

Sun Valley Community

JUL 18 2005



Community Master Plan for Village I & II

May 2001

Revised February 2004

Revised December 2004

Revised July 2005

Final Revision October 2005

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*****IMPORTANT*****

The official approved copy of the Community Master Plan for Sun Valley Villages 1 & 2 is the copy that is on file with the Community Development Department, stamped July 18, 2006



August 9, 2006

Sun Valley Community Community Master Plan for Villages I and II

APPROVED

JUL 18 2006

TOWN OF BUCKEYE
PLANNING AND DEVELOPMENT

May 2001
Revised February 20, 2004
Revised November 2004
Revised July 2005
Final Revision October 2005

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Sun Valley Community Villages I and II Community Master Plan

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Sun Valley Community Community Master Plan Villages I and II

Introduction

Sun Valley Community Villages I and II Community Master Plan is intended to be an initial development guide for two of four Villages and a future development guide for the remaining two villages at a later date. Sun Valley Community is a key building block for development on the western edge of the Phoenix metropolitan area, and its fruition will add quality neighborhoods and supporting land uses to the Town of Buckeye.

1.0 Sun Valley Community Vision

The Sun Valley Community is envisioned as a self-sustaining master planned community where people and businesses enjoy a lifestyle balancing family, education, employment opportunities, and recreation in an aesthetically pleasing environment attuned to preserving the natural resources for generations to come. The Sun Valley Community will weave a variety of residential housing with supporting retail, commercial businesses, and employment centers connected via a system of paths and trails enhancing the enjoyment of open space and mountain vistas. The Sun Valley Community will coordinate schools with recreational amenities to facilitate educational opportunities with efficient use of community resources. The Sun Valley Community's vision and design will bring back some of the elements of the traditional American neighborhood, such as knowing your neighbors through community gatherings and events at the park, evening walks, and the simple enjoyment of the beauty of open space surroundings.

2.0 Overview of the Sun Valley Community

The Sun Valley Community is a mixed-use master planned community located in northern Buckeye with natural washes and Sonoran desert vegetation. The Hassayampa River bounds the Community on the west and the beautiful White Tank Mountains enclose it on the east. As illustrated on the Vicinity Map, Exhibit A, the Community is readily accessible by the 28-mile Sun Valley Parkway, a six-lane, median divided parkway, currently striped for four lanes. To the south, the Sun Valley Parkway connects with Interstate 10 via a 6-lane interchange providing access to Los Angeles and the Southern California Region to the west, and Central Phoenix, Sky Harbor Airport and the southwest market to the east. To the north, the Sun Valley Parkway connects to Bell Road, a major east-west thoroughfare, through the City of Surprise, the Sun City communities, and easterly to Phoenix and Scottsdale.

The Sun Valley Community will be built using the “Village Concept”, which provides for mixed residential, commercial, and retail uses as well as churches, schools, recreational amenities, parks, and open spaces in each of the planned Villages. The Village Concept will place shopping and other services in convenient locations for the Sun Valley Community residents. This concept will encourage accessibility to Sun Valley businesses and employment centers through non-vehicular travel. The Sun Valley Community is uniquely located for responsible balanced growth in tune with the natural environmental assets, where people can live, work, and play.

3.0 Background

The Sun Valley Area Plan (“Area Plan”), as illustrated on Exhibit B, was created to designate land use and intensity of use for a 16,266-acre site in Buckeye, Arizona. The Town of Buckeye approved the Area Plan on April 16, 1996, and the property was rezoned to Planned Community. The approved land uses and densities of the Area Plan were subsequently adopted as part of the Buckeye General Plan. A consolidated ownership group that is developing the area as the Sun Valley Community controls approximately 13,285 acres of the Area Plan.

The Area Plan is divided into four (4) Villages of which the Sun Valley Community covers all of Village I and portions of Villages II, III, and IV. The ownership group for the Sun Valley Community desires to establish land use designations, regulations, and densities for Village I and its portion of Village II within the Sun Valley Community. In addition, the Subdivision Procedures, Development Standards and Definition of Terms Sections will apply to Village I and the Sun Valley Community’s portion of Villages II, III, and IV and they will be specifically incorporated into the future Community Master Plan for Villages III and IV.

4.0 Purpose and Application of Community Master Plan

Pursuant to the Town of Buckeye Development Code, the purpose of a Community Master Plan is to provide a means of regulating large master planned developments in the Planned Community Land Use District. A Community Master Plan (“CMP”) establishes:

- Land use designations and regulations;
- Intensities of use;
- Provisions for public facilities;
- Design regulations/development standards;
- Phasing schedules;

This CMP document was prepared to establish the uses and regulations that will guide the development of the “Sun Valley Community Villages I and II”. The Sun Valley Community is zoned Planned Community pursuant to the Town of Buckeye Land Use District Map and Development Code adopted by Ordinance 4-96 on August 19, 1996. This CMP conforms to the approved Area Plan and the

recorded Development Agreement referred to in Section 9 of this document. In accordance with the recorded Development Agreement, the Subdivision Procedures, Development Standards and the Definition of Terms Sections of this CMP will also apply to Villages III and IV and will be specifically incorporated into the future Community Master Plan for Villages III and IV.

The Sun Valley Boundary Map, Exhibit C, illustrates the limits of the Sun Valley Area Plan, the portion of the Area Plan referred to as the Sun Valley Community, the limits of this CMP, and the location of Villages III and IV of the Sun Valley Community. The Sun Valley Community Villages I and II area within the boundary of this CMP consists of approximately 5,770 acres. The Sun Valley Community Villages III and IV consists of approximately 6,000 acres, for which the Subdivision Procedures, Development Standards and Definition of Terms Sections of this CMP will apply, will be specifically incorporated into the future Community Master Plan for Villages III and IV. The Sun Valley Community Villages I and II legal description, and supporting boundary exhibit is included in this CMP as Appendix A.

