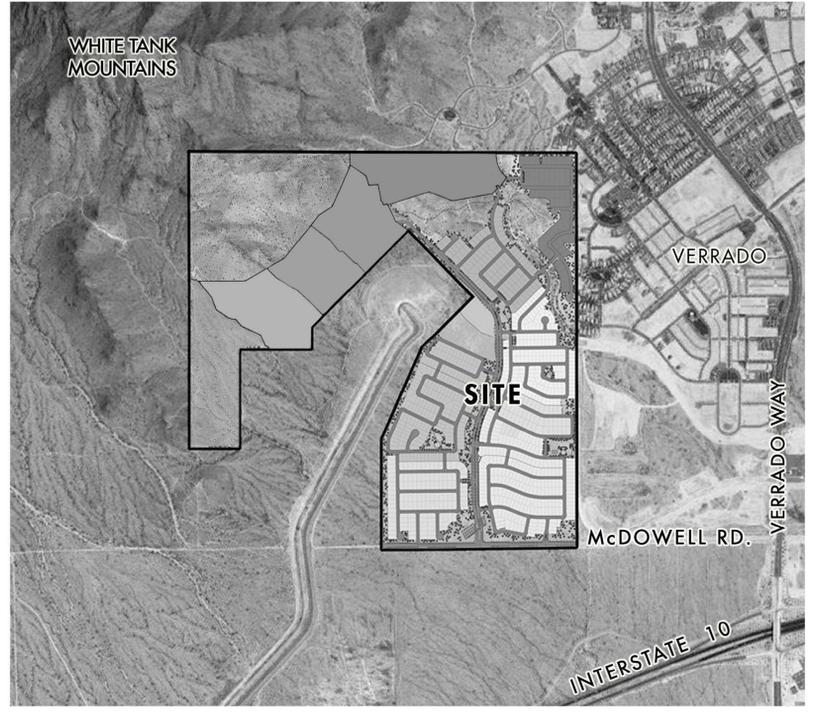
FIGURE 3

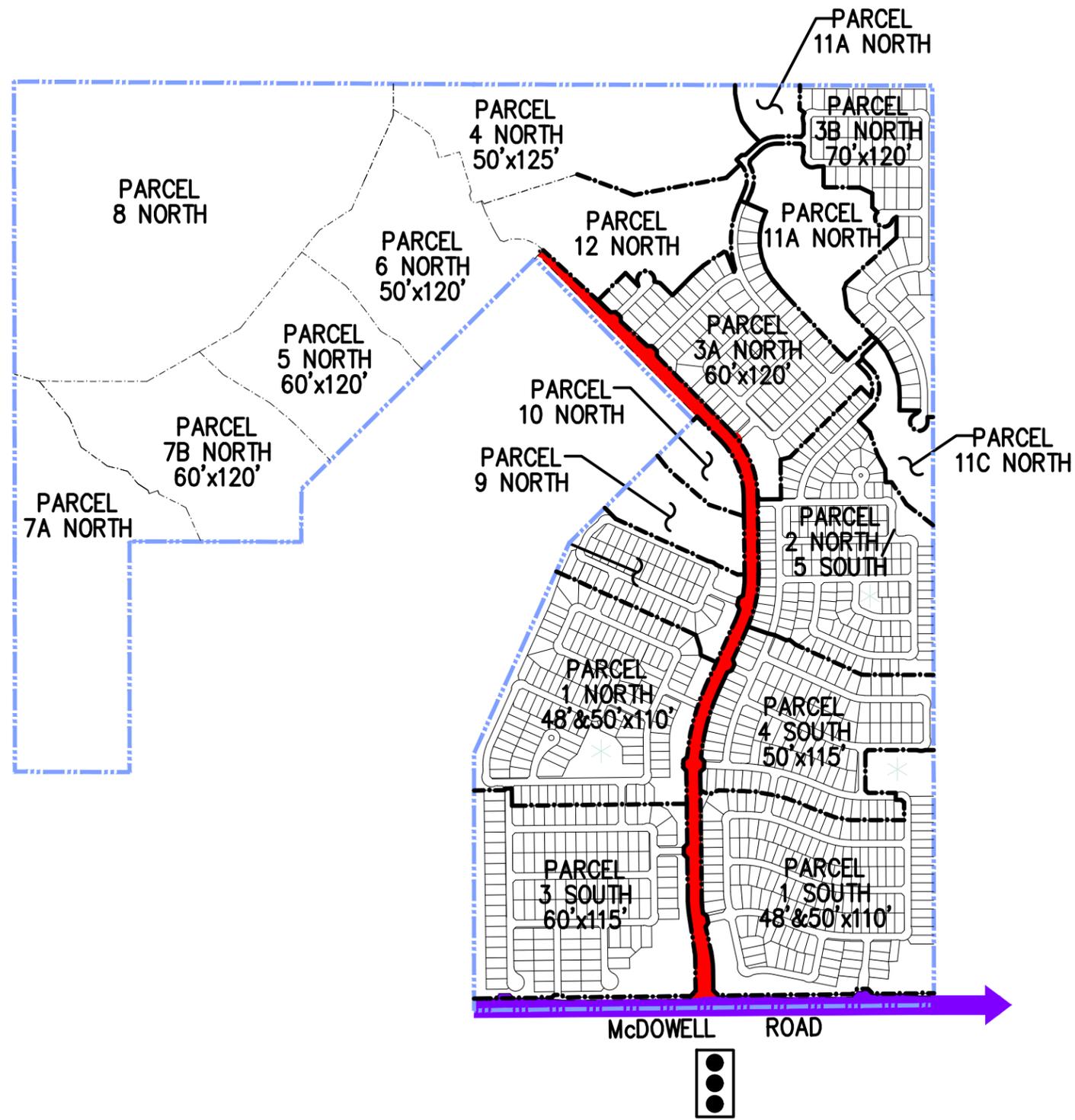


**LEGEND**

SYMBOL	DESCRIPTION
	EXISTING LOOK OUT POINT
	EXISTING POCKET PARK
	PROPOSED TRAIL
	PAVED CONNECTION TO TRAIL
	EXISTING TRAIL SYSTEM
	EXISTING TRAIL HEAD
	CONCEPTUAL SKYLINE TRAIL HEAD
	ENHANCED AMENITY AT SWIM CLUB

**VICINITY MAP**





SOURCE: TESOTA HILLS TRAFFIC  
 IMPACT STUDY,  
 TASK ENGINEERING  
 YEAR 2020 ANALYSIS

  
 SCALE: 1" = 800'

