

Southwest Ranch Community Master Plan

Buckeye, Arizona
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Property Owner
Harvard Investments
7600 East Doubletree Ranch Road
Suite 220
Scottsdale, Arizona 85258
Phone: (480) 348-1118
Fax: (480) 348-8976
Contact: Christopher Cacheris

Development Team
RBF Consulting
16605 North 28th Avenue
Suite 100
Phoenix, Arizona 85053-7550
Phone: 602-467-2200
Fax: 602-467-2201
Contact: Steve Hohulin
JN 45-101570

APPROVED

AUG 17 2004

TOWN OF BUCKEYE
PLANNING AND DEVELOPMENT

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PROJECT OVERVIEW

INTRODUCTION

Southwest Ranch is a 457 acre master planned community in the east Buckeye area. Southwest Ranch builds upon the objectives of the Town of Buckeye General Development Plan with a mix of single-family and multi-family residential, retail commercial, open space and employment uses. The general boundaries of the site are Jackrabbit Trail on the east, Tuthill Road on the west, Southern Pacific Railroad on the south, and one quarter mile north of Broadway Road on the north. See the ***Vicinity Map*** for location. The overriding objective of the Southwest Ranch Community Master Plan (CMP) is to create a well-balanced, cohesive community where residents can live, work, and play. The existing zoning on the site is Planned Community (PC). This document is intended to formalize and complete zoning requirements for development with approval of a Community Master Plan.

APPLICANT AND DEVELOPMENT TEAM

Harvard Investments
7600 East Doubletree Ranch Road, Suite 220
Scottsdale, Arizona 85258
Phone: (480) 348-1118
Fax: (480) 348-8976
Contact: Christopher Cacheris

Members of the Southwest Ranch Community Master Plan Development team are identified below with their respective project role noted.

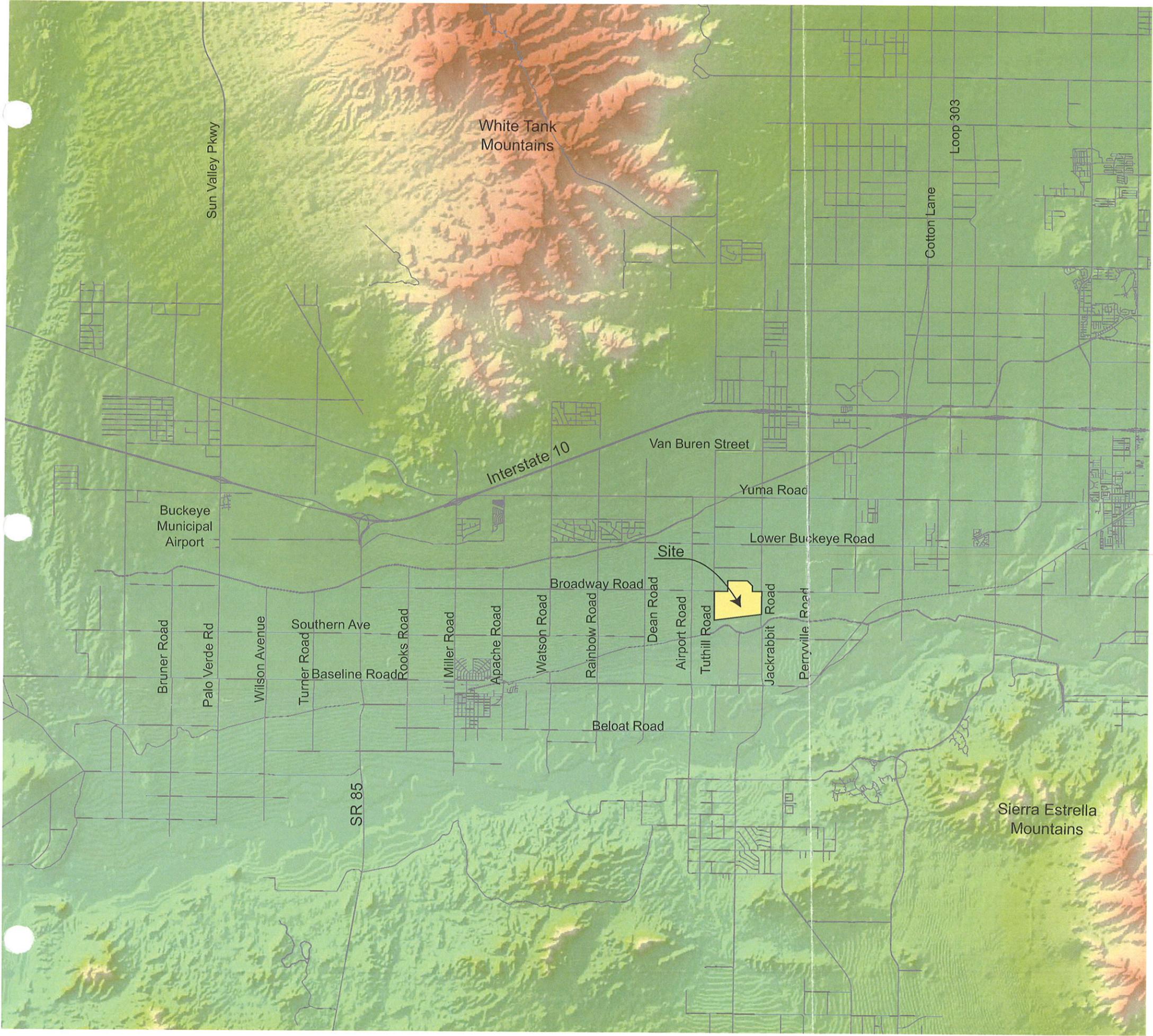
Consultant

Project Role

RBF Consulting	Civil Engineering, Community Planning, Transportation
Southwest Groundwater Consultants, Inc.	Water Pump Testing
Fluid Solutions	Groundwater Testing
Alpha Geotechnical & Materials, Inc.	Soils Analysis
Gallagher & Kennedy	Legal Counsel
Pinnacle Design, Inc.	Landscape Architecture
Silver Fern Management	Dry Utilities
First American Title Co.	Title Company
Pivotal Utility Management	Wastewater Treatment

Southwest Ranch

Vicinity Map



LOCATION CONTEXT

Southwest Ranch is located approximately five miles northeast of downtown Buckeye, and approximately four miles south of I-10. The predominant existing land use of the area is agriculture, with some acreage homesites located north of the site. The site covers portions of Sections 20 and 29 of Township 1 North, Range 2 West, of the Gila and Salt River Base and Meridian.

The residents of Southwest Ranch will have excellent views of the White Tank Mountains approximately ten miles to the northwest and Sierra Estrella Mountains approximately six miles to the southeast.

All of the adjacent land is privately owned, and the predominately existing use is agriculture. The primary operations of a large commercial dairy are located one-half mile west of Southwest Ranch, and a dairy to the northeast. The **Adjacent Ownership Map** figure illustrates this on the area surrounding Southwest Ranch.

COMMUNITY MASTER PLAN GOALS AND OBJECTIVES

The following goals are the basis of the Community Master Plan and are intended to support the objectives found in section 7-1-3 C of the Buckeye Development Code.

- To coexist and compliment existing zoned and planned adjacent uses in the Greater Buckeye Community.
- To offer a range of housing types, retail commercial and employment opportunities in the project site that is responsive to local and regional markets.
- To provide for an integrated mix of land uses, linked by tying into the existing arterial streets, and providing a hierarchy of collector and local streets within the site. A trail system will offer residents and employees a strong sense of community and the opportunity to walk or bike from place to place within the community.
- To efficiently provide, in conjunction with the Town of Buckeye, major utilities and services including water, sewer, roads, and storm drainage to the community, its residents and those who work here.
- To preserve views of the White Tank Mountains and Sierra Estrella Mountains by providing open space, parks, and trails with view corridors to the optimal degree possible.

PROJECT DESCRIPTION

The Southwest Ranch Community Master Plan (CMP) provides a range of housing types to serve a number of homebuyer preferences, a variety of income levels, family types, and lifestyle opportunities in the community. The project consists of eleven parcels of single-family residential and one parcel of multi-family residential. The residential portion of the site anticipates approximately 1100-1225 single-family dwelling units, along with 302 - 335 multi-family units for a range of gross density between 3.99-4.8 DU/AC in the residential areas. This excludes commercial, employment, and major streets. Individual single-family parcels may have a range from 2.5-6 dwelling units per acre.

Two retail commercial properties are located on Broadway Road and a large employment center is on the western side of the project. The commercial and employment parcels comprise approximately 28% of the total site.

The **Southwest Ranch Conceptual Land Use Plan** identifies locations for the various land uses. The land uses are proposed to function efficiently for the Southwest Ranch community as well as the surrounding area. Southwest Ranch offers a variety of land uses that will provide a sustainable community and is intended to integrate with future surrounding developments to provide the full complement of land uses necessary to serve nearly all life needs within the community. The employment property included on the site will be available for light industrial, warehousing and office uses. The residential component will be comprised of six single-family lot sizes ranging from 48' x 110' up to 73' x 115', along with a multi-family parcel. The project includes a church site, which could be converted to single-family residential if not used as a religious facility, and a wastewater treatment facility. Along the south side of the site, adjacent to the Southern Pacific Railroad, a linear park is provided as a part of a trail system and active recreational facility. Throughout the middle of the project, in a general north south direction, a linear park and drainage/irrigation facility will provide a trail system accessible to most areas of the project.

The **Southwest Ranch Conceptual Open Space Plan** portrays the trails and opens space system that will connect neighborhoods, parks, and commercial and employment areas. The diagram illustrates the connections of the proposed trails and open space areas. Approximately 9% of the gross residential area is earmarked for open space and park area. An additional 6% of open space will be provided in most parcels to handle retention and neighborhood recreation areas, for a total of approximately 15% open space. Parking will be provided for resident's access to the open space area on the site's southern boundary with parking adjacent to the subdivision streets. In addition to the trail system and park, small neighborhood pocket parks ranging in size from .5 acre will provide additional recreational opportunities.

Phasing for the site will start with Parcels 14 and 15 to be built in 2004, with Parcels 6, 7 and 8 to be built in 2005, with Parcel 11, 12 and 13 slated for 2006. Parcels 1, 2 and 3 are expected for construction in 2007, along with the commercial site located at the southwest corner of Jack-rabbit Trail and Broadway. Phase 6 would be the multi-family site in 2009, with the employment and commercial sites on the far west being last in approximately 2013. The **Master Phasing Plan** provides graphic representation of these dates.

EXISTING SITE CONDITIONS

This site has been in agricultural production for a number of years, and has no particular distinguishing topographical features. The lack of existing natural elements will be mitigated by adding distinctive entry features, trail system and linear parks. Site conditions were determined by site visits, analysis of aerial photography and by reviewing the various reports prepared in conjunction with this document. The site has a few existing structures that will be removed during construction. An existing agricultural water well will be converted to a domestic well. The existing tailwater pond will be removed. The culmination of this research is displayed in the **Opportunities and Constraints Map**. The site is bordered on the south by the Union Pacific/Southern Pacific Railroad, with a 20" petroleum pipeline, along with a 96" effluent pipeline, which are both south of the railroad tracks; to the west by an agricultural field zoned Industrial Use by the Town of Buckeye and owned and used by the owners of the large commercial dairy west of Airport Road; to the northwest by an electrical power substation located one quarter mile to the west; and on the north by high tension power lines (500kV and 230kV); to the northeast by a 65 acre dairy; and on the east by a County zoned industrial park which is currently being planned for residential uses in the Town of Buckeye.

PUBLIC REPORT

The Public Report for Southwest Ranch will include the following notices:

Immediately to the west of Southwest Ranch between Tuthill and Airport Roads, a 210 acre parcel owned by the operator of the commercial dairy west of Airport Road, is zoned Industrial by the Town of Buckeye.

One-half mile west of Southwest Ranch, an 818 acre commercial dairy exists. Portions of the dairy, which includes the 210 acre parcel between Tuthill and Airport Roads which is owned by the dairy operator, are planned for rail served industrial use with the dairy as the main tenant.

A 65 acre dairy exists to the northeast of Southwest Ranch.

Southwest Ranch is bordered on the south by the Union Pacific / Southern Pacific Railroad tracks. South of, and parallel to the railroad tracks are a 20 inch underground petroleum line and a 96 inch underground effluent line.

One quarter mile from the northwest corner of Southwest Ranch is an electrical power substation. Along the northern border of Southwest Ranch are two high tension power lines (500kV and 230kV).

The land designated for commercial and employment uses on the west 100 acres of Southwest Ranch are restricted by a deed restriction recorded January 2, 2002, Maricopa County Record-ers Office document number 2002-0004198, for the benefit of Rexco, L.L.C. such that no residential use or development shall be permitted on Parcels 4, 5 and 16 so long as the commercial dairy is in operation on the Rexco property.

Jackrabbit Road is a Road of Regional Significance as defined by Maricopa County.

Southwest Ranch is located in an agricultural and industrial area. Agriculture and industrial related activities take place within close proximity to this development. Agricultural activities may include, but not limited to the following: tilling, cultivation, irrigation, harvesting, and other management of various croplands, operation of feedmills, operation of cotton gins, dairy operation, aerial and ground application of agri-chemicals and fertilizers on croplands, operation of agricultural equipment, the raising, feeding and movement of livestock. The industrial activities may include, but not limited to, the following: transloading, outdoor storage, and other intensive industrial uses. These activities may at times produce noise, particles, fumes, odor, dust, smoke, chemical spray vapor, vibration and other conditions that may affect the enjoyment of the above described property for residential purposes.

TOPOGRAPHY AND GEOGRAPHIC FEATURES

The entire site is generally flat, and currently under agricultural cultivation, with several irrigation ditches serving the fields. The prevailing area gently slopes to the south-southeast with no significant geologic features, although some relatively severe changes in elevation occur at field boundaries. An **Aerial View** of the site is displayed in the **Opportunities and Constraints Map**.

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Southwest Ranch

Master Phasing Plan



Phase Line

Estimated Phasing Dates

1	2004
2	2005
3	2006
4	2007
5	2007
6	2009
7	2013

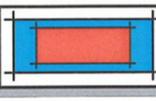
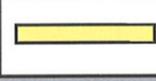
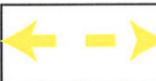


B.I.D. Canal

Southwest Ranch

Opportunities & Constraints Map



-  View A: Views of White Tank Mountains
View B: Views of Sierra Estrella Mountains
-  Existing 230kV Power Line Easement
-  Proposed 500kV Power Line Easement
-  Existing Home Site
-  Existing Farm Equipment Area
-  Floodplain
-  20" Petroleum Line
-  96" Irrigation Line



REGIONAL DRAINAGE AND HYDROLOGY

The project site is approximately three miles north of the Gila River. Surface flows come from the north and northwest. The site is located approximately two miles south of the Roosevelt Irrigation Canal. For most storms, the canal interrupts natural surface drainage flow of stormwater coming south toward the site. The site is also approximately four miles south of the Buckeye Flood Retardation Structure Number 3 that is north of I-10. This structure catches and channels major flows from the White Tank Mountains from the north and west and release them into the Hassayampa River Valley further to the west. Also, the White Tanks Flood Retardation Structure Number 4 is three miles directly to the north of the Southwest Ranch site. The Union Pacific/Southern Pacific Railroad right-of-way forms the southern boundary of the site. The tracks block stormwater runoff and create a floodplain in the southern area of the property. There is an existing irrigation tailwater pond near the southwest corner of the site that will be removed.

The majority of the site is within flood zone X with small areas of zone AH at the southeast corner of the site and in the area of the tailwater pond. Zone X is defined by the Federal Emergency Management Agency as "areas between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one (1) square mile; or areas protected by levees from the base flood". Zone AH is defined as "areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; base flood elevations are shown, but no flood hazard factors are determined".

Three drainage channels/open space areas will convey surface flows through and around the project area. The southern park area will be appropriately sized to retain surface flows. This project will provide equal volumes of retention to compensate for any displaced floodplain.

GROUNDWATER

The initial investigation of the existing water wells has provided sufficient information indicating that a Certificate of Assured Water Supply is likely to be approved. To apply, the applicant will first provide the Arizona Department of Water Resources with an Analysis of Assured Water Supply that would then be drawn upon as each preliminary plat in the project is processed. The client would then apply for a Certificate of Assured Water Supply as each final plat is processed. ADWR publications indicate that groundwater in the area of the site occurred on the order of 32 to 73 feet below the ground surface in 1992.

The site also contains several existing agricultural wells. One well appears to have sufficient capacity and quality to be converted for potable water supply.

SOILS AND GEOLOGY

The Southwest Ranch Master Plan area is located within the Basin and Range Geological Province. The area is part of the Gila Basin and overlies Quarternary and upper Tertiary sedimentary rocks, mostly unconsolidated. The soils report indicates the subsurface consists mostly of silty sand, along with sandy clay and clayey sand were also encountered. The Environmental Site Assessment included in Appendix F states that they did not obtain information that prior or current site uses had caused significant contamination of the site. Though some soil discoloration was observed, they were on relatively small portions of the site. They also did not obtain any information that demonstrates that off-site sources had caused contamination on the site.

FLORA AND FAUNA

The site has been in agricultural production for a number of decades, and has no significant native vegetation on site.

REGIONAL AND LOCAL ACCESS AND CIRCULATION

The site is currently accessed from Jackrabbit Trail on the east boundary and Broadway Road through the site. Both roads are paved and have one lane in each direction. The site is approximately four miles south of Interstate 10, a four lane divided controlled access interstate highway running east-west with an existing diamond interchange at Jackrabbit Trail. Jackrabbit Trail is the only existing and planned vehicular access to the site from the south over the Union Pacific / Southern Pacific Railroad tracks. Jackrabbit Trail has an at-grade railroad crossing. MC-85, a paved highway with one lane in each direction, is approximately 1.5 miles to the south. Airport Road provides access from the south, via the intersection with Broadway Road.

AIRPORTS AND FLIGHT PATTERNS

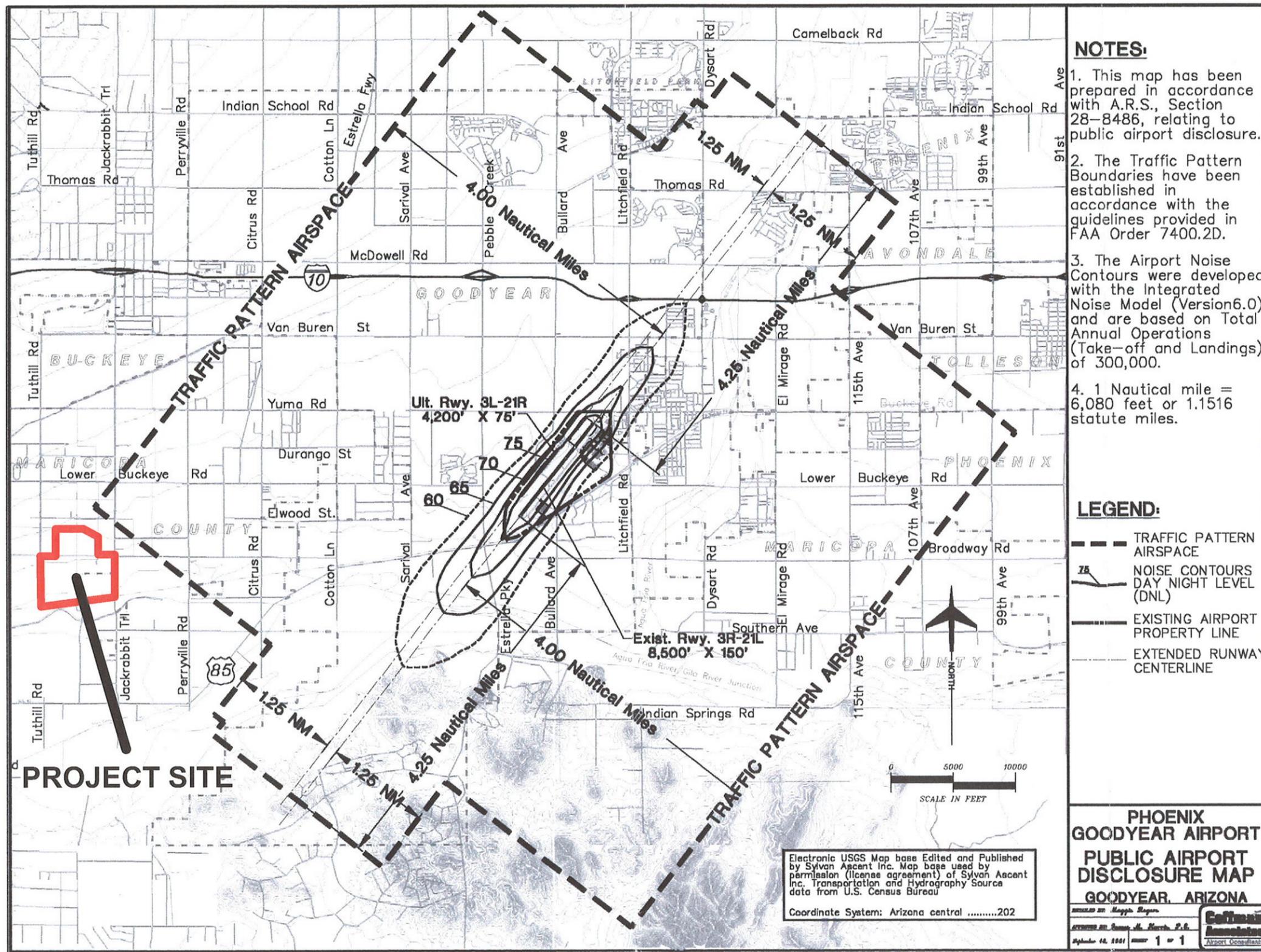
The Buckeye Municipal Airport is located approximately 11 miles to the west. The Phoenix/Goodyear Municipal Airport is located approximately six miles to the east. The site is outside the Phoenix/Goodyear Traffic Pattern Airspace as shown on the **Public Airport Disclosure Map**. The Goodyear Luke Auxiliary Field is two miles to the north, but that airfield has been decommissioned for some time. While flights from Luke Air Force Base and Sky Harbor Airport will pass over the site, the site is outside the "Territory in the Vicinity" of Luke AFB as defined by the State Statute 32-2113.