Along with the Area Plan, the Buckeye Town Council approved a number of accompanying master plans in 1996. These preliminary master plans included drainage, wastewater, water, and traffic studies. This CMP serves as the first of two CMP's that will eventually be prepared for the Sun Valley Community.

Numerous supporting master plan studies were completed in conjunction with this CMP including a traffic study, wastewater system study, reclaimed water and potable water studies, and a master drainage study. The purpose of these master plan studies is to nestle the design of the villages into the natural surroundings lessening the long-term effects on the environment and ensuring a sustainable community. A synopsis of these master plan studies is included in this document within Section 15. The complete master plan studies are being submitted to the Town of Buckeye under separate cover. In addition, a biological evaluation, including pygmy owl surveys, and an archaeological survey has been completed.

5.0 Purpose and Application of Planning Unit Plan

The Planning Unit Plan, (PUP) will be processed with each Planning Unit of the CMP. There will be a detailed planning document containing the land planning for each initial phase of development within each PUP. Several planning documents within this CMP, along with all of the supporting engineering studies, will include more detail in each of the PUP to support the first phase of development. During this process a more accurate study will provide lot sizes, approximate yield and will calculate the over all projected amount of open space that will be provided. Our goal is to stay within the 22% proposed open space as stated in the CMP and the Area Plan. The total amount of open space will vary from unit to unit.

A detailed planning document containing the land planning for the initial phase of development, referred to as "Village I – Planning Unit 1" is submitted

concurrently with this CMP. Village I – Planning Unit 1 is generally located in the northeast portion of the area included in this CMP, and covers approximately 868.6 acres. Several planning documents within this CMP, along with all of the supporting engineering studies, include more detail in the Village I – Planning Unit 1 area to support the first phase of development.

6.0 Regional Context

Planned as a self-contained community, the Sun Valley Community offers a desert lifestyle with easy access to the amenities of the Phoenix metropolitan area. The Vicinity Map, Exhibit A, illustrates the regional context of the community including a visual illustration of the numerous master planned communities located within the vicinity of the Sun Valley Community. These planned communities include Festival Ranch, Douglas Ranch, Belmont, Sun Valley South, Tartesso North, and Tartesso.

7.0 Applicant/Owner:

The Sun Valley Community CMP applicant is as follows:

Vistoso Partners
C/o Richard Maes
1121 W. Warner Road, Suite 109
Tempe, Arizona 85284
Contact: Richard Maes
480.831.2000 (phone)
480.893.1604 (fax)

Vistoso Partners shall be referred to as "developer" throughout this CMP.

8.0 Development Team

An outstanding development team of experts in their respective disciplines has been assembled to prepare the Sun Valley Community CMP and associated studies. The team is comprised of planners, architects, biologists, hydrologists, landscape architects, and engineers with extensive experience in the planning and development of master planned communities. Following is a list of the members of the Sun Valley Community team along with a description of the services they are providing during the preparation of this CMP.

Consultant:

Project Role:

Carter & Burgess
 101 North 1st Avenue
 Suite 3100
 Phoenix, Arizona 85003
 Contact: Duane Hunn, P.E.
 602.253.1200 (phone)
 602.253.1202 (fax)

Carter Burgess
 provides the project
 management and civil engineering services
 for the project. Add other services here....

Initial Design Consultants:

Erie & Associates, Inc.
 3120 North 24th Street
 Phoenix, Arizona 85016
 602.954.6399 (phone)
 602.954.6601 (fax)

Erie & Associates provides hydrology
 for the project.

Kirkham Michael Consulting
 Engineers
 9201 North 25th Avenue
 Suite 195
 Phoenix, Arizona 85021
 602.944.6564 (phone)
 602.944.6592 (fax)

Kirkham Michael provides traffic circulation
 analysis services for the project.

SWCA, Environmental
 Consultants, Inc.
 2120 North Central Avenue
 Suite 130
 Phoenix, Arizona 85012
 602.274.3831 (phone)
 602.274.3958 (fax)

SWCA, Inc. provides 404 permitting, biological and
 archeological survey and evaluation for the project.

9.0 Relationship of Community Master Plan to General Plan and Adopted Area Plan

The Buckeye Town Council adopted the Area Plan by Resolution Number 8-96 on April 16, 1996. The Town of Buckeye amended its General Plan to reflect the land use designations and densities within the Area Plan. This CMP is within the jurisdiction of the Area Plan and is consistent with the guidelines of the adopted Area Plan, but is enhanced to be reflective of current lifestyle trends.

This CMP reflects the Area Plan's purpose and intent and fulfills a number of goals, objectives, and policies from the North Buckeye General Plan and the Area Plan as follows:

- To plan for land uses in newly developing areas that reflect a mix of land uses, which will support a neighborhood, including a variety of residential densities and price ranges, as well as neighborhood shopping facilities, schools, parks, and other uses necessary at the neighborhood level.
- To encourage the location of neighborhood and Community Park facilities to be located in conjunction with schools and those shall, when feasible, be linked with the open space and trails systems of the planning area.
- To plan for a system of open spaces, parks, trails, and recreational facilities, which contribute to the enhancement of the area's character and the quality of life in Buckeye.
- To encourage residential neighborhoods to be connected by trails, open space, or other recreational features.
- To promote the development of safe and convenient pedestrian and bicycle access from residential neighborhoods to parks, schools, development centers and other activity areas and non-vehicular traffic through striping, right-of-way operations, and buffering.
- To encourage the effective use of utility rights-of-ways (e.g., overhead power lines) for purposes of development of trails and linear park systems.
- To encourage school locations that occupies a central location within the open space system of neighborhoods and close proximity to neighborhood and community parks.
- To develop and implement plans for the preservation and enhancement of the area's character and natural environment.