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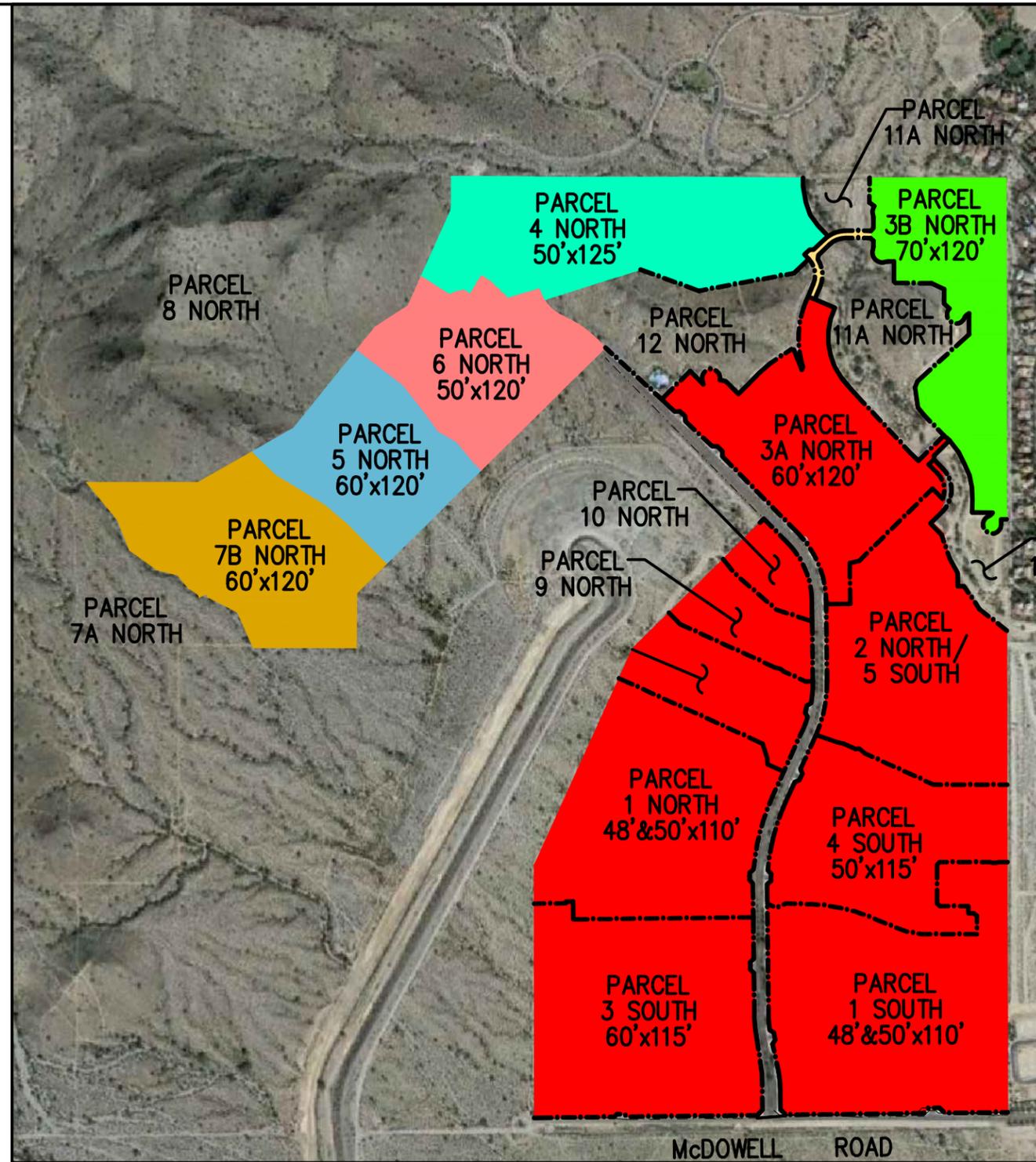
**LEGEND**

-  BOUNDARY LINE
-  PARCEL LINE
-  ARTERIAL STREET
-  COLLECTOR STREET

-  TRAFFIC SIGNAL  
(WHEN TRAFFIC DEMAND  
WARRANTS INSTALLATION)

SIENNA HILLS  
 MASTER STREET &  
 CIRCULATION PLAN

**FIGURE 4**



SCALE: 1" = 800'