ELECTRICAL TRANSMISSION LINES

Two sets of high tension power transmission lines, one-500kV and one-230kV run just north of the site. An electrical power substation is located approximately one-quarter mile north of the northwest corner of Southwest Ranch. Standard three phase power lines run along both Jackrabbit Trail and Broadway Road.

WATER CONVEYANCE CANALS

Numerous irrigation canals traverse the site and are being researched for their ability to provide off site users with continuous and permanent irrigation flow, if desired. There is one open irrigation ditch along the east side of Parcel 3 that we will propose to deed to the Roosevelt Irrigation District. Preliminary discussions with Stan Ashby at Roosevelt Irrigation District and their project engineers at Stantec Consulting have occurred. The center channel/open space through the middle of the site will also provide an underground tailwater pipe to convey that water to the historical outflow point at the southern property line.



Southwest Ranch

Figure ~
Noise Contours



EXISTING UTILITIES

SEWER

The site is within the sewer service area of the Town of Buckeye, but no existing service is currently available. This project will propose a wastewater collection and treatment system for the project. It will be sized appropriately to allow other nearby projects future access to the facility. The site is proposed to be at the southwest corner of the project site.

WATER

Southwest Ranch is near the water service area of the Town of Buckeye. There are no existing water storage and distribution facilities within the project area. Therefore, this project will provide, at least temporarily, a "stand alone" system. At least two wells will be used, with an optional third well installed if agreements with other developers in the area do not materialize for joint use well construction.

ELECTRICITY

There are existing overhead electric lines adjacent to the site on Broadway Road and Jackrabbit Trail that will serve the property.

NATURAL GAS

There no Southwest Gas natural gas lines in the immediate vicinity.

COMMUNICATIONS

Cable services will be extended to the site. Telephone lines are adjacent to the site, but will be enhanced to prepare to serve this project.

COMMUNITY MASTER PLAN

PURPOSE AND RELATIONSHIP

The Community Master Plan provides the overall policy and administrative guidance for the Southwest Ranch Community Master Plan. The Buckeye Development Code establishes that the purpose of a Community Master Plan will set forth the land use designations and regulation, residential densities, non residential intensities, provisions for public facilities, design guidelines, phasing, administration and implementation procedures and other provisions.

DEVELOPMENT AGREEMENT

A Development Agreement is intended to provide the Town and Developer with assurances of provisions of public services and regulation of land uses in accordance with A.R.S. 9-500.05.

GENERAL DEVELOPMENT PLAN

The Southwest Ranch proposed CMP provides for a balanced project of residential, multi-family, parks and open space, retail commercial and employment uses. This conforms to the goals adopted in the Buckeye General Development Plan. Specifically, the CMP will achieve the following goals:

- To establish a safe and efficient system of vehicular and pedestrian circulation with a balanced hierarchy of roadways and trails.
- To provide residential and commercial opportunities for industrial and employment uses that blend with zoned and planned uses surrounding Southwest Ranch.
- To provide a blend of residential densities and subdivision designs that offer a variety of housing opportunities that are essential for a diverse community.

DEVELOPMENT CODE

Land use regulations and development standards applicable to this CMP shall be those of Buckeye Development Code except as specifically modified herein. If any regulations in this CMP are in conflict with requirements of such codes, the regulations in this CMP shall prevail. If ambiguity arises concerning the meaning or intent of provisions in the Southwest Ranch Community Master Plan, the remedies provided in the Town of Buckeye Development Code for interpretations shall govern.

LAND USE DISTRICT MAP

Adoption of the Southwest Ranch Community Master Plan results in its land use designations becoming the permitted uses within the Town's Planned Community Land Use District for the property, and all developed property within the Community shall comply with those uses set forth. The **Buckeye Land Use Map** is enclosed for reference.

Southwest Ranch

Buckeye Land Use Map



Southwest Ranch Boundary

Buckeye Land Use Designations



- Rural Residential
- Commercial Center
- Planned Community
- General Commerce
- Planned Residential



AMENDMENTS

Amendments to the CMP may be necessary to reflect changes in market conditions or development financing and to meet new requirements of potential users and builders of property within the site. When revisions are required or appropriate, such revisions shall, unless otherwise required by applicable law, be approved as a minor revision to the CMP by administrative approval by the Community Development Director. After approval, such minor amendment shall be attached to the CMP as an addendum and become a part thereof. No such minor revision shall require public notice or hearing. All major revisions shall be reviewed by the Development Board and approved by the Town Council and shall be subject to all typically applicable notice and hearing requirements.

The following shall be considered Major Amendments:

Any substantial alteration to the list of permitted uses of the property set forth in this CMP as deemed to be substantial by the Community Development Director.

Except as otherwise allowed in the CMP, an increase in the overall total residential units approved for the project, a reduction in the total acreage of commercial/employment below 25%, or a reduction in the open space acreage below 15% of the gross residential acreage.

The following are examples of minor revisions:

Adjustments to the open space locations and acreages within any parcel and from one parcel to another provided the total open space acreage does not drop below 15 % of the gross residential acreage of the property as identified in the **Land Use Table**.

Residential densities may be shifted from one parcel to another, with approval of the Community Development Director, as long as the overall total density is maintained. This is not applicable to the western 107+/- acres of employment and commercial land.

Parcels 4, 5 and 16 of Southwest Ranch are encumbered by a deed restriction recorded January 2, 2002, Maricopa County Recorders Office document number 2002-0001498, for the benefit of Rexco, L.L.C. such that no residential use shall be permitted on Parcels 4, 5 and 16 so long as a commercial dairy is in operation on the Rexco property west of Airport Road.

Commercial locations and acreages may be shifted so long as a minimum of 25% total project acreage remains intact.

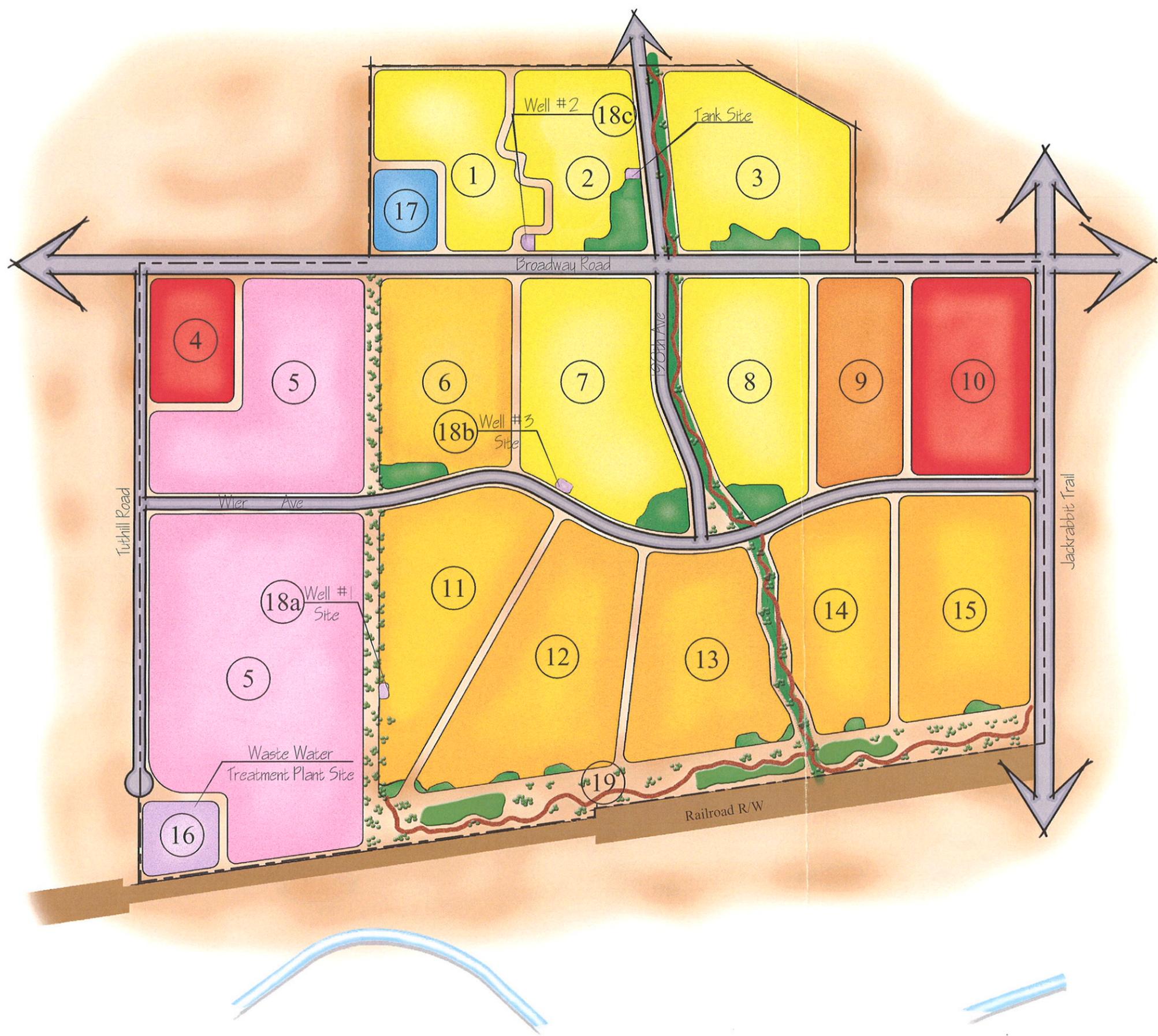
Any minor alteration to the list of permitted uses or prohibited uses of the property as set forth in this CMP, as deemed to be minor by the Community Development Director.

LAND USE PLAN

This land use section of the CMP outlines the land uses designated for each parcel within the project, gives general location and sizes of parcels, land uses, and lays out the major and collector roadway concepts, as shown on the **Conceptual Land Use Plan**.

Southwest Ranch

Conceptual Land Use Plan



- Single Family Residential 2.5-3.5 DU/AC
- Single Family Residential 2.5-4 DU/AC
- Single Family Residential 4-6 DU/AC
- Multi-Family Residential 18-20 DU/AC
- Commercial
- Church/Residential
- Employment
- Public Facility
- Parks, Trails & Open Space

Parcel	Acres	Land Use
1	18	SFR, 2.5-4
2	22	SFR, 2.5-4
3	27	SFR, 2.5-4
4	11	Commercial
5	91	Employment
6	25	SFR, 2.5-4
7	31	SFR, 2.5-4
8	28	SFR, 2.5-4
9	17	MFR
10	24	Commercial
11	28	SFR, 4-6
12	30	SFR, 4-6
13	25	SFR, 4-6
14	22	SFR, 4-6
15	27	SFR, 4-6
16	5	WWTP
17	6	Church Site/Res.
18 a, b, c,	2	Well Sites
19	20	Community Park and Trails



LAND USE DESIGNATION

As mentioned previously, Southwest Ranch includes a variety of land uses in the overall development. Land uses provided in Southwest Ranch are intended to allow residents the opportunity to live, work, and play within the community. Each land use is described in the following sections.

RESIDENTIAL

The residential land use designations will provide a variety of home size and lifestyle opportunities within the Southwest Ranch development. The densities and lot sizes offered in Southwest Ranch provide affordable housing to apartment dwellers, first-time home buyers, move-up single family housing as the family grows, larger lots for mature families, including housing for downsizing as children grow up and move away. The Single-Family land use designation is broken into two main density ranges as shown on the **Conceptual Land Use Plan** on Page 16, that governs the respective lot sizes in each parcel. More refined residential densities and lot sizes are outlined in the following table.

Parcels	Minimum Lot Dimensions	Minimum Lot Area	Realistic Yield	Maximum Density	Percent
3	73'x115'	8,395	92	3.5 du/ac	5.9
1-2, 17*	68'x115'	7,820	160	4.0 du/ac	10.3
7-8	63'x110'	6,930	206	4.0 du/ac	13.2
6, 14	58'x110'	6,380	194	5.0 du/ac	12.4
11, 13	53'x110'	5,830	289	6.0 du/ac	18.5
12, 15	48'x110'	5,280	284	6.0 du/ac	18.2
9	Multi-family	N/A	335	20 du/ac	21.5
Total			1560		100

Typical lot dimensions and yield

*Parcel 17 is currently proposed as a church site, 19 dwelling units would be proposed if the parcel is converted to single-family use.

The actual percentage of each density range may vary slightly at the platting stages of development. This table is provided to show the lot mix expected with Southwest Ranch. However, the minimum lot dimensions and area will not be smaller than what is shown in the table above.

SINGLE-FAMILY RESIDENTIAL

The target density for the single-family residential parcels ranges from a low of 2.5 units per acre, up to 6 dwelling units per acre. While these are minimum and maximum densities, individual parcels will often slide within the range. The density of each parcel when actually developed will be determined at the time of preliminary plat stage, and individual lot layouts, street patterns, amenities and drainage areas will be determined.

Single-Family Residential Permitted Uses

- a. Single-family dwelling units,
- b. Publicly or privately owned and maintained parks, community gardens, recreation areas pathways, trails and recreation centers;
- c. Public and private schools;
- d. Churches, synagogues and other religious facilities;
- e. Guest house or Accessory Building, attached or detached, subject to the following:
 - Primary residence is on the front portion of the lot;
 - The guest house or accessory building fits within the building setbacks;
 - All other ordinances are met.
- f. Temporary uses including sales/marketing facilities, model home complexes, and related accessory uses;
- g. Temporary facilities and storage, incidental to a construction project and located on the project site (if properly screened);
- h. Public utility buildings and facilities;
- i. Governmental uses;
- j. Accessory buildings;
- k. Home occupations, subject to the following:
 - Employees shall be limited to the principal occupant;
 - Uses are limited and exclude bed and breakfast, manufacturing, industrial, mercantile, commercial storage, vending, and adult uses;
 - Minimal use of the unit for the occupation is required
 - The occasional use of the dwelling unit for business meetings, appointments, gatherings, or day care shall be permitted;
 - Only occasional shipping and receiving from the dwelling unit shall be permitted;
 - Heavy machinery or outdoor storage shall not be permitted;
 - No signage, emblem, logo, or billboard of any kind will be displayed on any of the lots or common areas so as to be visible from neighboring property.

MULTI-FAMILY RESIDENTIAL

The target density for the multi-family residential parcel is 18-20 dwelling units per acre. These are typical densities of attached units in apartment and condominium developments in Maricopa County. At the present time, Buckeye does not have a substantial amount of high-density developments. This development will bring a mix of land uses and price ranges including affordable housing that is essential to the overall health of the greater area. Southwest Ranch includes one parcel of approximately 16.77 acres designated for multi-family residential development.

Multi-Family Residential Permitted Uses

- a. Multiple-family dwelling units,
- b. Publicly or privately owned and maintained parks, community gardens, recreation areas pathways, trails and recreation centers;
- c. Public and private schools;
- d. Sales/marketing facilities and related accessory uses;

- e. Temporary facilities and storage, incidental to a construction project and located on the project site (if properly screened);
- f. Public utility buildings and facilities;
- g. Governmental uses;
- h. Private recreational facilities;
- i. Laundry facilities;
- j. Permanent storage facility for resident use only;
- k. Accessory buildings including meeting space for residents' activities;
- l. Home occupations, subject to the following;
- m. Employees shall be limited to the principal occupant;
- n. Uses are limited and exclude bed and breakfast, manufacturing, industrial, mercantile, commercial storage, vending, and adult uses;
- o. Minimal use of the unit for the occupation is required;
- p. The use of the dwelling unit for business meetings, appointments, gatherings, or day care shall not be permitted;
- q. Shipping and receiving from the dwelling unit shall not be permitted;
- r. Heavy machinery or outdoor storage shall not be permitted;
- s. No signage, emblem, logo, or billboard of any kind will be displayed on any of the units or common areas so as to be visible from neighboring unit or property.

EMPLOYMENT/COMMERCIAL

Southwest Ranch has designated approximately 28% of the project to commercial/employment land uses. These land uses satisfy the Town's policy that development projects be largely self sufficient for residential and employment land use needs. These employment/commercial land uses provide residents with work opportunities near where they live.

The Land Use Plan separates the parcels into commercial parcels and an employment parcel further delineating where the respective land uses are most appropriate. However, both commercial and employment land within this CMP are within the same land use category and are governed by the same regulations.

Employment/Commercial Permitted Uses

- a. Commercial, retail, and service establishments;
- b. Retail sales, showroom, and office;
- c. Professional, business, and administrative offices;
- d. Personal service businesses, such as but not limited to, beauty and barber shops, laundry and dry cleaning establishments;
- e. Restaurants and restaurants with bars;
- f. Drive through businesses including, such as but not limited to, fast food restaurants, banks, dry cleaning and pharmacies.
- g. Banking and financial services;
- h. Auto dealerships;
- i. Child care facilities;
- j. Libraries;
- k. Educational Uses;
- l. Copying and printing businesses;
- m. Medical offices and clinical laboratories;

-
- n. Veterinary offices and clinical laboratories;
 - o. Convenience uses including drive-in uses;
 - p. Gas/Service stations, including automobile repair and/or convenience stores;
 - q. Food stores;
 - r. Health clubs, including but not limited to, aerobics/dance/gymnastics and martial arts studios;
 - s. Sales/leasing offices and association;
 - t. Cellular communications facilities require a Conditional Use Permit;
 - u. Religious facilities;
 - v. Entertainment uses including museums, theaters, cinemas, auditoriums, and places of public assembly, excluding adult theaters and adult live entertainment;
 - w. Mini-storage;
 - x. Agricultural based employment;
 - y. Warehousing.
 - z. Public uses including fire station and police substation.

Employment/Commercial Prohibited Uses

- a. Adult uses;
- b. Motor vehicle salvage and wrecking yards;
- c. Tanneries, meat packing and slaughter houses;
- d. Cement, gravel and paving material mixing plants;
- e. Extraction of sand, gravel, oil, gas, and other mining operations;
- f. Outdoor storage including auto salvage, auto wrecking and construction yard storage;
- g. Crematorium.
- h. Single family homes

PUBLIC FACILITIES

Public facilities are those that have a public/quasi-public function and include churches, schools, public and private utilities, and parks/open space. For further clarification within the CMP, these land uses have been assigned to the specific parcels for which they have been intended. No uses other than those that have been assigned to the respective public facility parcels are allowed in the CMP.