10.0 Development Agreement

The Development Agreement between the Town of Buckeye and the Sun Valley Community ownership group, was effective July 19, 2000, and recorded at the Maricopa County Recorder's Office on July 21, 2000. This CMP conforms to the Development Agreement as required under Paragraph 5 of the Development Agreement. A copy of the recorded Development Agreement is included in this CMP as Appendix B. A copy of the Town of Buckeye Ordinance 15-00, approving the Development Agreement, is included in this CMP as Appendix C.

11.0 Relationship to Development Code

Certain sections of this CMP amend specific regulations, procedures, standards or terms contained in the Town of Buckeye Development Code ("Development Code"). Sections 14 and 18 of this CMP contain specific amendments to the Town's development standards. Section 19 of this CMP specifies amendments to the Definition of Terms contained in the Development Code. The development standards and definitions contained in this CMP apply to the Sun Valley Community Villages I, II, III, and IV and will be specifically incorporated into the future Community Master Plan for Villages III and IV.

12.0 Amendments to the Community Master Plan

Amendments to this CMP may be necessary, from time to time, to accommodate natural constraints, such as drainage way delineation or topographic conditions, to reflect changes in market conditions and development financing and/or to meet new requirements of one or more of the potential users or builders of any part of the Sun Valley Community. Revisions or adjustments will be determined by the Community Development Director in accordance with Sections 12.1 through 12.3, as needed. If a minor amendment to this CMP is needed, it shall be effectuated through an approval by the Community Development Director. After approval, such minor amendments shall be attached to this CMP as an addendum and become a part hereof. No such minor amendment shall require prior notice or hearing. All major amendments shall be reviewed by the Development Board and approved by the Town Council and shall be subject to all typically applicable notice and hearing requirements. The definition of a major or minor amendment to this CMP applies to the Sun Valley Community Villages I and II. The following defines a major and minor amendment/revision to this CMP.

12.1 Major Amendment

The following shall be considered major amendment/revision to this CMP:

- An increase in residential units within Villages I or II and transfer of units from Villages III or IV;
- An increase or reduction of 10 percent or more in Commercial Mixed Economic Use acreage within Villages I or II including transfers of commercial Mixed Economic Use from Villages III or IV; or
- Any substantial alteration to the list of permitted uses for the Sun Valley Community set forth in this CMP, as deemed to be substantial by the Community Development Director.

12.2 Minor Amendment

The following shall be considered minor amendment/revision to this CMP:

- An increase or reduction of less than 10 percent in Commercial Mixed Economic Use acreage within Villages I or II; or
- Any minor alteration to the list of permitted uses for the Sun Valley Community set forth in this CMP, as deemed to be minor by the Community Development Director.
- Conversion of a Public Facilities site to Commercial designation.
- Conversion of a school parcel to a residential designation if associated land uses are age restricted and no school age students are generated or if the demand does not require additional school sites. A portion of the parcel to be converted to residential will be allocated for open space.

12.3 Specific Revisions Not Considered an Amendment to CMP

The following are specifically authorized pursuant to Section 5(e) of the Development Agreement and shall not be considered an amendment to this CMP, but shall require the approval of the Community Development Director with each Planning Unit Plan:

- The reallocation of residential dwelling units from one parcel to another within a Village but not between Villages; and
- The reallocation of Residential, Commercial Mixed Economic Use or Public Use acreage within a Village but not from one Village to another Village, including school sites and open space subject to Section 5(c) of the Development Agreement.

13.0 Existing Site Conditions/Site Analysis

The existing conditions of the Sun Valley Community, and surrounding areas, are provided in this section. Analysis of the site characteristics and conditions is an initial step in the planning of the Sun Valley Community Villages I and II.

13.1 Physical Features

Two significant features of the Sun Valley Community are the beautiful White Tank Mountains and the Hassayampa River. The elevations of these features range from a high point on the White Tank Mountains of 4,083 feet to a low point of 1,345 feet in the River. Although neither feature is located within the area of this CMP, both serve as visual natural amenities and additional recreational resources for Sun Valley Community residents. The land within Villages I and II gently slopes generally from east to west. Elevations range from 2,125 feet at the southeast corner of Village I to 1,385 feet at the southwest corner of Village II.

Wagner Wash, located within Village II, is a major wash, lined with natural vegetation paralleling the Hassayampa River. There are numerous smaller washes, which carry the occasional storm water runoff from the White Tank Mountains to the River throughout Villages I and II. The preservation of the Wagner Wash and a number of other washes will be a major design consideration in the detailed land use planning for the Sun Valley Community.

13.2 Electrical Transmission Lines

A transmission line easement crosses the Sun Valley Community Villages I and II. The easement is approximately 330 feet wide and the centerline of the easement creates the boundary between Village I and II. The electrical transmission line that runs through the easement is 500 kilovolts (KV). Use of the power line corridors as part of the trail system and open space elements will be a design consideration in the detailed planning for the Sun Valley Community.

13.3 Airports

The Buckeye Municipal Airport is located southwest of I-10 and the Sun Valley Parkway alignment. The airport's Ldn contour lines occur south of I-10 and are approximately thirteen (13) miles from the south boundary of the Sun Valley Community Villages I and II.

Luke Air Force Base is located east of the Sun Valley Community and on the opposite side of the White Tank Mountains. The Ldn contour lines for Luke Air Force Base occur over seventeen (17) miles from the Sun Valley Community Villages I and II.

The Sun Valley Community is not affected by nor will have any adverse effect on either the Buckeye Municipal Airport or Luke Air Force Base.