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**LEGEND**

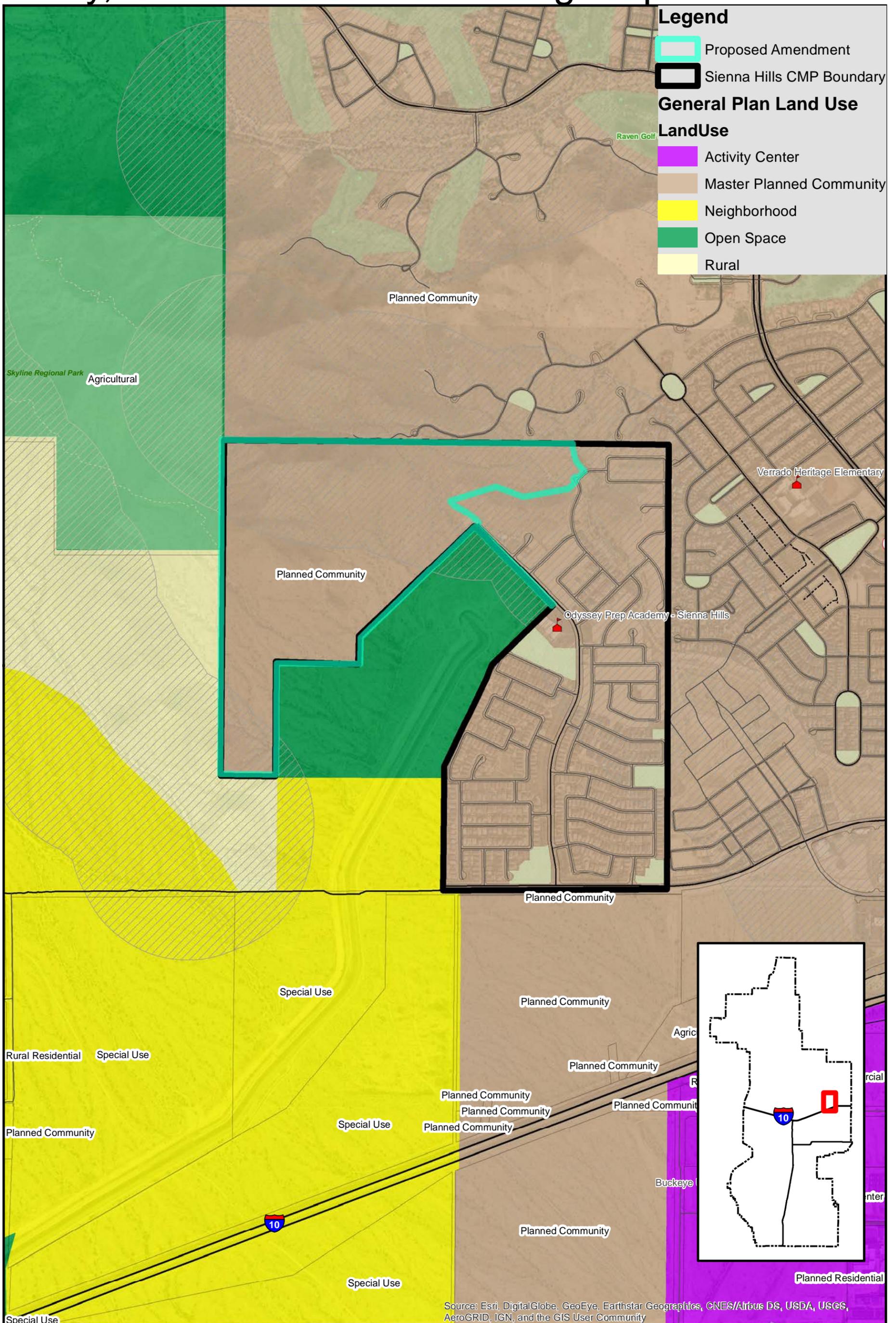
- |  |                   |  |         |
|--|-------------------|--|---------|
|  | BOUNDARY LINE     |  | PHASE 1 |
|  | PARCEL LINE       |  | PHASE 2 |
|  | COMPLETED PHASES  |  | PHASE 3 |
|  | UNDER DEVELOPMENT |  | PHASE 4 |

SIENNA HILLS  
CONCEPTUAL PHASING PLAN  
DATED 06/15/2020

**FIGURE 8**

<b>SIENNA HILLS OPEN SPACE/PARK CALCULATIONS</b>				
<b>Parcels</b>	<b>Approximate Gross Acres</b>	<b>Avg. Lot Size</b>	<b>Required Open Space/Park (Acres)</b>	<b>Current Open Space/Park Provided (Acres)</b>
1 South	35.10	6058	1.76	1.73
1 North	9.98	5878	0.80	-
2 North/5 South	27.21	4847	2.18	1.24
3 South	31.81	7118	1.59	3.23
3A North	23.81	7720	1.19	1.48
3B North	20.15	9235	1.01	-
4 South	22.40	6697	1.12	2.19
4 North	28.30	6788	1.42	-
5 North	16.76	7816	0.84	-
6 South	29.62	6231	1.48	1.86
6 North	18.27	6940	0.91	-
7A North	32.38	-	-	32.38
7B North	22.85	7841	1.14	-
9 North (Park by School)	5.74	-	-	5.74
12 North (Pool Area)	0.7	-	-	0.7
<b>TOTALS</b>	<b>325.08</b>		<b>15.43</b>	<b>50.55</b>

# Vicinity, General Plan and Zoning Map



## Legend

- Proposed Amendment
- Sienna Hills CMP Boundary
- General Plan Land Use**
- Activity Center
- Master Planned Community
- Neighborhood
- Open Space
- Rural

**BUCKEYE, AZ**  
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Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