LAND USE TABLE

The following table shows land use types, areas and estimated maximum development intensities for Southwest Ranch. Open space figures do not include interior acreages that will be needed for residential parcel retention and pocket parks. A minor acreage difference also occurs as the existing right-of-way for Jackrabbit Trail is not included in acreage figures in comparison to the current ALTA.

<i>Parcel</i>	<i>Land Use</i>	<i>Max. Den- sity</i>	<i>Acres</i>	<i>Percent</i>
1	SFR*, 2.5-4	4.0 du/ac	17.76	3.9
2	SFR, 2.5-4	4.0 du/ac	21.15	4.7
3	SFR, 2.5-4	3.5 du/ac	26.35	5.8
4	Commercial		10.85	2.4
5	Employment		88.33	19.4
6	SFR, 4-6	5.0 du/ac	24.73	5.4
7	SFR, 2.5-4	4.0 du/ac	32.50	7.1
8	SFR, 2.5-4	4.0 du/ac	23.69	5.2
9	MFR*	20 du/ac	16.77	3.7
10	Commercial		23.54	5.2
11	SFR, 4-6	6.0 du/ac	26.80	5.9
12	SFR, 4-6	6.0 du/ac	30.03	6.6
13	SFR, 4-6	6.0 du/ac	23.54	5.2
14	SFR, 4-6	5.0 du/ac	20.84	4.6
15	SFR, 4-6	6.0 du/ac	26.95	5.9
16	WWTP		5.16	1.1
17	Church Site/Res.	4.0**	5.53	1.2
18 a, b, c,	Well Sites		1.0	.2
19	Community Park and Trails		29.58	6.5
			455.1	100

Land Use Table

*SFR= single-family residential, MFR= multi-family residential

**Parcel 17 is currently proposed as a church site, 4.0 du/ac would be proposed if the parcel is converted to single family use.

Note:

- Within residential parcels, approximately 24 additional acres of open space will be provided, bringing the total to approximately 15% of the gross residential area.

MASTER PLANS AND REPORTS

One of the benefits of the Community Master Plan (CMP) process is the requirement for Master Plans and Reports that consider how both public and private infrastructure and community facilities will serve and shape the community. The master plans and reports afford an opportunity to look at the community as a whole and make beneficial decisions, making it an asset to the Town of Buckeye. Each application for preliminary plat approval or site plan approval will be required to show that it is substantially in conformance with this CMP. This section is intended to outline the major infrastructure elements within Southwest Ranch in order to ensure quality, and a cohesive development of the community.

Appendices which set forth the various required Master Plans & Reports are incorporated into the CMP by this reference as if set forth in full.

CONCEPTUAL OPEN SPACE PLAN

The Trails, Parks and Open Space system proposed, as shown in the **Conceptual Open Space and Trails Plan**, for the Southwest Ranch Community plays an important role in achieving the goals and objectives set out for the community. At this time, the location and delineation of trails, parks and open space are shown conceptually because they are dependent on a number of factors, including the location of drainage facilities, which have not been determined in final form. The open space system is often linear in nature, reflecting the opportunities provided by the buffering of the railroad, and the irrigation and surface storm water flow directional delineation. The open space acreage of 29.58 acres represents about 6.5% of the gross site area. Each interior residential and commercial parcels will be required to provide an additional area equaling approximately 7-9% for retention requirements. The combined area of about 15% open space will provide many opportunities for active and passive recreation.

TRAIL SYSTEM & OPEN SPACE

The trail system planned for the Southwest Ranch community envisions three types of trails, major multi-use trails, pedestrian pathways and subdivision sidewalks. The intent of the trail system, as shown in the **Typical Street Sections** exhibit, shown on pages 30 and 31, is to provide recreational and transportation opportunities for residents and enable them to travel within the community on a safe, aesthetically pleasing system of pathways that connect neighborhoods to shopping, employment area and community facilities. The trail system will take advantage of the natural features of the site, including the vistas of the Sierra Estrella and White Tank Mountains, and stormwater retention / open space areas constructed in the community. The proposed multi-use trail leads to the southern linear park area. Various types of surfaces are proposed in order to appropriately handle expected use volumes in various areas of the system. For instance, a high use area between a street and a tot lot will have a concrete sidewalk, while through the Community Park, longer distances between facilities may have a lesser use volume and a decomposed granite trail would be more appropriate. Details of the three types of trails are provided below:

Major Multi-use Trail

These trails will have solid non-slip surfaces composed of asphalt, concrete, decomposed granite or other similar surfaces. Multi-use trails shall be a minimum of 8 feet wide to reduce user conflict.

Pedestrian Path

The pedestrian pathways identified in the **Conceptual Open Space and Trails Plan** are intended to provide pedestrian access around and through neighborhoods. These pathways are less formal and will often be located along streets providing access through the community. Pathways along collector and arterial streets will be a minimum 6-foot wide and should be built with stable materials such as asphalt, concrete or decomposed granite.

Subdivision Sidewalks

Concrete sidewalks on local streets within the subdivisions will be used for pedestrian circulation and will be 4 feet wide as per the Master Street and Circulation Statement (See appendix).

PARKS

To the extent possible, neighborhood park amenities will be developed in conjunction with drainage and flood control facilities. These areas provide great opportunities for locating neighborhood parks. They are open areas that are usable and dry most of the year. Drainage and flood control facilities are usually located in many areas of a neighborhood and provide convenient access to park facilities within the community. They are of economic benefit as well, as they will provide easy access to recreation, while reducing travel distances needed for residents. There are three types of parks that will be provided in Southwest Ranch. The **Conceptual Open Space Amenities-Major Park** (West Side/East Side) and **Conceptual Open Space Amenities-Minor Park** exhibits give graphic representations of these concepts.

Neighborhood Park

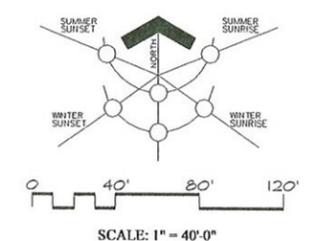
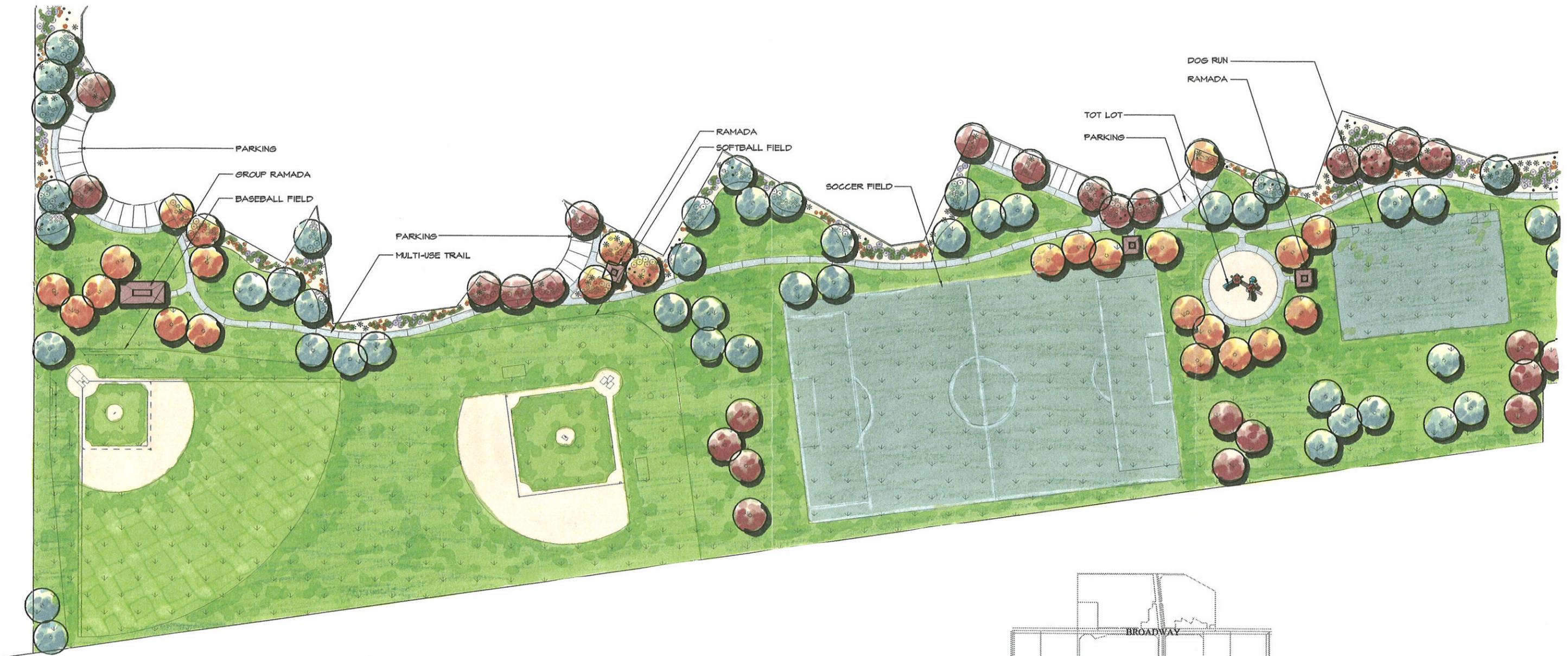
Neighborhood parks, sometimes referred to as pocket parks, will be interspersed throughout the community. These parks are small in (1/2 acre) and facilities provided generally consist of a tot lot, turf area, benches, and shade ramadas. These parks are set in visible areas for safety and security and are well connected to the neighborhood by trails and sidewalks. Usually, each parcel will have a neighborhood park for itself, but some instances, a larger, combined park for two parcels may be used to provide facilities.

Linear Park

Linear parks will be interspersed throughout the community to provide trail access, stormwater conveyance and retention as well as resident recreational and trail corridor opportunities.

Community Park

The Community Park is considerably larger than neighborhood parks and placed adjacent to the railroad right of way. It has amenities including a parking lot accessed from Jackrabbit Trail, large turf play areas for ballfields, ramadas and picnic areas, and basketball courts. This park will be visible from numerous public spaces and is integrated with the trails system to the larger community. Parking areas will be placed at the east entry on Jackrabbit Trail, as well as internal areas of the neighborhoods to provide more direct access for the residents.

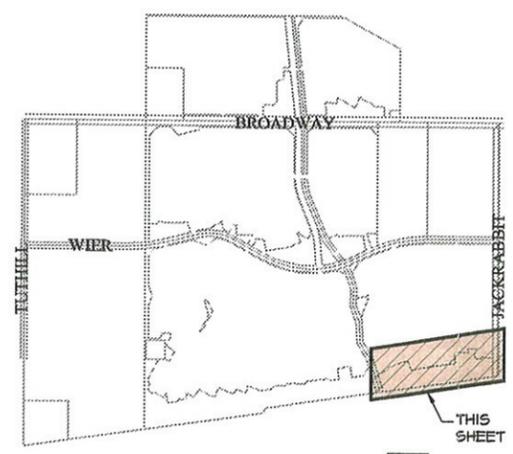
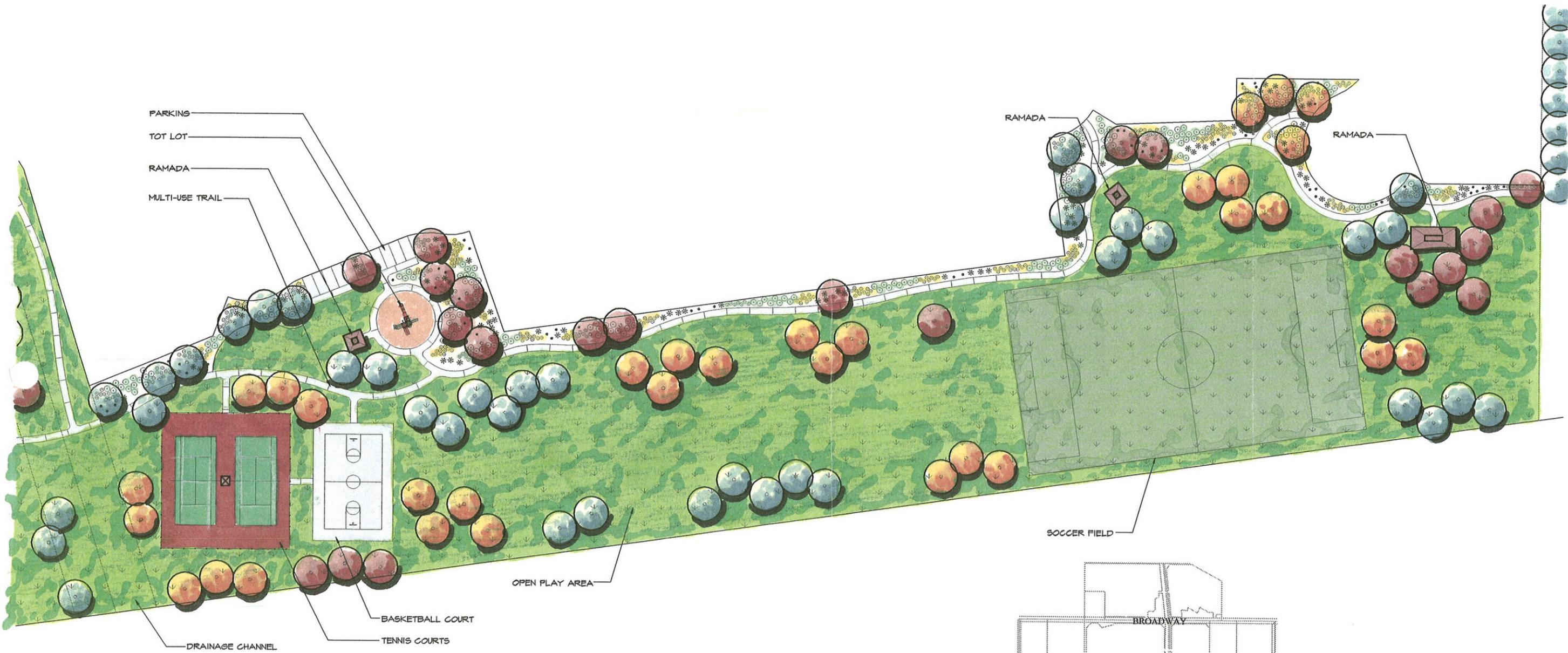


**PINNACLE
DESIGN, INC**

CONCEPTUAL OPEN SPACE AMENITIES - MAJOR PARK (WEST SIDE)

SOUTHWEST RANCH

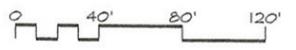
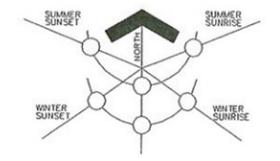
4343 E. Camelback Rd
Suite 100 Phoenix, AZ 85018
Ofc: (602)952-8585 Fax: 952-8686
Job # 03066
JULY 24, 2005 REV. OCT 21, 2005



SHEET KEY MAP



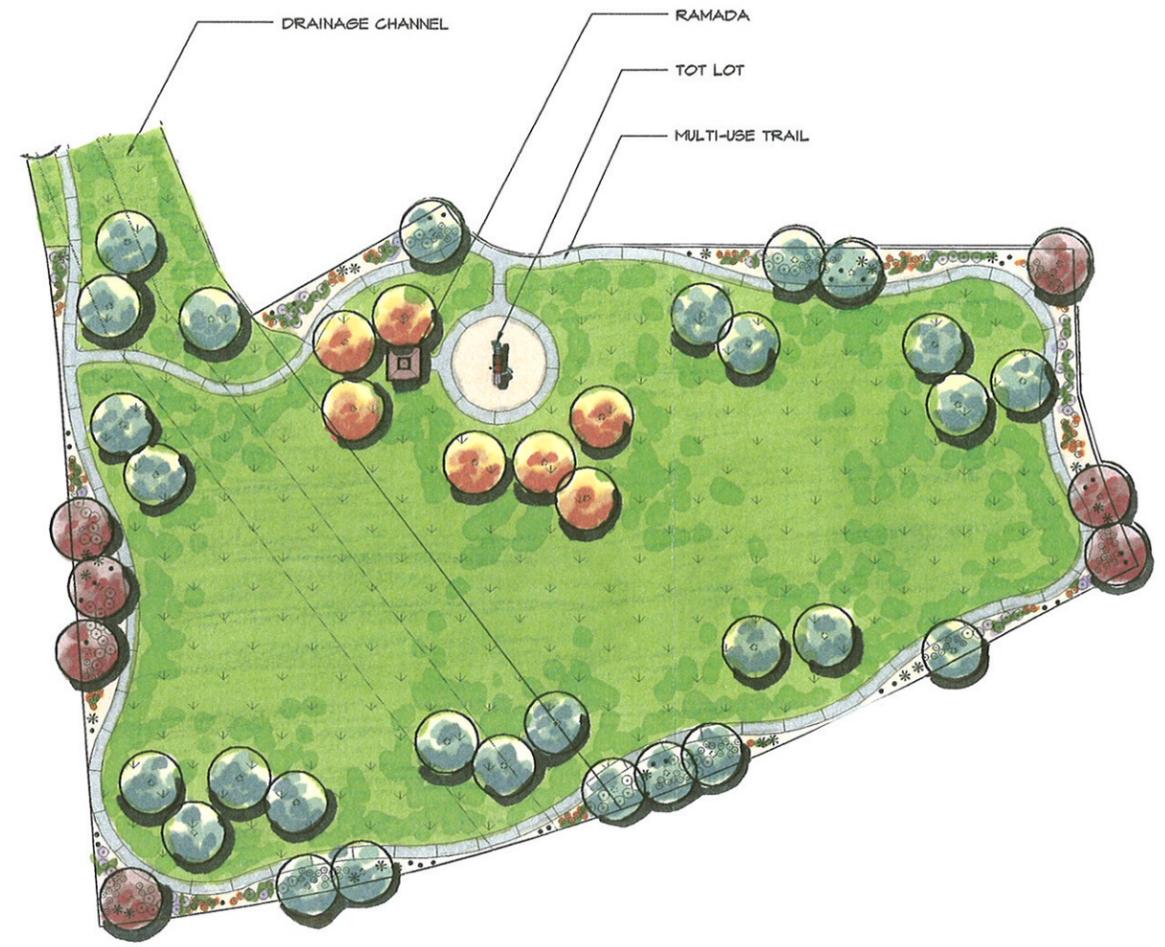
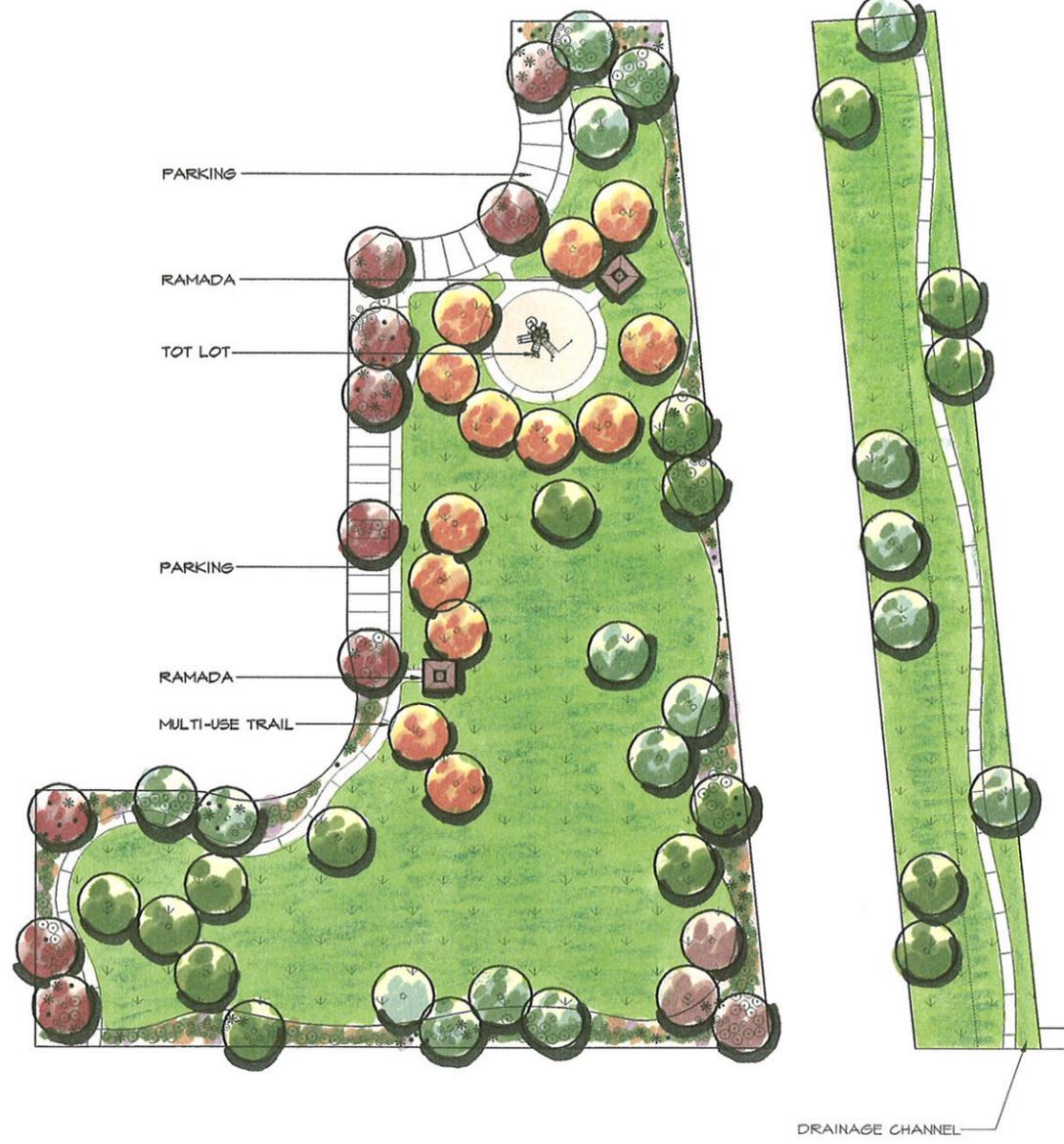
NOT TO SCALE