13.4 Soils

According to the U.S. Soil Conservation Service Soil Survey for Central Maricopa County, the soils found within Villages I and II are composed of alluvium that are considered old alluvium (Laveen-Coolige Association) and recent alluvium (Antho-Valencia and Torrifluents Association). The Laveen-Coolige Association is the most prevalent on the site and is deep and well drained. The Antho-Valencia and Torrifluents Associations are found along the Hassayama River and generally are deep and well drained. Some rock outcrops exist near the foothills of the White Tank Mountains that are Cherioni-Cachado Rock Outcrop Association.

13.5 Groundwater

A 1987 privately funded study investigating groundwater availability for the area surrounding the Sun Valley Community Villages I and II concluded that an abundant natural groundwater supply to support a population greater than 525,000 persons is available under applicable laws and rules of the Arizona Department of Water Resources. This study, entitled "Evaluation of Adequacy of Groundwater Supply for Sun Valley Project, Hassayampa Plain, Arizona," was prepared by the Water Development Corporation of Tucson, Arizona.

13.6 Flora and Fauna

The Sun Valley Community Villages I and II is located in Sonoran Desert Scrub habitat. No permanent waters or irrigation canals occur within Village I or II boundaries. Several dry washes traverse the site but no wetland vegetation or stands of deciduous broad-leaved riparian trees exist within the Village boundaries.

None of the species listed by the U.S. Fish and Wildlife Service are expected to occur regularly within the Sun Valley Community Villages I and II based on a study prepared for the entire Sun Valley Community by SWCA, Inc., Environmental Consultants, in July of 2000. The study was based on known elevation and geographic ranges of the species, on the habitat characteristics of the project area, and on the results of the species-specific surveys undertaken.

Pygmy Owl surveys were completed in 1999 and 2000 by SWCA, Inc., under the appropriate U.S. Fish and Wildlife Service protocol. Neither study showed any evidence of Pygmy Owls within the Sun Valley Community Villages I or II boundaries. Final Pygmy Owl surveys were conducted in 2001/2002.

14.0 Sun Valley Community Villages I and II Land Use Designations

The Sun Valley Land Use Designations are designed to carry out the Sun Valley Community vision through the incorporation of a variety of land use designations to bring about the envisioned Sun Valley Community life style. The Land Use Plan for residential, commercial, school, and open space uses for the Sun Valley Community Villages I and II is illustrated on Exhibit D. The Land Use Plan conceptually identifies the locations of various land uses for the Sun Valley Community Villages I and II and the Village's relationship to the existing natural and human-made constraints. Minor adjustments from the original Area Plan were made during the Community Master Plan process for Villages I and II in order to accommodate the more detailed topographic and boundary information now available and the land plan for Planning Unit 1 of Village I. As each Planning Unit within Villages I or II is designed, the actual composition and mix of residential, commercial, school and open space land uses may differ from those shown on the Land Use Plan, Exhibit D, except for Planning Unit 1 of Village I. However, the maximum residential dwelling units approved for the Sun Valley Community portion of the Area Plan for Villages I and II will not be exceeded during the CMP process.

14.1 Sun Valley Community Villages I and II Land Use Categories

Land use categories are derived from those found in the approved Sun Valley Area Plan. The Land Use Plan for Village I and II consists of a variety of land use designations that are grouped into three primary categories – Residential, Commercial Mixed Economic Use, and Public Use. The integration of these various land uses in a cohesive plan will reflect the Sun Valley Community vision. The opportunity for residents to feel part of the Sun Valley life style will be a central theme in the land use mix. A definition for each land use designation and an example of appropriate uses is outlined below.

14.1.1 Residential

To provide for a variety and diversity of housing, Sun Valley Community Villages I and II includes four categories of residential uses: Low Density, Medium Density, High Density and Mixed Use Resort. Table 1 describes the density ranges and target densities that can be reached within the residential land use designations. The target densities can be achieved through the combination of various lot sizes in a land use designation within a Village or Planning Unit. For example, for the parcels designated as Medium Density Residential, an overall target density of 4.0 dwelling units per acre can be achieved through a mixture of small, medium and large lots arranged creatively in a Village or Planning Unit. This flexibility in the layout of the development will allow the incorporation of natural site amenities to enhance the livability and connectivity of the community, while achieving a blend of housing

choices. Tables 2 through 5 specify the various lot sizes allowed within the residential land use designations.

a. Low-Density Residential

The Low-Density Residential (LDR) land use category denotes areas with a target density of 2.0 dwelling units per acre (du/acre). A range of densities from one to three dwelling units per acre (1-3 du/acre) is allowed within this land use designation. The primary use for this designation is single-family housing. The lots may be irregular in shape and size to conform to the varied topography and other natural features. Table 2 illustrates the development options and standards for Low-Density Residential. Any combination of the lot sizes in Table 2 can be used to reach the target density of 2.0 dwelling units per acre for the LDR parcels within a Village or Planning Unit.

b. Medium-Density Residential

The Medium Density Residential (MDR) land use category denotes areas with a target density of 4.0 dwelling units per acre. A range of densities from three to six dwelling units per acre (3-5 du/acre) is allowed within this designation. The primary use for this category is single-family detached housing but will allow single-family attached dwelling product. Table 3 illustrates the development options and standards for Medium-Density Residential. Any combination of the lot sizes in Table 3 can be used to reach the target density of 4.0 dwelling units per acre for MDR parcels within a Village or Planning Unit. In the case of a Preliminary Unit Plan with only one MDR parcel, the Community Development Director will have discretion on the lot sizes, in applying this rule.