SCALE: 1" = 40'-0"

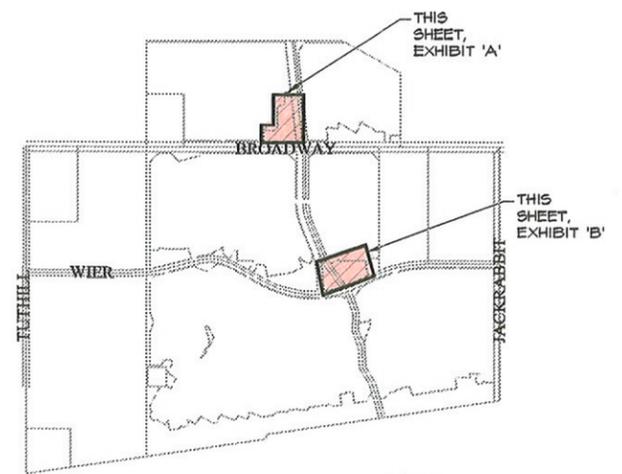
PINNACLE DESIGN, INC CONCEPTUAL OPEN SPACE AMENITIES - MAJOR PARK (EAST SIDE)
SOUTHWEST RANCH

4343 E. Camelback Rd
 Suite 100 Phoenix, AZ 85018
 Ofc: (602)952-8585 Fax: 952-8686
 Job # 03986
 JULY 24, 2003 REV. OCT. 21, 2003 REV. FEB. 25, 2004

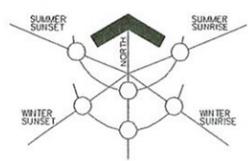


A MINOR PARK 'A'
SCALE: 1" = 40'-0"

B MINOR PARK 'B'
SCALE: 1" = 40'-0"



SHEET KEY MAP
NORTH
NOT TO SCALE

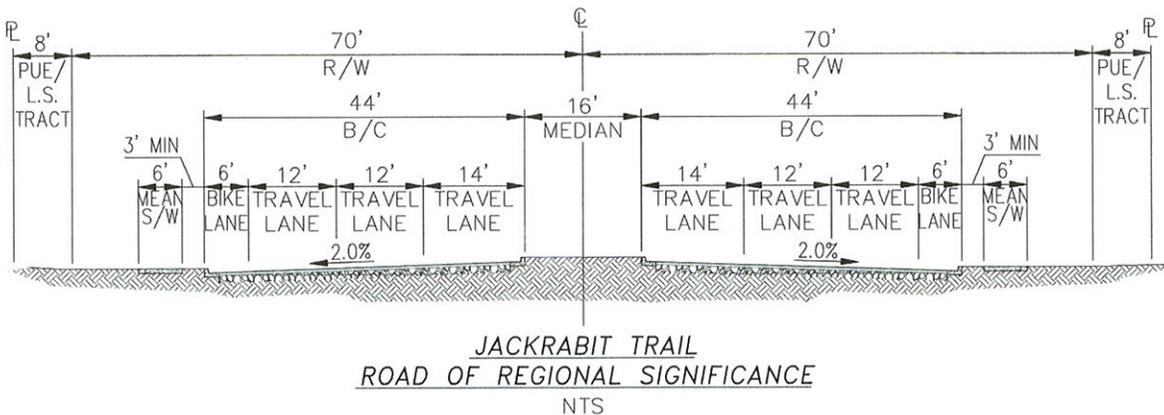
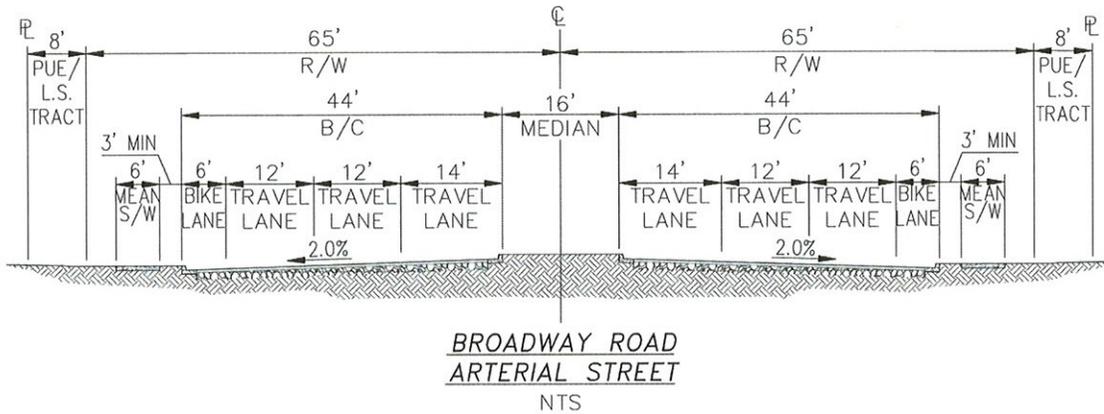
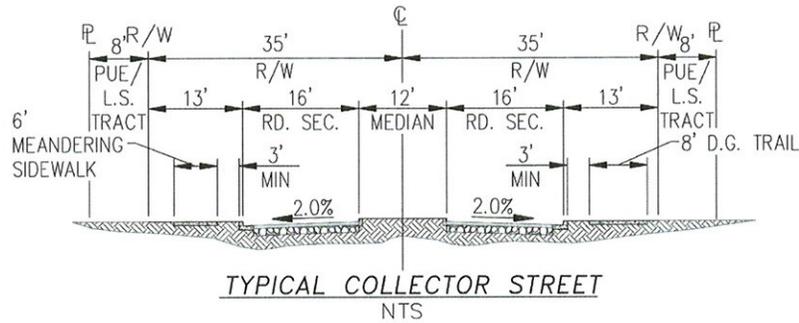
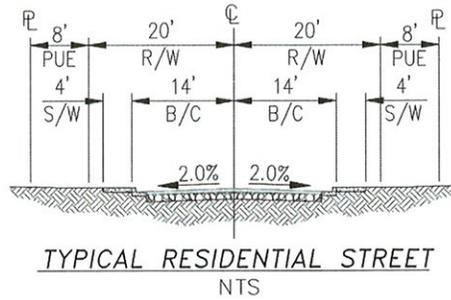


PINNACLE DESIGN, INC CONCEPTUAL OPEN SPACE AMENITIES - MINOR PARK
SOUTHWEST RANCH

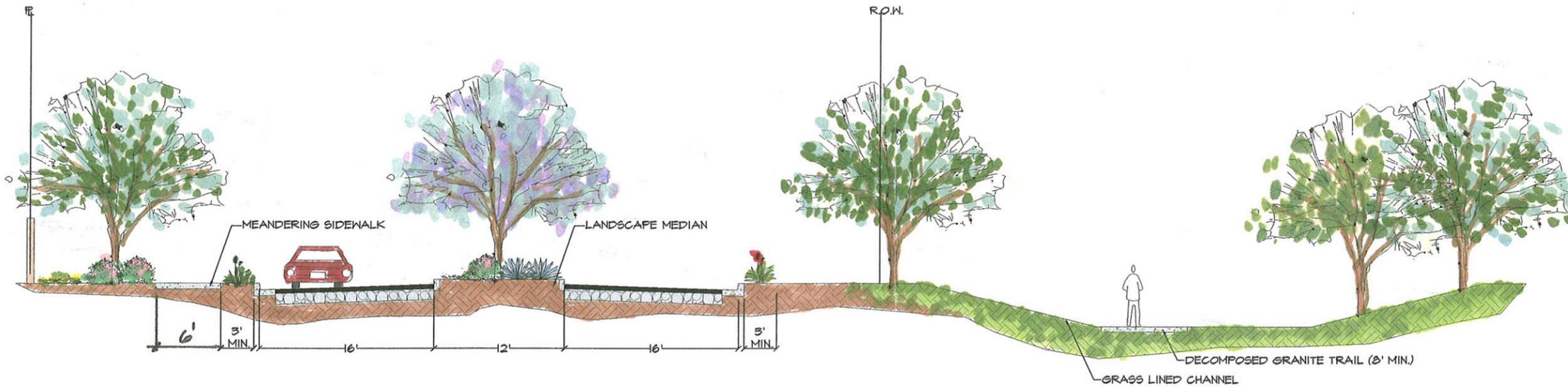
4343 E. Camelback Rd
Suite 100 Phoenix, AZ 85018
Off: (602) 952-8585 Fax: 952-8686
Job # 03988
JULY 20, 2008 REV. OCT 21, 2008

MASTER STREET AND CIRCULATION PLAN

The Traffic Impact Analysis (See Appendix) for the Southwest Ranch Community Master Plan describes existing conditions, projected traffic volumes and principal findings. Jackrabbit Trail is a Road of Regional Significance. Broadway Road is an Arterial road, and interior collector roads are sized to accommodate volumes projected by the study. Internal access to industrial sites may utilize local streets, or internal driveways for large site users. The **Master Circulation Plan** exhibit displays this information. The **Typical Street Sections** shown on pages 29, 30 and 31 provide the proposed widths of appropriate streets in the project.



Street Cross Sections, (Typical)

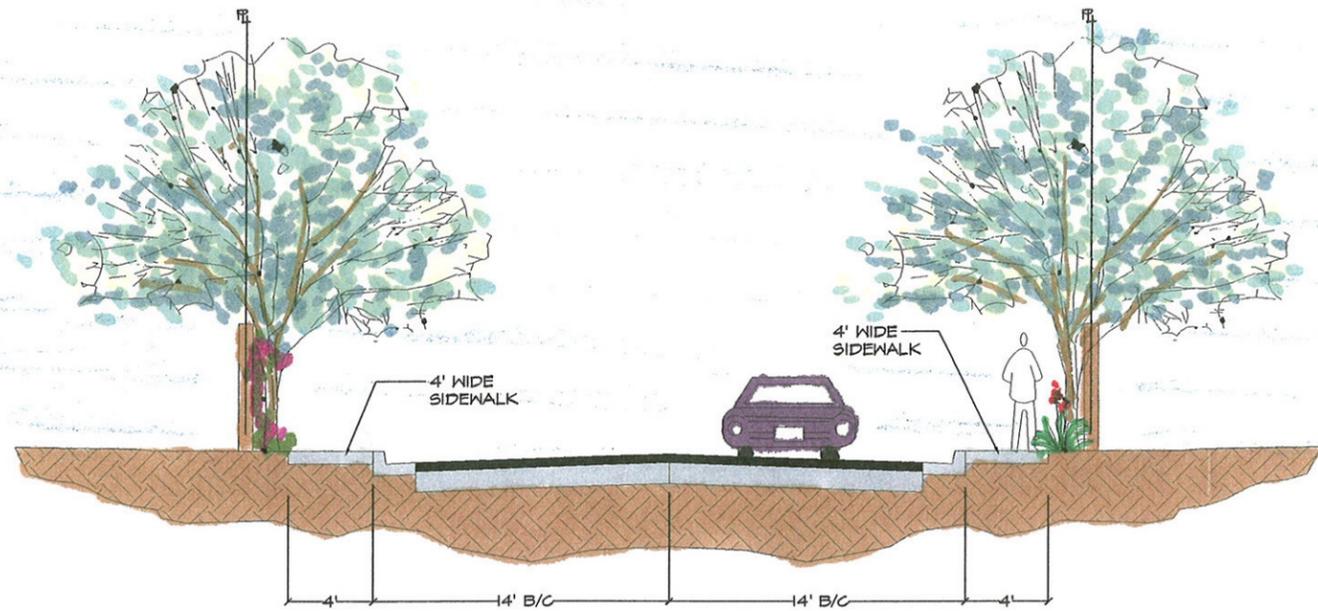


(A) WIER AND 198TH STREET SECTION
SCALE: 3/16" = 1'-0"

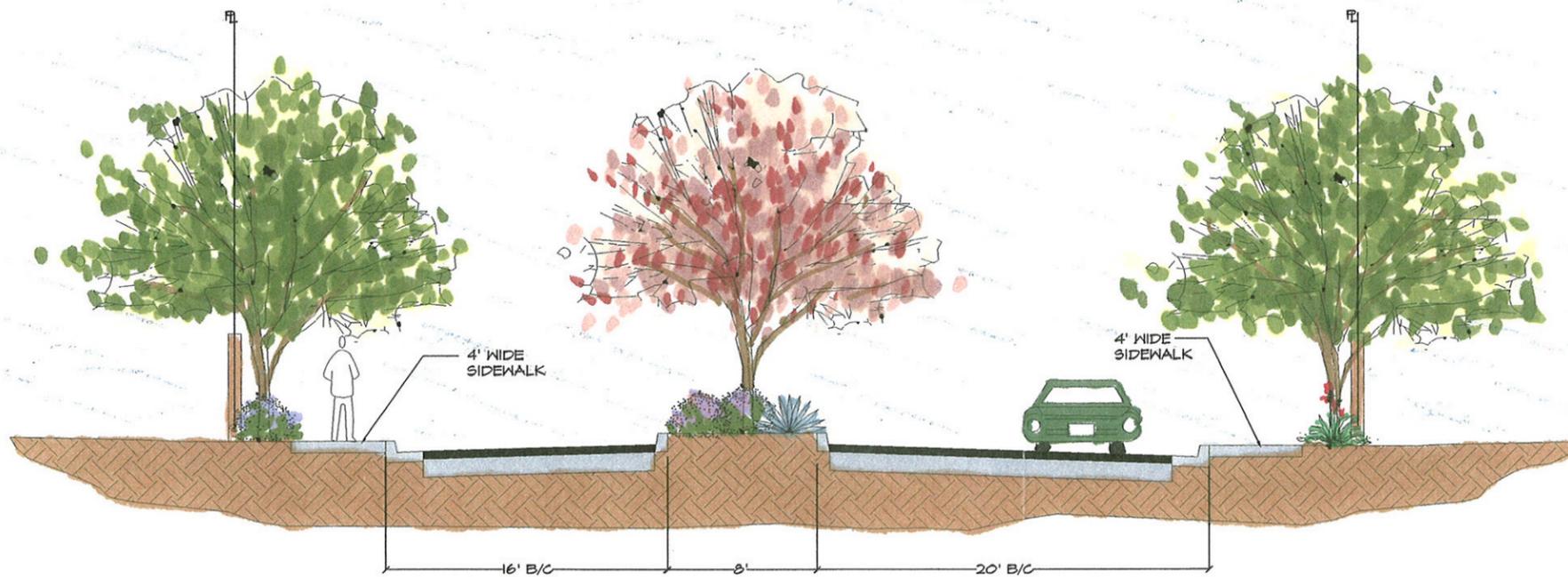


(B) BROADWAY AND JACKRABBIT STREET SECTION
SCALE: 3/16" = 1'-0"

PINNACLE DESIGN, INC CONCEPTUAL STREET SECTIONS
SOUTHWEST RANCH



C RESIDENTIAL STREET SECTION
SCALE: 1/4" = 1'-0"



D RESIDENTIAL STREET SECTION (ENTERING PARCEL)
SCALE: 1/4" = 1'-0"



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DESIGN, INC

CONCEPTUAL STREET SECTIONS SOUTHWEST RANCH

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Ofc: (602)952-8585 Fax: 952-8686
Job # 03066
JULY 20, 2005 REV. OCT 21, 2005

MASTER DRAINAGE PLAN AND REPORT

The purpose of the **Conceptual On-Site Drainage Plan** is to ensure that the Southwest Ranch development provides a minimum 100-year flood protection to habitable structures that satisfies local drainage criteria adopted by the Town of Buckeye and Maricopa County. The flood protection system considered both the potential of offsite flooding sources and the surface runoff generated by individual properties within the development. This was accomplished by evaluating the offsite flows using HEC-1, providing detention basins for a portion of the offsite flows, providing retention basins for all the onsite flows, and analyzing proposed solutions for floodplain issues and the routing of offsite flows. The results of this study will be used as a guideline for the detail design stage. The Complete Master Drainage Report is included in the Appendix.

Southwest Ranch

Conceptual Onsite Drainage Plan



LEGEND

- B* BASIN I.D.
- (2) DRAINAGE AREA NUMBER
- ~ EXISTING GRADE CONTOURS
- ← ONSITE RUNOFF
- DRAINAGE BOUNDARY
- ▨ DRAINAGE CORRIDOR



MASTER POTABLE WATER PLAN AND STUDY

The Master Potable Water System Plan and Study describes the preliminary design of the water system improvements required to serve the Southwest Ranch Master Planned Community. See the ***Conceptual Water Master Plan***.

On-site and off-site potable water facilities are proposed to serve the Southwest Ranch Master Planned Community. The storage, supply, and distribution requirements associated with the proposed Southwest Ranch development are detailed in the complete master plan report located in the Appendix.

Supply Facilities

Groundwater wells will be required to provide the water supply to the development. The wells will be required to satisfy the maximum day demand within an 18-hour pumping period. At a minimum, at least one redundant well will be required to provide a backup water supply.

Storage Facilities

One 1.4 million gallon storage tank will be required to meet the water storage requirements for the Southwest Ranch development. The tank will be an above ground storage reservoir approximately sixteen feet (16') high. The tank will be located north of Broadway Road within the single-family residential area and have a wall enclosure with landscaping for security and screening.

Booster Pump Facilities

The booster pump facilities for the development will be designed to meet the larger of the peak hour demands or the maximum day with fire flow demands. The booster pump facilities for this development will be capable of supplying 4,255 gpm in order to meet these criteria.

On-site and Off-site Improvements

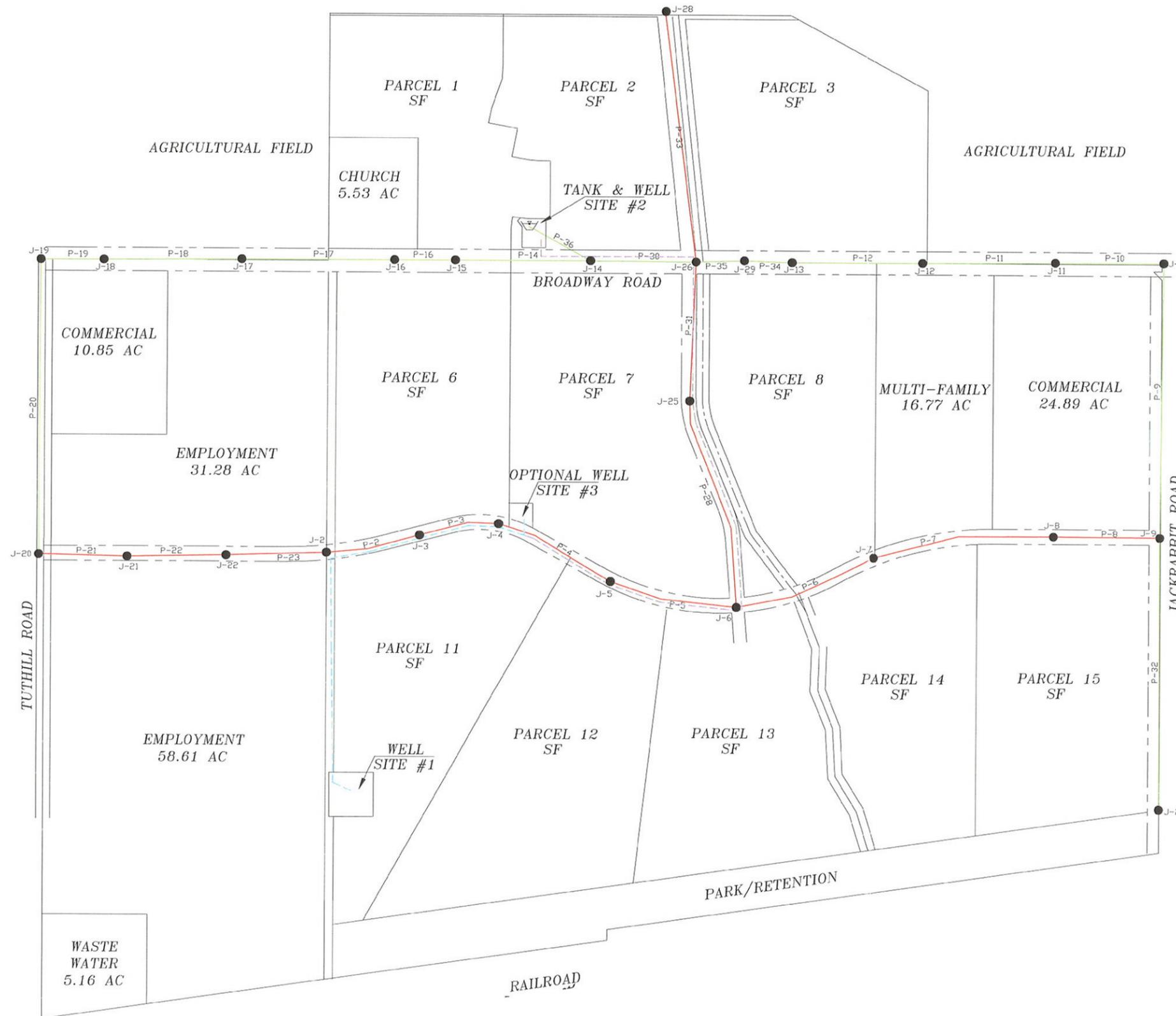
A discussion of on-site and off-site improvements is included in the master plan report.

With elevations varying from 900 to 950 feet, the Southwest Ranch project falls entirely within the Town of Buckeye's Pressure Zone 1. Waterlines have been sized with 16-inch diameter lines in the arterial streets and 12-inch diameter lines in the collector streets to facilitate connecting the water system to other developments in the future. It will, however, be operated as a stand-alone system in that zone, and there will be no provisions for zone separation.

The reliability of the proposed system is evaluated based upon five system reliability tests. These tests include: fire flow demand, peak hour storage, operating storage, emergency storage, and booster pump capacity. Results from these tests are used to establish the required supply, storage, and distribution improvements.

Southwest Ranch

Conceptual Water Master Plan



PIPE LEGEND

- 12" WATER LINE
- 16" WATER LINE
- - - 10" TRANSMISSION LINE
- - - 12" TRANSMISSION LINE



MASTER WASTEWATER PLAN AND STUDY

The proposed on-site wastewater collection system is designed to accommodate the wastewater flows from the Southwest Ranch Master Planned Community. In addition to Southwest Ranch, the system has also been sized to accept flows from various offsite developments. The system was specifically designed to meet the following standards: 350 gallons per single family dwelling unit, 2,000 gallons per acre per day for commercial and employment sites, and seven gallons per person per day for the church site. A detailed description of the wastewater collection system proposed for the site along with the projected onsite and offsite flows that will be served by the system, are provided in the ***Conceptual Sewer Master Plan***.

The wastewater generated from the Southwest Ranch Master Planned Community will be treated at a new wastewater treatment plant that will be constructed as part of the development. The proposed wastewater treatment plant will be constructed in the southwest corner of the Southwest Ranch site. The wastewater treatment plant will be designed such that its capacity can be expanded in order to serve developments in the surrounding areas if needed.

Southwest Ranch

Conceptual Sewer Master Plan



PIPE LEGEND

	8" SEWER LINE
	10" SEWER LINE
	12" SEWER LINE
	15" SEWER LINE
	18" SEWER LINE
	24" SEWER LINE
	30" SEWER LINE
	33" SEWER LINE
	OFFSITE SEWER LINE



DEVELOPMENT STANDARDS

The purpose of this Development Standards section is to ensure that there is a workable, complete and enforceable instrument in place, which implements the concept of distinction for Southwest Ranch. The standards must be clear and concise to assist the Town in implementing the standards and enforcing regulations for the duration of the community's existence.

Southwest Ranch will use a variety of tools to assure the development is an asset to the Town of Buckeye and to the residents that have the opportunity to live, work and play in the master planned community. The Community Master Plan for Southwest Ranch sets the framework for the implementation of these regulations and guidelines. The governance tools, such as design guidelines, architectural control, covenants, conditions and restrictions, and homeowners' associations will provide a means to establish an enforceable structure as the project develops over the next few years.

The purpose of the general development standards and guidelines contained in the Southwest Ranch CMP is not to restrict imagination, innovation or variety, but rather to assist in focusing on those elements of design which can produce creative solutions that will develop a visual appearance that preserves property values, limits incompatibilities and promotes the public health, safety and general welfare. The use, construction, improvement or other development of any portion of the property within the Southwest Ranch CMP shall be subject to the property development standards contained in the CMP.

The procedures and requirements contained in the Southwest Ranch CMP prevail over regulations in the Town of Buckeye Development Code. Administrative procedures as well as provisions contained in the Development Code not covered by the Southwest Ranch CMP remain applicable to development within the property. In the event of a conflict between the provisions of the Southwest Ranch CMP and the Town of Buckeye Development Code, the provisions of the Southwest Ranch CMP shall prevail.

LAND SUBDIVISION

DEFINITION

Consistent with the Town of Buckeye Development Code, Land Subdivision shall mean: "Improved or unimproved land divided for the purpose of financing, sale, or lease, whether immediate or future, into four or more lots, tracts or parcels of land, or if a new street is involved, any such property which is divided into two or more lots, tracts or parcels of land, or, any such property, the boundaries of which have been fixed by a recorded plat, which is divided into more than two parts."

GENERAL PROVISIONS

Land to be subdivided shall be of such character that it can be used for building purposes without danger to health or peril from fire, flood or other menace, and land shall not be subdivided until available public facilities and improvements are shown on approved plans and/or proper provision has been made for drainage, water, wastewater, streets and public facilities.

LAND SPLITS

Consistent with the Town of Buckeye Development Code, Land Splits are defined as: The division of property, the boundaries of which have been fixed by a recorded plat into two (2) or more parcels; or the division of improved or unimproved land into two (2) or three (3) parcels of land for the purpose of sale or lease. Land splits are regulated for the purpose of ensuring each parcel of land within the Town has sufficient public access, provision for water and waste disposal, adequate parcel size and dimensions for the use intended and availability of public services.

The following requirements shall be met for any land split within the jurisdiction of the Southwest Ranch CMP:

- (a) Parcel size and dimensions shall meet the requirements of the applicable development standards set forth in the Southwest Ranch CMP.
- (b) Adequate access for ingress/egress shall be provided.
- (c) Adequate provision for utilities, including electric, water and wastewater service shall be available and such availability shall be indicated on a survey submitted with a request for a land split.

The Planning Director shall approve a request for a land split if the application meets all the requirements as stated in this section.

PRELIMINARY PLAT

Significance of Preliminary Plat Approval

The Development Board shall approve preliminary plats only. Preliminary plat approval constitutes authorization to proceed with preparation of the final plat and the engineering plans and specifications for public improvements. Preliminary plat approval is based on the following terms:

- (a) The basic conditions under which approval of the preliminary plat is granted will not be substantially changed prior to the expiration date of the preliminary plat.
- (b) Approval is valid for a period of twelve (12) months from the date of Development Board approval to the date of submittal to the Town of a final plat. Six (6) month extensions of the preliminary plat approval may be granted by the Planning Director upon receipt of a letter from the applicant, prior to the expiration date, indicating proper cause. A maximum of two (2) extensions shall be granted by administrative approval as a matter of course.

Required Information for Preliminary Plat.

The information required as part of the preliminary plat submittal shall be shown graphically, by note on plans, or by written report, and may comprise several sheets showing various elements of required data. All mapped data for the same plat shall be drawn at the same standard engineering scale, said scale having not more than one hundred (100) feet to an inch. Whenever practical, the scale shall be adjusted to produce an overall drawing sheet measuring twenty-four (24) by thirty-six (36) inches. Submittals for preliminary plats shall include the following information:

(a) Identification and Descriptive Data

Proposed name of subdivision and its location by section, township and range; reference by dimension and bearing to a section corner or quarter section corner.

Name, address and phone number of applicant.

Name, address and phone number of person preparing plat.

Scale, north point and date of preparation, including dates of any subsequent revisions.

A vicinity map which shall show the project relationship of the proposed subdivision to existing major and collector streets.

A hydraulic analysis of the proposed water system prepared by a registered engineer with demonstrates that minimum fire flow and water service criteria for that preliminary plat will be met.

A sewer report by a registered engineer which demonstrates that all lots within the proposed subdivision can be served while meeting the Town's minimum requirements for pipe slope and depth.

An ALTA survey.

(b) Existing Conditions Data

Topography by contours or spot elevations related to U.S.G.S. survey datum, or other datum approved by the Town Engineer, shown on the same map as the proposed subdivision layout. Contour intervals shall be such as to adequately reflect the character and drainage of the land.

Location of water wells, streams, canals, irrigation laterals, private ditches, washes, lakes or other water features; direction of flow; location and extent of areas subject to inundation, whether such inundation be frequent, periodic or occasional.

Location, widths and mains of all platted streets, railroads, utility right-of-way of public record, public areas, permanent structures to remain, including Town utilities and municipal corporation lines within or adjacent to the tract. Two (2) copies of a preliminary title report showing the above shall be submitted.

Name, book and page numbers of adjacent subdivisions, along with county assessor number of all adjacent parcels having a common boundary with the tract.

By note, the existing land use district classification of the subject and surrounding tracts.

By note, the acreage of the subject tract.

Boundaries of the tract to be subdivided shall be delineated and fully dimensioned.

(c) Proposed Conditions Data

Typical lot dimensions (scaled); dimensions of all corner lots and lots of curvilinear sections of streets; each lot numbered individually; total number of lots.

Typical lots showing building footprints/envelopes dimensioned, with proposed setbacks.

Street layout, including location, width of public and private streets, alleys, crosswalks, and easements; connections to adjoining platted lots.

Locations, width and use of easements.

Designation of all land to be dedicated or reserved for public use with use indicated.

Proposed water, sewer and non-potable water lines with respective sizes; locations of valves and fire hydrants.

Any updates to completed Master Plans necessary because of changes affecting potable water, wastewater, drainage or street and circulation infrastructure.

(d) Proposed Utility Methods

Statement as to the type of wastewater disposal facilities and effluent re-use facilities, in general conformance to the Wastewater Master Plan.

Statement as to type of potable water facilities and the existence of a one hundred (100) year assured water supply as required by the Arizona Department of Water Resources, in general conformance with the respective Potable Water Master Plan.

Preliminary Drainage Report, which includes hydrologic calculations, the layout of the proposed drainage system and locations of retention/detention areas, in general conformance with the Drainage Master Plan.

Statement as to provision of other utilities being supplied to the plat area such as electric, phone, gas and irrigation.

FINAL PLAT

General Requirements for Filing

(a) The final plat shall substantially conform, as determined by the Planning Director, to the approved preliminary plat.

(b) Land uses proposed shall be in conformance with the CMP.

(c) Prior to the filing of the final plat, the applicant shall obtain approval from the applicable utility interests for easement location and width as required for utility purposes.

Required Information For Final Plat. The final plat shall be drawn with India ink on mylar, or otherwise printed with equivalent quality and characteristics, having a left-hand margin of two (2)

(2) inches on a sheet size of twenty-four (24) by thirty-six (36) inches. If more than two (2) sheets are required for the drafting of the final plat, an index sheet shall be filed showing the entire subdivision on one sheet and the portion thereof contained on the other sheets. Copies of the final plat shall be reproduced in the form of blue or black line prints on a white background. The final plat shall be drawn to a scale not to exceed one (1) inch equals two hundred (200) feet from an accurate survey.

(a) Identification Data Required

A title, which includes the name of the subdivision and its location by number of section, township, range and county.

Name, address and registration number of seal of the registered civil engineer or registered land surveyor preparing the plat.

Scale, north arrow and date of plat preparation.

(b) Survey Data Required

Boundaries of the tract to be subdivided fully balanced and closed, showing all bearings and distances; determined by an accurate survey in the field. All dimensions shall be expressed in feet and decimals thereof.

Any excepted parcel(s) within the plat boundaries shall show all bearings and distances, determined by an accurate survey in the field. All dimensions shall be expressed in feet and decimals thereof.

Location and description of cardinal points to which all dimensions, angles, bearings and similar data on the plat shall be referenced; each of two (2) corners of the subdivision traverse shall be tied by separate course and distance to separate section corners or quarter section corners.

Location of all physical encroachments upon the boundaries of the tract.

(c) Descriptive Data Required

Name, right-of-way lines, courses, lengths, width of all public streets, crosswalks and utility easements; radii, points of tangency and central angles of all curvilinear streets; radii of all rounded street line intersections.

All drainageways shall be shown on the plat. The rights-of-way of all major drainageways, as designated by the Town Engineer, shall be dedicated to the public.

All easements for rights-of-way provided for public services or utilities and any limitations of the easements.

Location and dimensions of all lots.

All lots shall be numbered by consecutive numbers through the final plat. "Exceptions", "tracts" and "private parks" shall be so designated, lettered or named and clearly dimensioned.

Location, dimensions, bearings, radii, arcs and central angles of all sites to be dedicated to the public with the use clearly indicated.

Location of all adjoining subdivisions with date, book and page number of recordation noted, or if unrecorded or unsubdivided, so marked.

Master Covenants, Conditions and Restrictions for Southwest Ranch shall be referenced on the final plat.

(d) Dedication and Acknowledgement

Dedication: Statement of dedication of all streets, crosswalks, drainageways, pedestrian ways and other easements for public use by the person(s) holding title of record, by persons holding titles as vendees under land contract, by spouse of said parties, lienholder and all other parties having an interest in the property. If lands dedicated are mortgaged, the mortgagee shall also sign the plat. Dedication shall include a written location by section, township and range of the tract.

Acknowledgment of Dedication: Execution of dedication acknowledged and certified by a notary public.

(e) Required Certification

Certification by the registered civil engineer or registered land surveyor making the final plat, that the final plat is correct and accurate and that the monuments described in it have either been set or located as described. The certificate shall be accompanied by the signature and seal of such civil engineer or surveyor.

Certification by the Administrator that all lots shown upon the final plat conform to the Southwest Ranch CMP and are suitable for the purpose for which they are subdivided.

Certification by the Town Engineer that all engineering conditions and requirements of the Southwest Ranch CMP have been complied with.

Certification by the Town Clerk of the date the final plat was approved by the Town Council.

SUBDIVISION DESIGN STANDARDS

All subdivisions within the Property shall meet or exceed the minimum development standards set forth in the Southwest Ranch CMP.

ENGINEERING AND CONSTRUCTION PLANS

It shall be the responsibility of the subdivider to have prepared by a registered professional engineer who is licensed to practice in the State of Arizona, a complete set of engineering plans and a Final Drainage Report in accordance with all applicable Town codes and the Southwest Ranch CMP, for the construction of all required subdivision improvements.

Such plans and Final Drainage Report shall be in conformance with the approved preliminary plat and Preliminary Drainage Report.

The Town Engineer shall approve the engineering plans and Final Drainage Report unless they fail to conform to one or more requirements of the Southwest Ranch CMP, or the plans differ substantially from the approved preliminary plat and Preliminary Drainage Report.

The submittal shall also include a Conceptual Design Report for the water and wastewater facilities. The Town's water and wastewater design guidelines shall be addressed.

RESPONSIBILITY FOR PUBLIC IMPROVEMENTS

Financial Guarantee

The Town Council shall require the subdivider to guarantee that all required improvements will be completed in a manner satisfactory to the Town using either of the following methods:

(a) As the preferred method, the Town Council may approve a Final Plat and the Planning Director may record the Final Plat but withhold the issuance of a Certificate of Occupancy until such time that all required subdivision improvements have been completed. However, certificates of occupancy may be granted for model homes prior to completion of improvements as long as fire protection and paved access have been provided to the model(s). Certificates of Occupancy may be released for each phase in phased subdivisions.

(b) As an alternative procedure to Subsection (a) above, a performance bond, an irrevocable letter of credit, assurance of construction of subdivision improvements, funds in a restricted escrow account or other financial guarantee approved by the Town Attorney prior to the recording of the final plat may be used.

The financial guarantee shall be one hundred (100) percent of the cost of the labor and materials necessary to complete the required subdivision improvements, based upon a construction cost estimate prepared by a registered professional engineer who is licensed to practice in the State of Arizona.

(c) In the event the developer desires to have a certificate of occupancy issued for a home prior to the completion of all improvements, such certificates of occupancy shall be granted as long as a financial guarantee for the estimated amount of the improvements remaining to be completed is put in place to replace the hold on the certificates of occupancy. In no case shall a certificate of occupancy be issued if uncompleted work poses a health or safety concern.

(d) The Town shall within a reasonable time from the date of the completion and acceptance of the required improvements, as defined in the following Section 2, Inspection of Improvements, release (or in the case of a letter of credit, accept a substitute letter of credit) such financial guarantee posted for the accepted improvements.

Inspection of Improvements

The Town Engineer shall inspect all required improvements and certify that they comply with all specifications as set forth in the approved improvement plans. Consistent with the Development Agreement, such certification shall constitute acceptance of the required improvements by the

Town. A letter of acceptance from the Town shall follow to confirm date of inspection and acceptance. Requirements of as-built plans shall not delay final acceptance.

Warranty of Improvements

The subdivider shall guarantee all of the required improvements or public facilities against defective workmanship and for materials for a period of one (1) year from the date of Town's Acceptance of such improvements or facilities.

DEVELOPMENT SITE PLANS

Development Site Plans shall be required for all developments within the Property with the exception of subdivision plats and single-family homes. Development Site Plans shall be submitted to and approved by the Development Board prior to issuance of a building permit upon showing that the Development Site Plan meets the development standards set forth in the CMP.

GENERAL LAND DEVELOPMENT STANDARDS

SETBACK AND HEIGHT EXCEPTIONS

Single-family residential building setbacks shall be comprised of 5' and 8' for interior side lot lines, with 5' and 10' sides for corner lots. Front setbacks shall be 18'-21' (staggered) from the right-of-way line to the front of the garage door, with 12'-15' (staggered) from the right-of-way line allowed for living area only. If a side entry garage is proposed, a 10'-12' (staggered) building setback from the right-of-way is permitted. Rear lot building setbacks shall be 18'-20' (staggered). Maximum building height of residential structures shall be 30'.

Structure projections (not limited to bay windows, balconies, overhangs, fireplaces, etc.) will be allowed to extend two feet (2') on side yards and three feet (3') on front yards beyond the setback line, provided that the sum of such projections on any wall does not exceed one-third (1/3) the length of the wall. Covered patios open on three (3) sides shall be allowed to extend into setbacks up to minimum of fifteen feet (15') from the rear property line. Further projections may be allowed by the Planning Director for buildings over two (2) stories provided that such projections will not adversely impact adjacent properties.