c. High-Density Residential

The High-Density Residential (HDR) land use category indicates areas where higher density residential development is appropriate. A range of densities from five to twenty dwelling units per acre (6-20 du/acre) with a target density of thirteen and one half dwelling units per acre (13.5 du/acre) is allowed within this land use category. Higher density residential uses are typically located in close proximity to major roadways and Commercial Mixed Economic Use designations. The uses found within this category would include higher density single-family detached, single-family attached, cluster, townhouse, condominiums, and apartments. Table 4 illustrates the development standards for High-Density Residential for both higher density single-family detached and single-family

development. Any combination of the lot sizes in Tables 4 or 5 can be used to reach the target density of 13.5 dwelling units per acre for HDR parcels within a Village or Planning Unit.

d. Mixed Use Resort Overlay District

The Mixed-Use Resort (Resort) Overlay District will be utilized when designing resorts in the special environs of the Sun Valley Community Villages I and II. The land use will integrate wash corridors and hillside areas with distinctive housing types, such as time-share units, casitas and estate homes, to create unique development layouts. A total of fifteen hundred (1,500) resort units shall be permitted within Village I and II. The Resort use and associated facilities shall be subject to the development standards in the Commerce Park land use development options set forth in Table 8. The underlying land use designation for the Mixed Use Resort is Low-Density Residential. Without the Resort component in use, the land use would convert to the Low-Density Residential land use category with a target density of 2.0 dwelling units per acre, with a range of one to three dwelling units per acre (1 – 3 du/acre). Timeshare Units are allowed within the Mixed Use Resort land use. Each Timeshare Unit shall count against the Mixed Use Resort unit allocation as set forth in the Land Use Budget, Section 15.

e. Permitted and Prohibited Uses in Residential Land Use Designation

Table 6 indicates the type of permitted uses for the Residential Land Use designation. This list is not intended to be comprehensive, but examples of the types of uses allowed. Table 7 specifically exempt certain uses from the Residential land use designation.

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14.1.2 Commercial Mixed Economic Use

The Commercial Mixed Economic Use category is proposed to provide diversity of potential retail and employment centers within the Sun Valley Community Villages I and II. This category includes Commercial, Commerce Park and Business Park land use designations. These land use categories will give the Sun Valley Community residents community access to retail and general commercial businesses, such as restaurants, grocery stores, drug stores, laundries, specialty shops and other shopping opportunities.

In addition, the creation of employment centers will provide an opportunity for Sun Valley Community residents to live, work, play and shop in their community. Table 8 indicates the options and development standards for the Commercial Mixed Economic Use category.

a. Commercial

Commercial uses are typically located for convenient access at intersections along major arterials and at entryways to residential areas. The proposed uses within this land use category consist of shopping facilities, retail, entertainment and services for the Villages within the Sun Valley Community. These areas can provide a range of services from neighborhood to regional.

b. Commerce Park

The purpose of this category of land use is primarily to provide employment opportunities for the residents of the Sun Valley Community Villages I and II. A variety of uses are anticipated, including but not limited to: employment centers, offices, hospitals, medical facilities, research and development.

c. Business Park

The purpose of the Business Park land use designation is to accommodate employment uses such as, but not limited to, light industrial and limited manufacturing and support services. The Business Park land use is intended to encourage large-scale campus-style commercial and light industrial development.

d. Permitted and Prohibited Uses in Commercial Mixed Economic Use Land Use Designation

Table 9 indicates the type of permitted uses for the Commercial land use designation. Table 10 indicates the type of permitted uses for the Commerce Park land use designation. Table 12 indicates the type of permitted uses for the Business Park land use designation. These lists are not intended to be comprehensive, but examples of the types of uses allowed. Table 11 specifically exempt certain uses from the Commercial and Commerce Park land use designations. Table 13 specifically exempts certain uses from the Business Park land use designation.

14.1.3 Public Use

The Public Use land use category contains land uses such as schools, open space areas, and public facilities such as libraries, police or fire stations.

a. Schools

The property in this CMP is located in two (2) school districts, the Wickenburg School District and the Saddle Mountain School District. The school districts will be consulted regarding the actual school sites during the detailed planning of each Planning Unit. Therefore, the location of the school sites shown on the Land Use Plan for Villages I and II may change. School sites for the K-8 schools are conceptually illustrated on the Land Use Plan, Exhibit D, and will typically be located central to neighborhoods, adjacent to collector roadways and adjacent to open space corridors when possible to facilitate pedestrian/bicycle access. High school sites are typically located in proximity to major roadways and associated with more intense use areas within the Sun Valley Community.

The underlying land use designation for K-8 and high schools is Medium Density Residential. In the event that a school site is not requested by the school districts, the parcels will revert to the Medium Density Residential land use provided that the total overall yield for Medium Density Residential does not exceed the yield approved in the Area Plan.

b. Open Space

The Sun Valley Community Villages I and II Land Use Plan, Exhibit D, designates almost 22 percent gross of the land for open space to facilitate an “open” environment for the Sun Valley Community residents. The open space areas will be used to fulfill the Sun Valley Community vision through combining natural improved and partially improved open space for hiking, bicycling and pedestrian trails, recreational amenities, parks, and natural vistas.

The open space category of land use includes a range of uses from active recreational uses to passive natural areas. Proposed open space areas consist of community and neighborhood parks, drainage ways, washes, recreation areas, arterial and collector road buffer areas, and landscape tracts, detention facilities, transmission easements, and golf courses. The housing market will determine the ultimate number of golf courses at the time the Unit containing a golf course designation is developed. Open space areas may be used to

accommodate drainage facilities in conjunction with recreational amenities.