Multi-family residential structures shall have a maximum height of 40' and three stories measured from finished grade. Front and side landscaped area adjacent to a street shall be 10' of landscaped area when parking is nearest the right-of-way. Buildings shall have a 20' setback from front and street sides, with a minimum of 15' adjacent to side or rear property lines. Individual buildings will have a minimum separation of 20'.

Commercial and Employment structures shall have a 10' landscaped area between right of way and parking area, with a 20' required building setback from right of way, or rear lot lines. Structures will have a maximum building height of 45 feet from finished grade. 0 side setback between buildings will be permitted.

The height regulations of this CMP shall not apply to spires, belfries, chimneys, cooling towers, elevator bulk heads, fire towers, monuments, stacks, radio or television aerials, cellular/digital communication facilities, ornamental towers or necessary mechanical structures provided that

the above features do not exceed seventy five (75) feet in height from finished grade. If such features are attached to a building, they shall not occupy a horizontal area in excess of twenty-five (25) percent of the entire roof area of the building. The height regulations of this CMP shall not apply to hospitals, signature architecture or water tanks.

RESIDENTIAL ACCESSORY BUILDINGS

Accessory buildings shall be located to the rear of the principal building.

Accessory buildings shall not: exceed the height of the primary residence; if detached, be located within ten feet (10') of the primary residence and/or be constructed prior to the construction of the primary residence. Accessory buildings shall be located at least 5 feet from adjacent property lines.

AIR QUALITY

Air quality within the Town of Buckeye is a natural asset. It is the intent of the CMP to maintain air quality by controlling dust caused by new development and motor vehicle traffic.

Maricopa County air quality regulations shall be adhered to for all construction activities on the project property.

Development plans shall be designed to reduce traffic flows and encourage efficient traffic circulation.

Vacant property which is not in its natural vegetative state and which was not disturbed prior to the adoption of this CMP shall be controlled to minimize dust emissions beyond the boundaries of the site.

Air blowers used for landscape maintenance having a fifty (50) cubic centimeter engine or larger shall be prohibited.

BUILDING CONSTRUCTION

All construction or work for which a permit is required shall be subject to inspection by the Building Inspector, in accordance with the applicable provisions of the Uniform Building Code. The following uniform codes, by reference, are made part of this CMP. In the event that the Town adopts an updated version of any of the following uniform codes, the most recently adopted revision shall prevail.

UNIFORM BUILDING CODE, 1997 edition, published by the International Conference of Building Officials,

NATIONAL ELECTRICAL CODE, 1996 edition, published by the National Fire Protection Association,

UNIFORM PLUMBING CODE, 1997 edition, published by the International Association of Plumbing and Mechanical Officials,

UNIFORM MECHANICAL CODE, 1997 edition, published by the international Association of Plumbing and Mechanical Officials,

UNIFORM FIRE CODE, 1997 edition, published by the International Conference of Building Officials and the Western Fire Chiefs Association,

UNIFORM CODE FOR THE ABATEMENT OF DANGEROUS BUILDINGS, 1997 edition, published by the International Conference of Building Officials and all supplements to said codes.

The design and construction of buildings shall be under the supervision of licensed engineers, contractors and architects when required by applicable law. The Town shall enforce and require adherence to state laws governing such and may refuse to issue permits if documentation on licensing requirements is not provided.

FLOOD CONTROL

The Flood Control District of Maricopa County (the FCD) is responsible for all floodplain management activities within the corporate limits of the Town. The FCD is authorized to exercise the powers and duties set forth in Title 45, Chapter 10, Article 4, Arizona Revised Statutes.

Drainage Provisions

- (a) Provision for drainage shall meet the requirements of the Uniform Drainage Policies and Standards for Maricopa County except as modified herein or as modified by the Town of Buckeye. Drainage facilities shall be installed to provide for the adequate containment and disposal of surface water for the project property. Stormwater retention and/or detention facilities shall be provided as necessary, to assure that the post development peak runoff will not exceed the pre-development peak runoff leaving the property.
- (b) Prior to approval of any commercial, industrial, or residential development, a drainage report shall be submitted to and approved by the Town Engineer.
- (c) Drainage approval shall be required prior to permit issuance for any development of substantial improvement, which may have an adverse effect on existing drainage.

Drainage Design

- (a) The entire drainage detention/retention and runoff conveyance system shall be designed to eliminate or minimize storm water runoff effects and convey the runoff through the development with minimum detrimental effect. No system shall be approved if the effect may cause an increase in the peak discharge or velocity of runoff or change the point of entry of drainage onto adjacent properties during the runoff event.
- (b) The rainfall event based upon the one hundred (100) year storm frequency, generating the peak discharge for the area contributing runoff to the development, shall be used in designing the overall drainage system. The 100-year, 2-hour storm shall be retained on-site.
- (c) Detention/Retention of Storm Drainage:

The detention/retention system shall be designed to retain the increase in runoff volume due to development and reduce the post-development peak discharge to less than or equal to the pre-development peak discharge.

On-site detention/retention facilities may include natural depressions, underground retention, human-made basins, or channels. Dry wells are permitted.

Individual lot detention/retention shall not be permitted on residential lots with a lot size less than one-half (1/2) acre, except in conjunction with multi-family residential development.

A public utility easement shall not be designated for detention/retention without approval of affected utility companies.

Off-site drainage shall be either to the street or to a designated wash or drainage structure with adequate capacity and outfall.

Detention/retention can occur in public areas and parks. This does not include Town right-of-way.

(d) Storm Water Disposal:

On-site runoff that has been detained/retained shall be disposed of within thirty-six (36) hours by either percolation, drywells, catch basins, or drainage into an approved drainage-way. One hundred (100) year peak discharge flows from the project property shall not exceed pre-development flows and shall be in the location and direction of the historic off-site flows.

e) Finished Floor Elevation

Finished floors shall be elevated a minimum of fourteen (14) inches above the low adjacent top of curb or lot outfall elevation, or twelve (12) inches above the computed one hundred (100) year water surface elevation, whichever is greater. A finished floor elevation may be other than the minimum permitted provided it is determined by technical data certified by a registered professional engineer who is licensed to practice in the State of Arizona to be the minimum necessary to be safe from inundation by the one hundred (100) year peak discharge flow. Finished floor elevation shall be referenced at a known benchmark.

LANDSCAPING

The landscaping elements of the project will be specified and approved prior to final plat approval. At a minimum, the landscape plant palette will be based upon the approved Arizona Department of Water Resources list and the recommended plant palette list for Southwest Ranch identified in the following table. The plant palette may expand upon this list to allow greater flexibility in design concepts while ensuring environmental sensitivity. Any addition to the plant palette is to be approved by Town staff and considered a minor amendment to the CMP. The landscape palette will appropriately provide for botanical diversity given the regional context of the project site.

BOTANICAL NAME	COMMON NAME
<u>TREES</u> <i>Dalbergia sissoo</i> <i>Eucalyptus erythrocorys</i> <i>Eucalyptus papuana</i> <i>Fraxinus velutina</i> 'Rio Grande' <i>Jacaranda mimosifolia</i> <i>Nerium oleander standard</i> <i>Olea europaea</i> 'Swan Hill' <i>Pinus eldarica</i> <i>Pistacia chinensis</i> <i>Quercus virginiana</i> <i>Schinus terebinthifolius</i> <i>Ulmus parvifolia</i>	Sissoo Tree Redcap Gum Ghost Gum Fantex Ash Jacaranda Standard Oleander Swan Hill Olive Mondel Pine Red Push Pistache Heritage Oak Brazilian Pepper Evergreen Elm
<u>SHRUBS</u> <i>Bougainvillea sp.</i> <i>Buddleia marrubifolia</i> <i>Caesalpinia sp.</i> <u>SHRUBS Cont.</u> <i>Calliandra californica</i> <i>Dalea sp.</i> <i>Dodonaea sp.</i> <i>Eremophila sp.</i> <i>Leucophyllum sp.</i> <i>Ruellia sp.</i> <i>Simmondsia chinensis</i> <i>Tecoma stans</i>	Bougainvillea Butterfly Bush Mexican Bird of Paradise Baja Fairy Duster Dalea Hopseed Bush Valentine Bush Texas Sage Ruellia Jojoba Orange Jubilee
<u>ACCENTS</u> <i>Agave sp.</i> <i>Asclepias subulata</i> <i>Hesperaloe sp.</i> <i>Muhlenbergia sp.</i> <i>Yucca sp.</i>	Agave Desert Milkweed Hesperaloe Deer Grass Yucca
<u>VINES</u> <i>Bougainvillea sp.</i> <i>Macfadyena unguis-cati</i> <i>Rosa Banksiae</i>	Bougainvillea Cat's Claw Vine Lady Bank's Rose
<u>GROUNDCOVER</u> <i>Baccharis starn hybrid</i> <i>Baileya multiradiata</i> <i>Convolvulus cneorum</i> <i>Hymenoxys acaulis</i> <i>Juniperus sp.</i> <i>Lantana sp.</i> <i>Portulacaria afra</i> <i>Penstemon sp.</i> <i>Rosmarinus sp.</i>	Thompson Baccharis Desert marigold Bush Morning Glory Angelita Daisy Juniper Lantana Elephant's Food Penstemon Rosemary

Landscape Palette

- 1) All commercial business and industrial uses shall provide landscaping within the front setback area or between the buildings and the street frontage whichever is less. On corner lots, landscaping should be provided on both street frontages within the setback area or between the buildings and the street frontages, whichever is less.
- 2) The developer or sub divider shall provide landscaping between public roadway improvements and adjacent property lines, except in front yards that will be the responsibility of the individual homeowner. In the event that the homebuilder provides front yard landscaping, the landscaping package shall be provided to Town staff.
- 3) All landscaping improvements shall include a suitable method for irrigation.
- 4) Trees and landscaping may be allowed in the public right-of-way, subject to applicable governmental regulations.
- 5) Landscaping allowed within sight distance triangle areas, as defined by Town ordinance, in the public right-of-way shall be a maximum height of three (3) feet. Landscaping in the public right-of-way not within sight distance triangle areas may exceed three (3) feet in height. Trees within sight distance triangle areas may be allowed in the public right-of-way, if branches are trimmed up to six (6) feet above ground level. The Town Engineer shall have the authority to order removal of any landscaping or trees that, in the opinion of the Town Engineer, pose a hazard to the public.

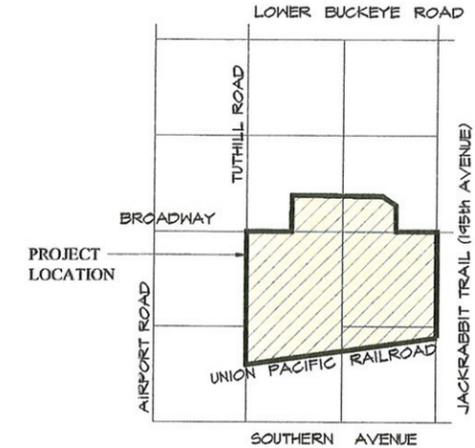
See the **Conceptual Open Space Amenities**, **Conceptual Major Park** and **Conceptual Minor Park Exhibits** for conceptual ideas for the amenities for the project.

SOUTHWEST RANCH

Broadway and Jackrabbit Buckeye, Arizona PRELIMINARY LANDSCAPE PLAN



4343 E. Camelback Rd
Suite 100 Phoenix, AZ 85018
Ofc: (602)952-8585 Fax: 952-8886



NOT TO SCALE

PROJECT CONSULTANTS

DEVELOPER:
HARVARD INVESTMENTS
7600 E. DOUBLETREE RANCH RD. STE. 220
SCOTTSDALE, AZ 85258
CONTACT: CHRIS CACHERIS
PHONE: 480.348.1118

LANDSCAPE ARCHITECT:
PINNACLE DESIGN, INC.
4343 EAST CAMELBACK, STE. 100
PHOENIX, AZ 85018
CONTACT: BILL FRANCIS
PHONE: 602.952.8585

VICINITY MAP

PLANT LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES				SHRUBS			
	DALBERGIA SISSOO	SISSO TREE	24" BOX		BOUGAINVILLEA SP.	BOUGAINVILLEA	5 GAL.
	EUCALYPTUS ERYTHROCORYS	REDCAP GUM	24" BOX		BUDDLEIA MARRUBIFOLIA	BUTTERFLY BUSH	5 GAL.
	EUCALYPTUS PAPUANA	GHOST GUM	24" BOX		CAESALPINIA SP.	BIRD OF PARADISE	5 GAL.
	FRAXINUS VELUTINA 'RIO GRANDE'	FAN-TEX ASH	24" BOX		CALLIANDRA CALIFORNICA	BAJA FAIRY DUSTER	5 GAL.
	JACARANDA MIMOSIFOLIA	JACARANDA	24" BOX		DALEA SP.	DALEA	5 GAL.
	NERIUM OLEANDER STANDARD	STANDARD OLEANDER	24" BOX		DODONAEA SP.	HOPSEED BUSH	5 GAL.
	OLEA EUROPAEA	SWAN HILL OLIVE	24" BOX		ERENOPHILA SP.	VALENTINE BUSH	5 GAL.
	PINUS ELDARICA	MONDEL PINE	24" BOX		LEUCOPHYLLUM SP.	TEXAS SAGE	5 GAL.
	PISTACIA CHINENSIS	RED FUSH PISTACHE	24" BOX		RUELLIA SP.	RUELLIA	5 GAL.
	QUERCUS VIRGINIANA	HERITAGE OAK	24" BOX		SIMMONDSIA CHINENSIS	JOJOBA	5 GAL.
	SCHINUS TEREBINTHIFOLIUS	BRAZILIAN PEPPER	24" BOX		TECOMA STANS	ORANSE JUBILEE	5 GAL.
	ULMUS PARVIFOLIA	EVERGREEN ELM	24" BOX	ACCENTS			
					AGAVE SP.	AGAVE	5 GAL.
					ASCLEPIAS TUBEROSA	DESERT MILKWEED	5 GAL.
					HESPERALOE SP.	HESPERALOE	5 GAL.
					MUHLENBERGIA SP.	DEER GRASS	5 GAL.
					YUCCA SP.	YUCCA	5 GAL.
				VINES			
					BOUGAINVILLEA SP.	BOUGAINVILLEA	5 GAL.
					MACFADYENA UNGUIS-CATI	CAT'S CLAW VINE	5 GAL.
					ROSA BANKSAE	LADY BANK'S ROSE	5 GAL.
				GROUND COVER			
					BACCHARIS STARN HYBRID	THOMPSON BACCHARIS	1 GAL.
					BAILEYA MULTIRADIATA	DESERT MARIGOLD	1 GAL.
					CONVOLVULUS CNEORUM	BUSH MORNING GLORY	1 GAL.
					HYMENOXYS ACALIFOLIA	ANGELITA DAISY	1 GAL.
					JUNIPERUS SP.	JUNIPER	1 GAL.
					LANTANA SP.	LANTANA	1 GAL.
					PORTULACARIA AFRA	ELEPHANT'S FOOT	1 GAL.
					PENSTEMON MIX	PENSTEMON	1 GAL.
					ROSMARINUS SP.	ROSEMARY	1 GAL.
				TURF			
					HYBRID BERMUDA	HYDROSEED	
				ANNUALS			
				IN SEASON			
				INERT GROUND COVER			
					DECOMPOSED GRANITE	EXPRESS BROWN	3/4" SCREENED
				STABILIZED DECOMPOSED GRANITE 4' WIDE PATH			
					SELECT GRANITE BOULDERS		5'X5' MIN.
					PIT RUN ROCK		4" - 8" MIN.
					CONCRETE HEADER	PLAIN CONCRETE	4" X 6"

NOTES:
1. CONTRACTOR TO VERIFY ALL QUANTITIES.
2. CONTRACTOR TO PROVIDE DECOMPOSED GRANITE SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL.

THIS DRAWING AND ANY ELECTRONIC MEDIA IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF PINNACLE DESIGN, INC. WITHIN THE PROJECT FOR WHICH THIS DRAWING IS MADE. NO PART OF THIS DRAWING IS TO BE USED BY THE OWNER OR OTHER PROJECT OR EXTENSIONS OF THIS PROJECT WITHOUT THE WRITTEN AGREEMENT AND/OR APPROVAL OF PINNACLE DESIGN, INC.

CALL TWO WORKING DAYS BEFORE YOU DIG
263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

SHEET: L-1
COVER SHEET
DATE: 10.24.03
PDI # 03066

LIGHTING

All lighting within the Southwest Ranch Community should be of similar design.

Indoor or outdoor lighting that is one hundred fifty (150) watts or less shall be exempt from the provisions of this section.

Sources of illumination that are directly visible from a public street or residential property shall be minimized to reduce glare. Shielding will be used as required.

Street lighting throughout Southwest Ranch shall be designed to Town standards.

OUTDOOR STORAGE

A. General Standards

1. Storage of materials, supplies or similar matter is prohibited outside an enclosed structure, unless associated with an industrial or agricultural use. Storage of inventory materials, or other debris outside an enclosed building is prohibited in conjunction with a residential or commercial use.
2. Storage associated with an industrial or agricultural use shall only be allowed within the confines of a solid fence or landscape screen not less than six (6) feet in height, unless no practicable alternative is available.
3. Merchandise which is offered for sale may be displayed beyond the confines of an enclosed structure, the area of which shall not exceed ten percent (10%) of the principal building floor area, unless such merchandise is a type customarily displayed outdoors, such as automobiles and garden supplies.
4. No display or storage of any type shall be permitted within the one-half (1/2) of the required front or side street setback nearest the street, nor within any required interior side or rear setback.

B. Vehicle Storage

1. Mobile or manufactured homes are allowed to be stored only in conjunction with an industrial use and shall be placed in the rear half of the lot.
 2. Recreational vehicles shall be parked to the rear of the front setback line.
 3. Construction equipment or trucks over a two (2) ton gross weight, or similar sized vehicles, shall not be parked in a residential area.
 4. Inoperable vehicles shall be stored only in conjunction with an industrial use completely screened from view of a public street.
 5. There shall not be any type of vehicle stored on a vacant parcel of land.
-

C. Temporary Storage

These regulations shall not be applicable to any storage being placed in a certain location less than twenty-four (24) hours, unless the storage constitutes a public hazard or nuisance.

PARKING & TRAFFIC CIRCULATION

Every lot shall have access that is sufficient to afford a reasonable means of ingress and egress for emergency vehicles as well as for all those likely to need or desire access to the property in its intended use.

All driveway entrances and other openings onto streets within the Property shall be constructed so that:

- (a) Vehicles can enter and exit from the lot in question without posing any substantial danger to themselves, pedestrians, or vehicles traveling on abutting streets.
- (b) Interference with the free and convenient flow of traffic in abutting or surrounding streets is minimized.

All driveways and other openings for commercial or mixed-use development shall be determined by the Town Engineer on a case by case basis.

Shared driveways for commercial or mixed-use development shall be encouraged.

Parking Requirements

- (a) Off street parking spaces and loading spaces shall be provided as set forth in Tables 5-C and 5-D of Section 7-5-9, Subsection C, of the Buckeye Development Code. Fractional results shall be rounded up to the nearest whole number if the fraction is 0.5 or greater.
- (b) In the case of mixed uses, the total number of spaces may be based on parking demand as determined by a parking study if shared parking is desired.
- (c) Accessible parking spaces shall be provided in compliance with Town and ADA regulations.
- (d) An emergency access lane having twenty (20) feet of unobstructed width shall be provided when required by the property's emergency service provider. The twenty (20) foot width can consist of sixteen (16) feet of paved lane with two (2) foot shoulders on each side with plantings less than eighteen (18) inches in height within the shoulder area.

Parking/Loading Space Design Requirements

- (a) To control dust and drainage, parking areas shall be constructed with dust free materials, including but not limited to stabilized decomposed granite.

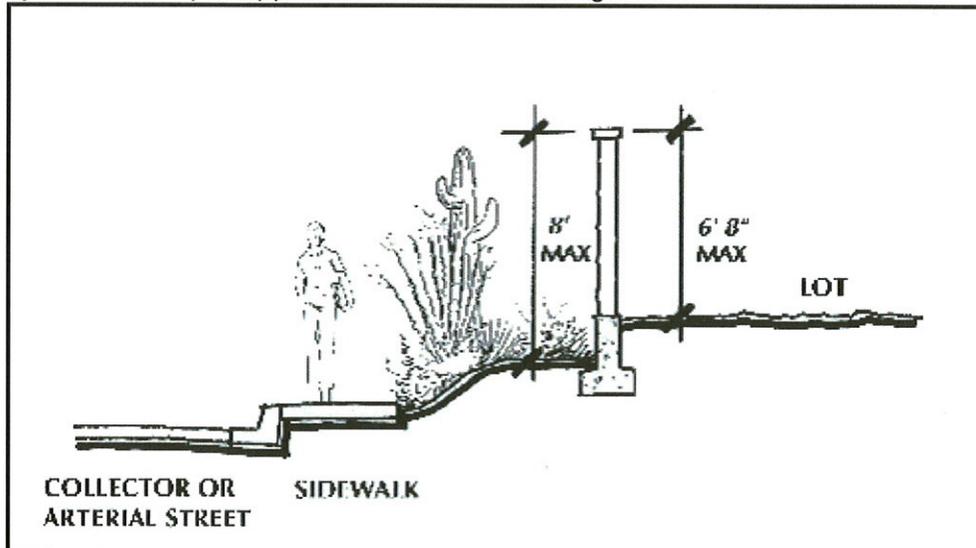
- (b) Dimension requirements, as set forth in Table 5-E of Section 7-5-9, Subsection C, of the Buckeye Development Code, shall be followed in the construction or modification of any parking area.
- (c) The preferred location for parking shall be the interior of the lot, exclusive of on-street parking.
- (d) Paving shall be provided to a sufficient thickness to withstand repeated vehicular traffic, except for single-family dwelling uses.

As an alternative to the requirements listed elsewhere in this Section, a parking plan may be submitted for approval by the Planning Director or designee, which plan shall find that an alternate design or a reduction in the total number of parking spaces required would fulfill the intent and purpose of this Section. The Planning Director or designee may require the study to be completed by a registered traffic engineer.

SCREENING

General Requirements

- (e) The height of any fence, located between the principal structure and the rear or side property line, shall not exceed six (6) feet eight (8) inches within any residential designation, unless abutting to a collector street, arterial street or parkway, and abutting the railroad, in which case the fence may be constructed to a maximum height of eight (8) feet above the higher of the two finished grades unless another height limit is otherwise determined necessary by a sound study. Fence heights shall not exceed eight (8) feet within any commercial/mixed-use. Berming is encouraged wherever possible to make the fence height less than eight (8) feet. In the event that the slope must exceed 4:1 in the right-of-way, a wall height of greater than eight (8) feet may be allowed per approval from the Town Engineer.



Residential Fence Height

Required Screening and Materials. New commercial development shall provide screening in accordance with the following table for those uses and improvements specified.

	Minimum Height Required for Screening	Materials Allowed to be Used for Screening*
Refuse Container	6'	1
Vehicle Display	2.5'	1, 2, 3
Parking Area	3'	1, 3
Outdoor Storage	6'	1, 4
Mechanical Equipment	3.5'	1, 4

Materials for fence construction shall be limited to the following:
 (1) Masonry block
 (2) Wrought iron
 (3) Landscape berm/screen
 (4) wood
 * Other materials may be allowed upon the Planning Director finding that they are either similar to those listed above, or they contribute substantially to the community ambiance and character.

Screening Materials

Roof-Mounted Equipment

No roof-mounted equipment shall be allowed in single-family residential areas.

Roof-mounted equipment shall be allowed in non-residential areas and shall be completely screened from view from ground level or adjacent property. The parapet, if provided, shall be architecturally compatible with the primary building.

Swimming Pool Enclosure

Swimming pool enclosures shall comply with State of Arizona regulations and Town of Buckeye ordinance.

SIGNS

Permit Required

The placement of signs, except as listed below, shall require a sign permit issued by the Administrator in accordance with the procedures set forth in the Buckeye Development Code. Signs listed as follows are exempt from obtaining a permit.

- a) Political signs and banners;
- b) Directional and traffic signs, including temporary variable street construction signs;
- c) Window signs not exceeding twenty (20) percent of the window area;
- d) Signs not visible from off property or business;
- e) Signs pertaining to the lease, sale or rental of land or buildings, the size of which are six (6) square feet or less for parcels up to five (5) acres and twenty-four (24) square feet or less for parcels more than five (5) acres.

Prohibited Signs

- (a) Signs with audible devices, moving parts, or flashing lights. This shall also include electronic messaging boards with moving words or letters;
- (b) Roof mounted signs or signs projecting above the roofline of a building;
- (c) Signs placed within the public right-of-way, unless enclosed within a Tract;
- (d) All signs mounted in, or applied to trees, utility poles, or public structures, except as otherwise provided;
- (e) Any sign determined to be a safety hazard to the flow of traffic;
- (f) Commercial signs remaining at an abandoned or vacant building for a period exceeding one hundred eighty (180) days;
- (g) "Sandwich" or portable signs placed within the public right-of-way, and Billboard or off-site advertising signs, unless permitted by Town code.

Sign Design Standards

- (a) Signs shall not exceed the dimensions set forth in the following 2 tables.
- (b) Signs shall be located on the same parcel as the use for which they advertise, except freeway commercial signs.
- (c) Illuminated signs may be internally lighted in the Commercial designation. The source of illumination of any sign is to be shielded so that it is not visible from or cause glare or reflection onto adjacent properties and streets.

Use	Maximum Sign Height Allowed	Maximum Sign Area Allowed (SF)
Multiple Family	4'	18
Public Assembly	4'	18
Commercial	20'	72
Office	4'	18
Service Establishment	15'	32

Sign Standards - Size For Freestanding Signs

Use	Sign Area Allowed (in SF) for each Lineal Foot of Building Facing the Street Frontage
Public Assembly	0.25
Commercial	1.00
Office	0.50
Service Establishment	0.75

Attached signs shall be placed below roof eave line. Each side of a building having a street frontage may be counted separate and used to place signs. Buildings located over fifty (50) feet from the street frontage are allowed to double the allowed sign area amount.

Sign Standards - Size For Attached Signs

Community Entries, Perimeter Walls & Directory Signage

Entrances into the Southwest Ranch Community, perimeter walls and directional signage are very important for establishing the character of the project. A variety of entrance conditions ex-

ist both internally and externally. A hierarchy of entry conditions, as defined in the subsections below, has been established to reflect this scale and importance of each situation. Graphic representations of these can be found in the following exhibits, **Conceptual Entry Monument/Directional Signage Structure** and **Perimeter Theme Wall Details**.

(a) Major Project Entry

Locations: Broadway Road, Jackrabbit Trail

The major project entries will set the overall architectural and landscape theme for Southwest Ranch. The major entries will feature the project identification monument as well as the project theme walls and landscaping.

The landscaping at major project entries will feature large trees from the approved landscaping list, colorful ground coverings and plant materials covered in the landscape concept statement (see *Landscape Palate Table*).

(b) Secondary Project Entries

Locations: Broadway Road, north entrance; Tuthill Road

(c) Subdivision Entries

Locations: Each subdivision and commercial development project will feature individual identifying signs and landscaping specific to that neighborhood. The developer of that neighborhood will be required to use materials that are consistent with existing landscaping entry monumentalization for continuity throughout the Southwest Ranch Community.

(d) Perimeter Theme and View Walls

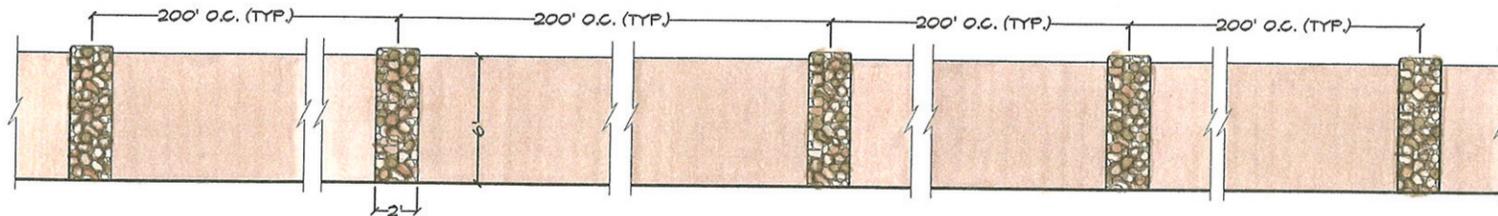
A steel brand logo will be placed over the entrance and exit sides of the roads. Along both sides, shorter stone walls with split rail fences shall frame the entry. The theme walls shall be stucco with an earth tone paint color, and stone veneer columns shall occur every third lot.

(e) Directional Signage

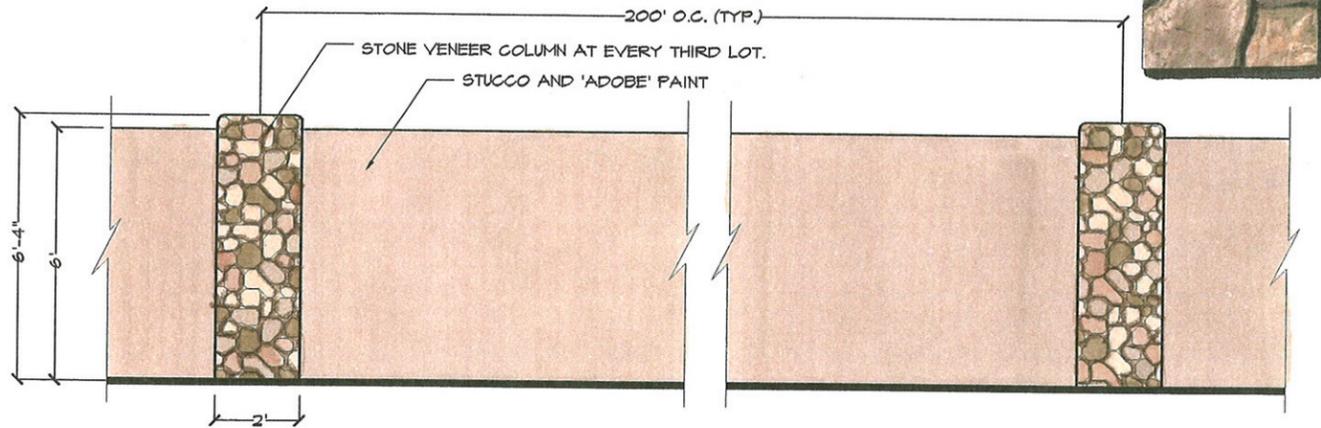
Directional signage will be placed throughout the Southwest Ranch Community to enable all vehicular and pedestrian traffic to locate their final destinations in an efficient manner. Signage will include the Builder name and Commercial Sites. The overall design will compliment the entry monuments and project theme walls. Locations of these signs will be determined during the design development stage.

(f) Privacy Walls

Privacy walls will be placed between houses to screen rear yards from the street and from neighbors. Perimeter Theme Walls will be provided along the major street and collector street as shown in the **Conceptual Wall Elevations** exhibit., The **Wall Key Plan and Wall Elevation** exhibit will provide concepts for location of perimeter walls.



(A1) PERIMETER THEME WALL
SCALE: 1/4" = 1'-0"

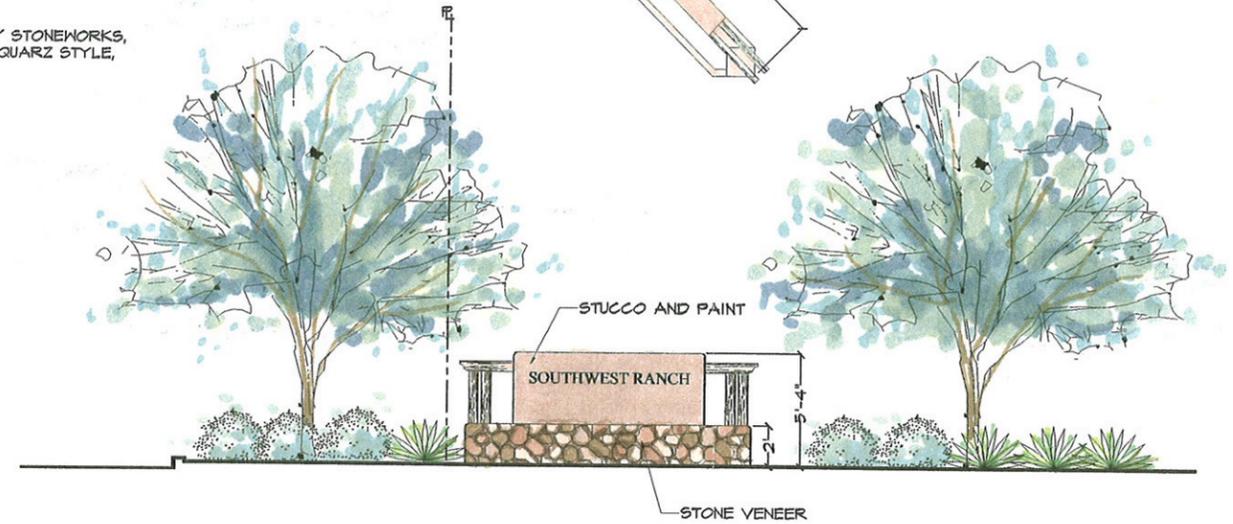
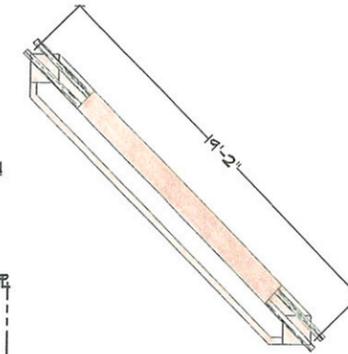


(A2) PERIMETER THEME WALL
SCALE: 1/2" = 1'-0"



STONE VENEER BY STONEMWORKS,
(1.888.831.9598); QUARZ STYLE,
CASCADE (122)

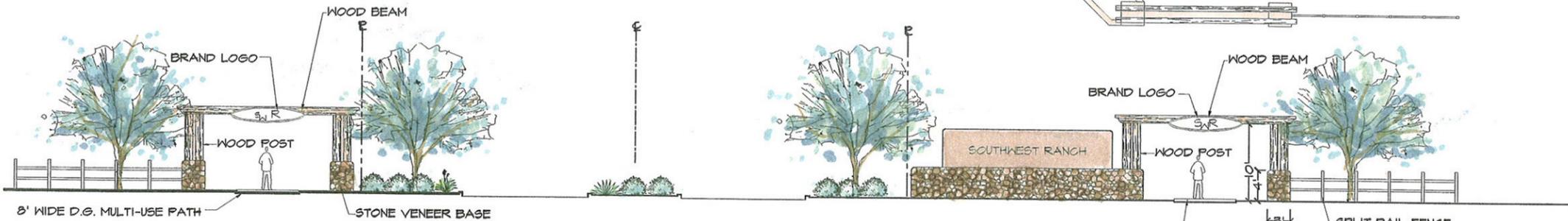
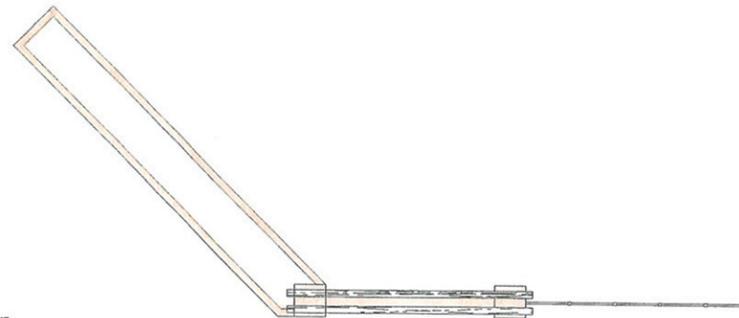
PLAN VIEW



(B) MAIN ENTRY SIGN FOR BROADWAY AND JACKRABBIT
SCALE: 1/4" = 1'-0"



PLAN VIEW



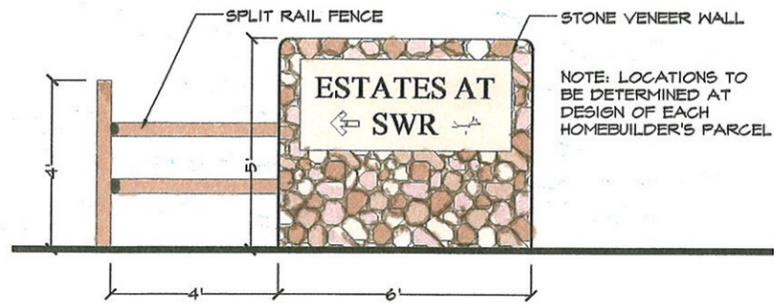
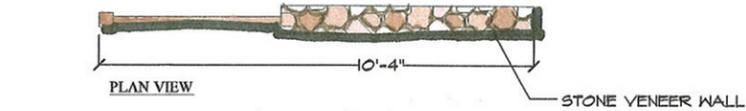
(C) MAIN ENTRY SIGN FOR BROADWAY AND 198TH AVENUE
SCALE: 1/8" = 1'-0"

PINNACLE DESIGN, INC CONCEPTUAL WALL ELEVATIONS
SOUTHWEST RANCH

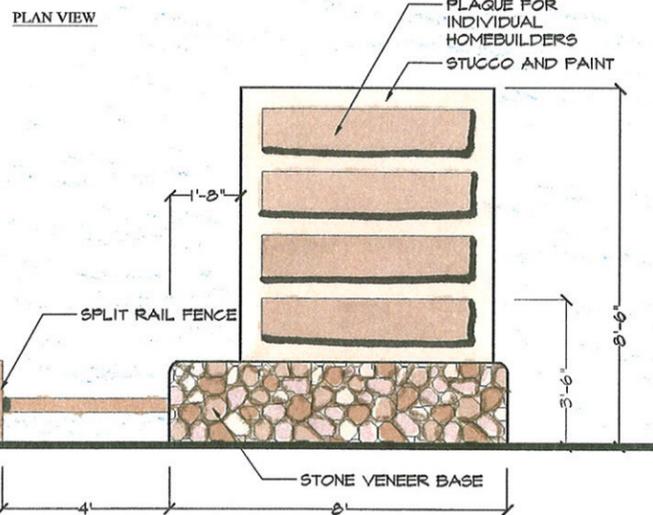
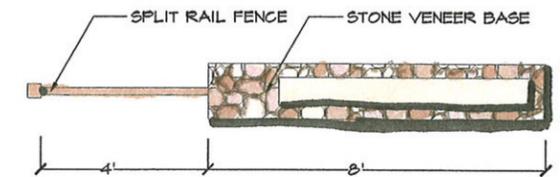
WALL KEY NOTES

- 1 PERIMETER THEME WALL. REFER TO DETAIL 'A', SHEET L-4.
- 2 ENTRY MONUMENT SIGN. REFER TO DETAIL 'C', SHEET L-4.
- 3 HOMEBUILDER SIGN. REFER TO DETAIL 'A'.