The wash corridors and drainage ways are the basis for the general layout of the overall open space, trail and path system. This open space, trail and pathway system will connect neighborhoods, schools, parks, retail, and employment centers. At this time, the locations of the various open space uses are only shown conceptually for Villages I and II on the Land Use Plan, Exhibit D. The precise locations will be finalized as the delineation of the numerous drainage ways is established by the U.S. Army Corps of Engineers. The process of establishing the location of the various open space areas will be accomplished in conjunction with the design of each Planning Unit or phase of development. The construction phasing of any improvements in the open space will be addressed in each Planning Unit or phase of development. The amount of open space provided will be allocated on an overall Village basis and will not be provided on a parcel-by-parcel basis within a Planning Unit or phase of development. An open space tract table will be created for each Preliminary Plat to keep track of the amount of open space provided and how it relates to the overall Village Open Space Total. Some of the Preliminary Plats will have more opportunities to provide a higher percentage of open space, while others may be at a lower percent, but in no case shall a Preliminary Plat provide less than 8% of gross acreage as open space. In the case of a Preliminary Unit Plan with only one MDR parcel, the Community Development Director will have discretion on the lot sizes, in applying this rule.

c. Public Facilities

The Public Facilities land use includes a range of publicly accessible uses throughout the Sun Valley Community Villages I and II. Proposed uses include library, police and fire station sites. The land use will typically be located adjacent to open space and trail systems in order to accommodate the sites via pedestrian and bicycle access. The process of establishing the location of the various public facilities areas will be accomplished in conjunction with the planning of each Planning Unit or phase of development. The construction phasing of Public Facility improvements will be addressed in each Planning Unit or phase of development. The underlying land use designation for Public Facilities is Commercial. In the event that the Town does not request a Public Facility site, the parcels will revert to the Commercial land use designation.

Table 1 Sun Valley Community Villages I and II Residential Density Range and Target		
Land Use Designation	Density Range* (du/acre)	Target Density** (du/acre)
Low Density Residential (LDR)	1 – 3	2.0
Medium Density Residential (MDR)	3 – 5	4.0
High Density Residential (HDR)	6 – 20	13.5
Mixed Use Resort (Resort)***	1 - 3	2.0

*Density range is the minimum and maximum limit of dwelling units per acre (density) allowed within each residential land use designation.

**Target density is the middle of the density range and is the ideal density achievable on the total area by land use designation within a Village or Planning Unit. The target density can be achieved by using a combination of lot sizes within the range granted for the residential designation allowed on the parcel. The target density also defines the maximum number of dwelling units allowed for a parcel, without transferring density from another parcel within the Village or Planning Unit. The reallocation of residential dwelling units is allowed from one parcel to another within Villages but not between Villages, subject to Community Development Director approval with each Planning Unit Plan.

*** A total of fifteen hundred (1,500) resort units shall be permitted within Villages I and II. Timeshare Units within the Mixed Use Resort shall count against the Mixed Use Resort unit allocation as set forth in the Land Use Budget, Section 14. The number of hotel or motel rooms shall not count against the Mixed Use Resort allocation or residential dwelling unit allocation for the Sun Valley Community.

Table 2
Sun Valley Community Villages I and II
Low-Density Residential Development Options and Standards
(Density Range of 1 – 3 du/acre with a target density of 2.0 du/acre)

Development Option	Min. Lot Area (sq. feet)	Minimum Lot Width (feet)	Minimum Front Yard Setback (Living Area/ Front Entry Garage/ and Side Entry Garage)*** (feet)	Minimum Rear Yard Setback* (feet)	Minimum Side Yard Setback** (Minimum/ Total) (feet)	Max. Lot Coverage (percent)
LDR-43	43,560	145	12/35/20	30	20/40	40
LDR-35	35,000	120	12/20/20	25	10/20	40
LDR-18	18,000	100	12/20/15	20	10/20	40
LDR-10	10,000	80	12/18/10	20	5/15	45
LDR-9	9,000	75	12/18/10	20	5/15	45
LDR-8	8,000	70	12/18/10	20	5/15	45

Note: For all Development Options a maximum 3-foot projection allowed into front setback but projection should not be any less than 3' from the property line. A maximum 2' projection will be allowed into the side setbacks to allow for bay windows, fireplace, overhangs, etc. A maximum three (3) story or thirty (30) foot building height Method of Lot Measurement, Exhibit L, sets forth lot measurement details. An additional 10' setback is required for lots backing on an arterial or collector roadway. A mixture of single-story and two-story homes are allowed on all lots except for lots backing on an arterial or collector road

* At grade patios are allowed to encroach into rear yard setback to within 15-feet of rear property line.

**Additional 5-foot setback for side yard abutting a public street except when a minimum 5-foot wide homeowner's association maintained landscape tract is provided adjacent to the public street.

*** Front yard setbacks shall be staggered a minimum of 3-feet with no more than two houses in a row with same setback.

Table 3
Sun Valley Community Villages I and II
Medium-Density Residential Development Options and Standards
(Density Range of 3 – 5 du/acre with a target density of 4.0 du/acre)

Development Option	Min. Lot Area (sq. feet)	Min. Lot Width (feet) ****	Minimum Front Yard Setback (Living Area/ Front Entry Garage/ and Side Entry Garage)**** (feet)	Min. Rear Yard Setback* (feet)	Minimum Side Yard Setback** (Minimum/Total) (feet)	Max. Lot Coverage (percent)
MDR-8	7,500	70	12/18/10	20	5/15	45
MDR-7	6,500	60	12/18/10	20	5/13	50
MDR-6	5,500	50	12/18/10	20	5/13	50

Note: For all Development Options a maximum 3-foot projection allowed into front setback but projection should not be any less than 3' from the property line. A maximum 2' projection will be allowed into the side setbacks to allow for bay windows, fireplace, overhangs, etc. A maximum three (3) story or thirty (30) foot building height Method of Lot Measurement, Exhibit L, sets forth lot measurement details. An additional 10' setback is required for lots backing on an arterial or collector roadway. A mixture of single-story and two-story homes is allowed on all lots except for lots backing on an arterial or collector road.

* At grade patios are allowed to encroach into rear yard setback to within 15-feet of rear property line.