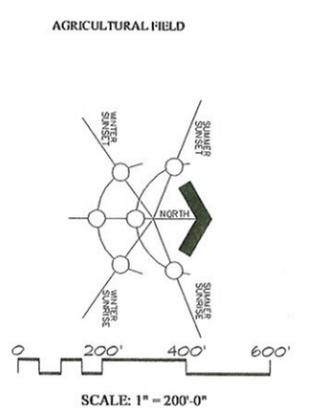
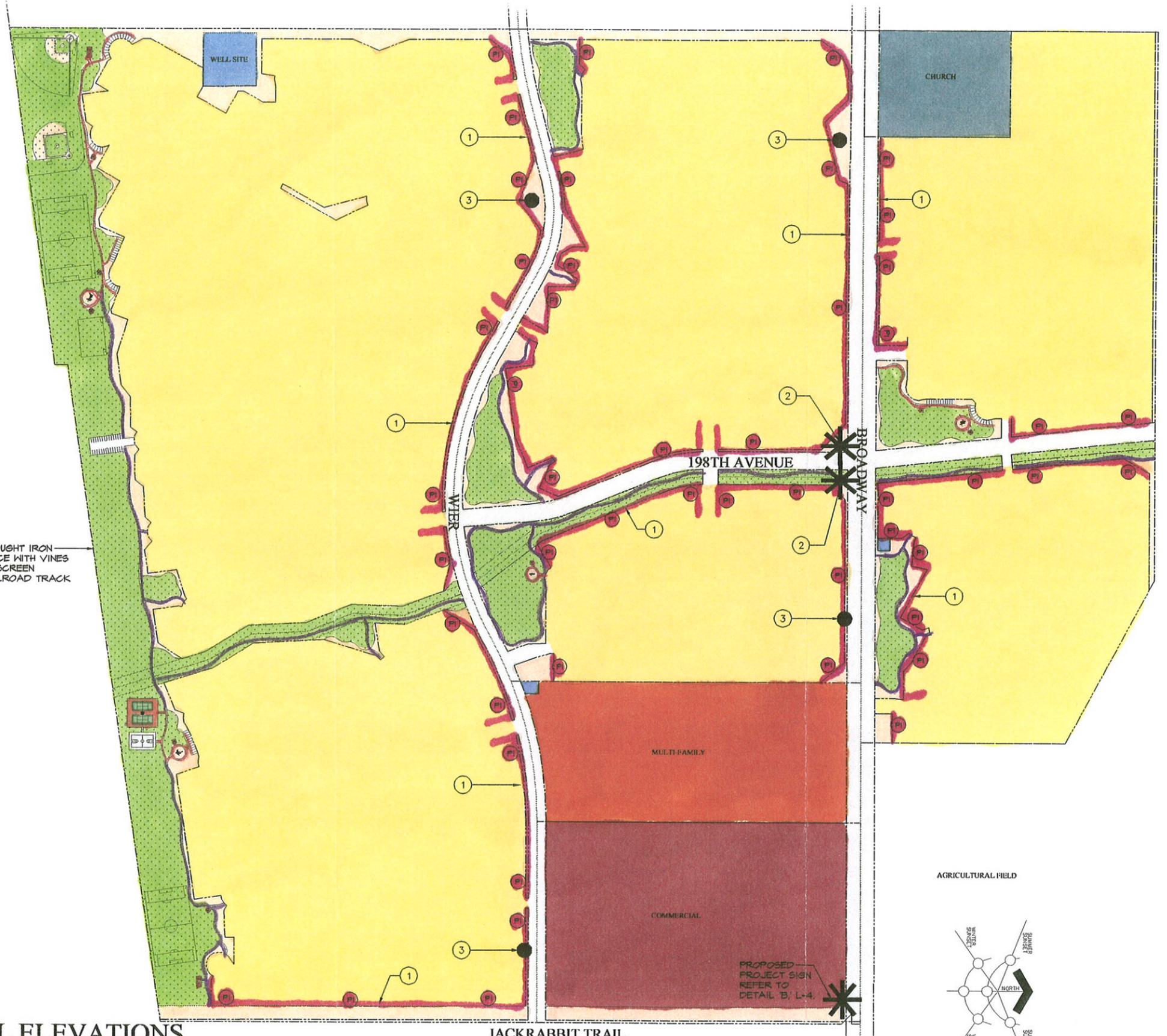
NOTE: ALL PERIMETER AND INTERIOR WALLS NOT NOTED ABOVE SHALL BE STANDARD 4" X 8" X 16" CMU FENCE BLOCK UNLESS SPECIFIED OTHERWISE BY OWNER. OWNER TO SELECT PAINT COLOR.



A HOMEBUILDER SUBDIVISION ENTRY SIGN
SCALE: 1/2" = 1'-0"



B HOMEBUILDER SIGN
SCALE: 1/2" = 1'-0"



PINNACLE WALL KEY PLAN AND WALL ELEVATIONS
DESIGN, INC
SOUTHWEST RANCH

NOTES:

IN INSTANCES WHERE TENANT OCCUPIES MORE THAN ONE LEASE SPACE, TENANT MAY COMBINE INDIVIDUAL ENVELOPES INTO A SINGLE ENVELOPE NOT TO EXCEED 70% OF THE COMBINED LEASE FRONTAGE.

IN NO INSTANCE SHALL ANY STANDARD TENANT SIGN EXCEED THE ALLOWABLE SIGN AREA PERMITTED BY APPLICABLE CITY ORDINANCES.

ALL SIGNAGE SHALL BE PLACED IN THE LOCATION DESIGNATED BY THE LANDLORD.

ALL SIGNS SHALL BE APPROVED BY THE LANDLORD AND THE CITY PRIOR TO FABRICATION AND INSTALLATION.



A TYPICAL ONE LINE LAYOUT FOR STANDARD TENANT SIGN
SCALE: 1/2" = 1'-0"

NOTES:

IN INSTANCES WHERE TENANT OCCUPIES MORE THAN ONE LEASE SPACE, TENANT MAY COMBINE INDIVIDUAL ENVELOPES INTO A SINGLE ENVELOPE NOT TO EXCEED 70% OF THE COMBINED LEASE FRONTAGE.

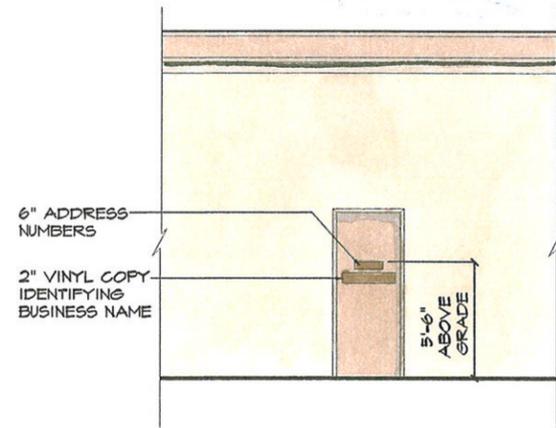
IN NO INSTANCE SHALL ANY STANDARD TENANT SIGN EXCEED THE ALLOWABLE SIGN AREA PERMITTED BY APPLICABLE CITY ORDINANCES.

ALL SIGNAGE SHALL BE PLACED IN THE LOCATION DESIGNATED BY THE LANDLORD.

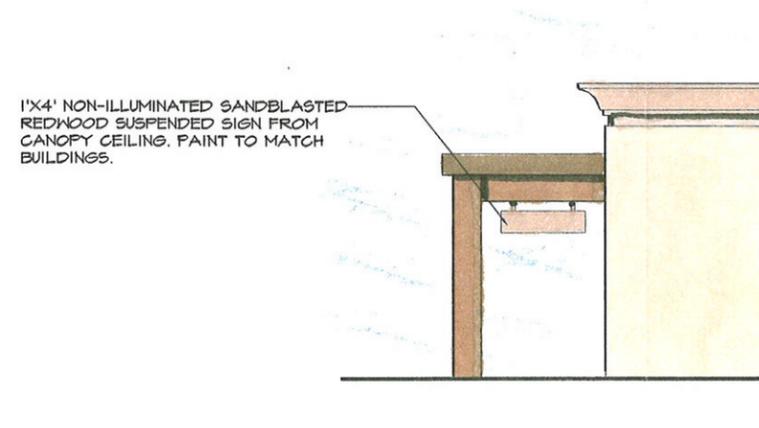
ALL SIGNS SHALL BE APPROVED BY THE LANDLORD AND THE CITY PRIOR TO FABRICATION AND INSTALLATION.



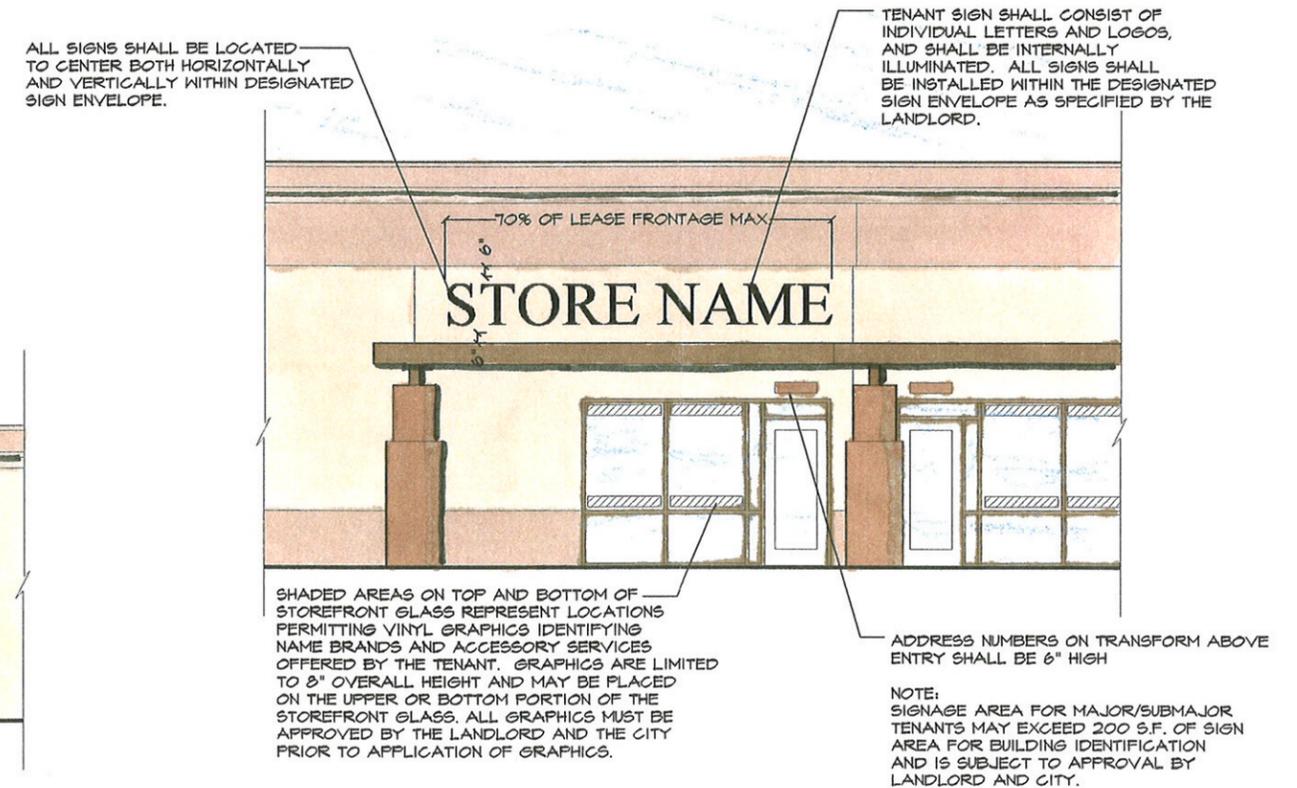
B TYPICAL TWO LINE LAYOUT FOR STANDARD TENANT SIGN
SCALE: 1/2" = 1'-0"



C TYP. REAR ELEV. AT RECEIVING DOOR
SCALE: 1/4" = 1'-0"



D TYPICAL UNDER CANOPY SIGN
SCALE: 1/4" = 1'-0"



E TYP. FRONT ELEVATION FOR TENANT SIGN
SCALE: 1/4" = 1'-0"

PINNACLE COMMERCIAL SIGN STANDARDS
DESIGN, INC
SOUTHWEST RANCH

GRADING

The provisions of this section shall apply to all new development activities within the project property. The purpose of this Section is to set forth the objectives and engineering standards for the grading and earthwork elements for the development of the property. The grading elements include street and parking lot cut and fill limits, site grading limits, slope control or soil stabilization, mitigation of adverse conditions, revegetation, slope instability, soil erosion and drainage disruption and landscaping of scarred areas due to grading. The Town Engineer, prior to any grubbing, grading or clearing, shall approve a grading plan. All grading shall be in accordance with all applicable M.A.G. standards or the Uniform Building Code, whichever is applicable to the building site. "At risk" grading permits shall be allowed.

(a) Cut and fill slopes, except those required for roadway improvements, shall meet the following requirements:

Cut and fill slopes shall not be steeper than 3:1, except in stable rock, in which case may be vertical. Steeper slopes may be allowed when justified by adequate engineering analysis and documentation, subject to approval by the Town Engineer.

Cut and fill slopes within drainage retention and detention basins shall be no steeper than 4:1. Steeper slopes will be allowed when justified by adequate engineering analysis and documentation, subject to approval by the Town Engineer.

Cut and fill slopes within drainage retention and detention channels shall be no steeper than 2:1. Steeper slopes will be allowed when justified by adequate engineering analysis and documentation, subject to approval by the Town Engineer. Slopes between 3:1 and 2:1 shall utilize loose rock or heavy gravel. Slopes of 2:1 or steeper shall have grouted stone or granite. The maximum height of cut is not to exceed eighty (80) feet and the maximum height of fill shall not exceed sixty (60) feet, unless otherwise approved by the Town Engineer. All exposed cuts and fills are subject to the mitigation criteria established herein.

(b) All dust control activities shall comply with all applicable Federal, State and County dust control requirements.

UTILITIES

(a) Water Supply.

The water supply system for the Property shall conform to the Water Master Plan and Report (See Appendix) and any refinements thereto.

(b) Wastewater Facilities.

Wastewater facilities for the Property shall conform to the Sewer Master Plan and Report (See Appendix) and any refinements thereto.

(c) Underground Utilities.

All utility lines, including irrigation service lines, but not including transformers or enclosures containing equipment *such* as switches, meters or capacitors which are ground mounted, shall be placed underground in accordance with the specifications and policies of the respective utility company, except 69 KV or larger transmission lines, which will remain above ground.

(d) Refuse Services.

All commercial and multi-family development shall provide refuse enclosures for solid waste collection in accordance with the following:

- (1) Located so as to facilitate collection and minimize any negative impact on persons occupying the development site, neighboring properties, or public rights-of-way;
- (2) Constructed according to specifications established by the Town Engineer to allow for collection without damage to the development site or the collection vehicle.

PUBLIC AREA IMPROVEMENTS

The purpose of these requirements is to promote road safety, assure adequate access for fire and rescue vehicles and promote adequate circulation.

Coordination of Streets

- (a) All new streets required pursuant to the Master Street and Circulation Plan and Report (See Appendix) shall intersect with surrounding existing streets at safe and convenient locations.
- (b) The Town may require temporary turnarounds to be constructed for temporary cul-de-sacs between development phases.

STREET LAYOUT

- (a) All permanent dead end streets shall be developed as cul-de-sacs. Cul-de-sacs shall extend no further than four hundred fifty (450) feet as measured from the center of the last intersection or intermediate turnaround. This length may be exceeded with approval of the Fire Chief upon submittal of a Preliminary Plat.
- (b) If automatic sprinkler systems are used for fire protection, permanent cul-de-sacs shall extend no further than six hundred (600) feet as measured from the center of the last intersection or intermediate turnaround. This length may be exceeded with approval of the Fire Chief of cul-de-sacs serving twenty-five (25) or fewer residential units.
- (c) Turnarounds shall be of either a circular or hammerhead configuration, and may include a planted traffic circle with approval of the Fire Chief.
- (d) For both public and private streets, the right-of-way of a cul-de-sac shall have a minimum radius of fifty (50) feet. The radius of the paved area of a turnaround shall be forty-three

(43) feet. If the center of a circular turnaround is left unpaved, the area shall be landscaped and the pavement width shall be a minimum of twenty (20) feet.

(e) Half streets (i.e., streets of less than the *full* right-of-way and pavement width) with a minimum pavement width of twenty-four (24) feet to accommodate two-way traffic shall be allowed as an interim condition.

STREET INTERSECTIONS

(a) Any street intersecting an arterial street shall do so at ninety (90) degrees or radial to an appropriately sized curve. All other intersections may be at ninety (90) degrees plus or minus fifteen (15) degrees or radial to an appropriately sized curve, and no more than two (2) streets may intersect at only one (1) point (four-way intersection).

(b) Where a centerline offset (jog) occurs at an intersection, the distance between centerlines of the intersecting streets shall be no less than one hundred twenty five (125) feet for local streets, two hundred twenty five (225) feet for collector streets, and two hundred fifty (250) feet for arterial streets.

(c) Except when no other alternative is practicable or legally possible, no two (2) collector streets may intersect with any other collector street on the same side at a distance of less than three hundred (300) feet from centerline to centerline of the intersecting collector streets. When the intersected street is an arterial, the distance between intersecting collector streets shall be at least six hundred (600) feet.

STREET DESIGN STANDARDS

Streets shall be designed and constructed in accordance with the roadway standards and typical cross-sections set forth in the **Street Cross Sections** exhibit and Traffic Circulation Analysis located in Appendix G.

RIGHT-OF-WAY LANDSCAPING

Landscaping shall be provided in all public rights-of-way in conjunction with development of adjacent parcels. All right-of-way and drainage areas not used for street or sidewalk improvements shall be improved with landscaping.

FIRE HYDRANTS

(a) All development within the Property shall include a system of fire hydrants, which are constructed according to M.A.G. standards.

(b) All water lines, except those used to directly connect a fire hydrant to the main, shall be at least eight (8) inches in diameter. Unless no other practicable alternative is available, dead-end lines shall be allowed; provided, however, the maximum length of dead-end lines shall be one thousand five hundred (1,500) feet, with fire hydrants spaced along the alignment. A water

system analysis shall be prepared to show that the farthest fire hydrant from the looped main on a dead-end line meets the minimum fire flow requirements.

(c) The maximum spacing for fire hydrants shall be five hundred (500) feet for detached residential land uses and three hundred (300) feet for attached residential and commercial/mixed use. In any case, fire hydrant spacing shall meet Uniform Fire Code. If automatic sprinkler systems are used for fire protection, the maximum spacing for fire hydrants shall be determined by the Fire Chief. Fire hydrants shall be located at maximum intervals of one thousand (1,000) feet along unloaded (no fronting structures) streets.

LIGHTING REQUIREMENTS

All lighting for streets, sidewalks and other common areas or facilities in all public right-of-ways shall be as specified at the project design phase.

DEVELOPMENT AND BUILDING DESIGN GUIDELINES

The goal of the Southwest Ranch development and building design guidelines is to create and maintain a livable, attractive, quality development and continue to add to the "friendly town" characteristics of Buckeye. The following design guidelines shall be followed to establish the development character desired for the Southwest Ranch Community.

Roof material for residential developments, excluding flat roofs, shall be tile (e.g. barrel tile or flat concrete tile). Wood shake shingles and composition shingles are prohibited.

Each house shall include at least a two-car garage; carports are prohibited.

Each homebuilder shall provide not less than six (6) house colors and three (3) roof colors. Color selections shall be low LRV and be harmonious with surrounding environment and the master community.

Homebuilders shall upgrade rear or side elevations along arterial or collector streets and open space areas.

A minimum of three (3) front elevations for each house plan is required. The same house plan with the same or similar elevation shall not be placed on adjacent lots or directly across the street from one another.

Homebuilders shall provide elevations that have altering ridgelines and rooflines.

Homebuilders shall emphasize distinctive architectural details in the front elevations, e.g., covered front entries, covered front porches, door and window details, roof overhangs, parapet walls with cap features, etc.

All air conditioning units/mechanical equipment shall be ground mounted and shall not be located on the side of the rear yard pedestrian access gate.

LANDSCAPE AND OPEN SPACE DESIGN GUIDELINES

Numerous acres of Southwest Ranch will be devoted to parks and open space. Parks and trails within the community will provide recreational opportunities for residents of all ages. Residents will be provided pedestrian trails and pathways that will connect to shopping areas, employment, parks and other residential communities within the Master Planned Community. Low water using plants will be favored in the landscape themes for the residential and commercial areas.

COMMUNITY MANAGEMENT AND MAINTENANCE

COVENANTS, CONDITIONS, AND RESTRICTIONS

Southwest Ranch Covenants, Conditions, and Restrictions will set forth rules and regulations governing homeowner's rights and requirements. These will include prohibition of the storage of non-operating vehicles in the front yards, screening trash receptacles, etc. The Planning Director prior to recordation shall review CC&R's.

ARCHITECTURAL CONTROL

A Southwest Ranch Homeowners' Association will be organized to ensure long-term compliance with the Covenants, Conditions and Restrictions. The Homeowners' Association will assess monthly fees for the maintenance of landscaped common areas, landscaping in the right-of-way including medians, parks and other community facilities.

HOMEOWNERS' ASSOCIATION

An Architectural Control Committee will be established by the developer to oversee compliance with the Covenants, Conditions and Restrictions during the development stage. The Committee will review and approve building plans, specifications, and design for all private and public improvements, including sub-area developments contemplated within Southwest Ranch. As the community grows, owners will take over the Architectural Review functions.

A separate Association will be formed to oversee compliance with commercial, and employment Covenants, Conditions and Restrictions.