**Additional 5-foot setback for side yard abutting a public street except when a minimum 5-foot wide homeowner's association maintained landscape tract is provided adjacent to the public street.

*** Front yard setbacks shall be staggered a minimum of 3-feet with no more than two houses in a row with same setback.

**** The 50, 60, and 70 foot lots shall be regulated such that no more than 50% of the total lot count for Medium Density development is 50-59 feet in width, no less than 30% shall be 60' and greater in width, and no less than 20% shall be 70' and greater in width.

Table 4
Sun Valley Community Villages I and II
High-Density Residential Development Options and Standards
Single-Family Detached and Single-Family Attached Development
(Density Range of 6– 20 du/acre with a target density of 13.5 du/acre)

Development Option	Min. Lot Area (sq. feet)	Min. Lot Width (feet)	Minimum Front Yard Setback (Living Area/ Front Entry Garage/ and Side Entry Garage)*** (feet)	Min. Rear Yard Setback (feet)	Minimum Side Yard Setback* (Minimum/Total) (feet)	Max. Lot Coverage (percent)
HDR-4	3,500+	40	8/18/10	10	10**/5	60
HDR-3	2,500+	35	8/18/10	10	10**/5	65
HDR-2	2,000+	30	8/18/10	10	10**/5	65
HDR-1	1,000+	20	5/18/5	3	0	75

Note: For all Development Options a maximum 3-foot projection allowed into front setback but projection should not be any less than 3' from the property line. A maximum 2' projection will be allowed into the side setbacks to allow for bay windows, fireplace, overhangs, etc. A maximum three (3) story or thirty (30) foot building height. Method of Lot Measurement, Exhibit L, sets forth lot measurement details. An additional 10' setback is required for lots backing on an arterial or collector roadway. A mixture of single-story and two-story homes are allowed on all lots except for lots backing on an arterial or collector road.

*Additional 5-foot setback for side yard abutting a public street except when a minimum 5-foot wide homeowner's association maintained landscape tract is provided adjacent to the public street.

**A 0 foot minimum setback on one side, 10'-minimum benefit easement for remaining side, 10 foot setback for side yard abutting a public street except when a minimum 5-foot wide homeowner's association maintained landscape tract is provided adjacent to the public street.

*** Front yard setbacks shall be staggered a minimum of 3-feet with no more than two houses in a row with same setback.

Table 5
Sun Valley Community Villages I and II
High-Density Residential Development Standards
Multi-Family Development

Minimum Parcel Area (sq. feet)	Minimum Open Space Required (percent)	Projections Allowed (feet)	Minimum Perimeter Setback (feet)	Minimum Separation of Buildings on Same Parcel (single/multi-story) (feet)	Maximum Lot Coverage (percent)
43,560	15	3	10	10/20	75

Note: For all Development Options a maximum 3-foot projection allowed into front setback but projection should not be any less than 3' from the property line. A maximum 2' projection will be allowed into the side setbacks to allow for bay windows, fireplace, overhangs, etc. A maximum three (3) story or thirty (30) foot building height. Method of Lot Measurement, Exhibit L, sets forth lot measurement details.

Table 6 Sun Valley Community Villages I and II Residential Development Permitted Uses	
Single or multi-family dwelling units, including assisted living and senior housing and parking structures;	
Publicly or privately owned and maintained parks, recreation areas, pathways, trails, and recreation centers;	
Public and private schools; elementary, middle, and high schools; universities; trade schools;	
Religious facilities;	
Golf courses and associated facilities;	
Guest houses or detached (LDR only);	
Temporary uses including sales/marketing facilities, model home complexes, and related accessory uses;	
Facilities and storage, incidental to construction project and located on the project site;	
Public utility buildings and facilities;	
Governmental and civic uses (including post office, library, community center etc.);	
Accessory buildings;	
Home occupations, subject to the following:	
<ul style="list-style-type: none"> • The number of employees shall be limited to one non-family member or permanent resident in addition to the principal occupant; • Activity shall be limited to the hours between 8 a.m. and 6 p.m. • Heavy machinery or outdoor storage shall not be permitted; • Signage shall be limited to a maximum of two (2) square feet, non-lighted, and located on-site for the purpose of business identification only. 	
Extraction of aggregate for developer uses subject to the following:	
<ul style="list-style-type: none"> • Only from within the floodplain limits; • Obtaining all necessary local, state, and federal permits. 	
Agricultural, including livestock grazing.	
Note: This list is not intended to be comprehensive, but examples of the types of uses allowed and any non-listed uses must receive Community Development Director approval.	

Table 7 Sun Valley Community Villages I and II Residential Development Prohibited Uses	
Adult uses;	
Motor vehicle repair and body shops;	
Tanneries, meat packing and slaughter houses;	
Extraction of sand, gravel, oil, gas and other mining operations, except as allowed above;	
Cement, gravel and paving material mixing plants.	

Table 8 Sun Valley Community Villages I and II Commercial Mixed Economic Use Options and Development Standards			
Land Use Designation	Minimum Open Space Required* (percent)	Perimeter Setback** (feet)	Maximum Building Height (feet)
Commercial	10	20	30 (2 stories)
Commerce Park	10	20	60 (4 stories)
Business Park	10	20	84 (6 stories)

*Minimum open space includes all setback areas and landscape tracts.

**Perimeter setback applies to building structure only.

Table 9 Sun Valley Community Villages I and II Commercial Development Permitted Uses
All uses permitted in the Residential Land Use Designation;
Residential uses located above, below, or adjacent to commercial uses;
Retail sales;
Professional, business, and administrative offices;
Personal service businesses, such as but not limited to, beauty shops, barber shops, laundry and dry cleaning establishments;
Restaurants and restaurants with bars;
Banking and financial services;
Child care facilities;
Educational uses and libraries;
Copying and printing businesses;
Medical offices, and clinical laboratories;
Veterinary offices and clinical laboratories;
Convenience uses including drive-in uses;
Gas/service stations, including automobile repair;
Food stores;
Entertainment uses including museums, theaters, cinemas, auditoriums, and places of public assembly, excluding adult theaters and adult live entertainment;
Sales/leasing offices and associations.
Timeshare Units;

Note: This list is not intended to be comprehensive, but examples of the types of uses allowed.

Table 10 Sun Valley Community Villages I and II Commerce Park Development Permitted Uses
All uses permitted in the Commercial Land Use Designation except residential units:
Retail sales, including but not limited to liquor sales and automobile sales;
Office parks for professional, administrative, clerical, financial, medical, or other business or professional service;
Night clubs, bars, lounges, taverns;
Building supplies; hardware sales and service;
Colleges and trade schools;
Self-storage facilities; recreational vehicle storage facilities;
Health clubs;
Hospitals;
Veterinary hospitals; kennels;
Mortuaries and crematoriums.

Note: This list is not intended to be comprehensive, but examples of the types of uses allowed.

Table 11 Sun Valley Community Villages I and II Commercial and Commerce Park Development Prohibited Uses
Adult uses;
Motor vehicle salvage and wrecking yards;
Tanneries, meat packing and slaughter houses;
Extraction of sand, gravel, oil, gas and other mining operations; except as permitted by the Development Agreement for the Sun Valley Community;
Cement, gravel and paving material mixing plants; except as permitted by the Development Agreement for the Sun Valley Community;
Heavy industrial uses such as manufacturing, warehousing, assembly and storage, and uses that are characterized by processes which involve significant amounts of heat, mechanical and chemical processing, large amounts of material transfer, and large-scale machinery and structures.

Note: This list is not intended to be comprehensive, but examples of the types of uses not allowed.

Table 12 Sun Valley Community Villages I and II Business Park Development Permitted Uses
All uses permitted in the Commercial and Commerce Park Land Use Designation;
Business parks;
Research facilities;
High-tech industries;
Clean manufacturing and assembly;
Wholesale sales and distribution;
Motion picture production, radio and television broadcast studios;
Machinery sales and service;
Warehousing;
Commercial recreation facilities;
Sports facilities;
Public and quasi-public facilities;
Light industrial.

Note: This list is not intended to be comprehensive, but examples of the types of uses allowed.

Table 13 Sun Valley Community Villages I and II Business Park Development Prohibited Uses
Adult uses;
Motor vehicle salvage and wrecking yards;
Taneries, meat packing and slaughter houses;
Extraction of sand, gravel, oil, gas and other mining operations; except as permitted by the Development Agreement for the Sun Valley Community.

Note: This list is not intended to be comprehensive, but examples of the types of uses not allowed.

15.0 Sun Valley Community Villages I and II Land Use Budget

The Sun Valley Community Villages I and II Land Use Plan provides for 22 percent of the land for open space to facilitate an open environment for the Sun Valley Community residents. The open space areas will be used to fulfill the Sun Valley Community vision through combining natural, improved and partially improved open space for hiking, bicycling and pedestrian trails, recreational amenities, parks and natural vistas.

The Sun Valley Community Villages I and II Land Use Plan conceptually identifies the locations and size of the various land use designations in this CMP. However, the determination of exact land use locations and densities is governed by a complex set of parameters including natural constraints on the property, such as drainage corridors, jurisdictional waters, floodplains, topographic features, archaeological resources and biological habitats, as well as human-made constraints, such as easements, right-of-ways and arterial street alignments. In addition, changing economic and market conditions may impact the location; density and land use mix for any particular Planning Unit (Exhibit E) or phase of development. Therefore, the exact location, density and land use mix for each and every Planning Unit will differ from the conceptual Land Use Plan, Exhibit D, in this CMP, except for Planning Unit I as shown thereon.

The Sun Valley Community Villages I and II Land Use Budget is the mechanism that provides the needed “plan flexibility” to allow this CMP to respond to these various parameters. The Land Use Budget will give the developer the ability to adjust and/or reallocate the designated land use locations and densities as the above parameters become known or established. This approach will provide a basis for a more efficient, integrated, balanced, and appealing community layout.

The residential, commercial, school, and open space land use designations that are shown on the Sun Valley Community Villages I and II Land Use Plan are summarized in the Summary Land Use Budget Table set forth in Table 14. Intensities for the land use designations described in this Section are provided in the Land Use Budget Tables 14, 15, and 16.

The boundary of Villages I and II conform to the Area Plan, but at the time the Area Plan was adopted detailed engineering and accurate survey data pertaining to topography and land survey boundaries were not part of the preparation. Therefore, the minor differences in total acreage for Villages I and II are due to the more detailed and accurate data being available pertaining to topography and boundary than at the time of the Area Plan preparation. Although there are minor differences in the acreages, the maximum residential dwelling yield has not exceeded the Sun Valley Community’s portion of the Area Plan’s approved residential dwelling unit yield, nor will the open space be any less than as in the Area Plan for Villages I and II.

15.1 Land Use Density – Residential

The allocation of residential dwelling units within each Village is set forth in the Village I Land Use Budget, Table 15 and the Village II Land Use Budget, Table 16. A maximum of 17,536 residential dwelling units shall be permitted on the 5,769.94 acres of the Sun Valley Community Villages I and II, as indicated on Table 14. The overall density of Villages I and II is 3.04 dwelling units per acre. As illustrated on Table 15, Village I is comprised of 3,036.17 acres. Village I shall contain no more than 8,580 dwelling units, which equates to a density (including schools and open space) of 2.97 dwelling units per acre and an overall Village density of 2.83 dwelling units per acre. As illustrated on Table 16, Village II is comprised of 2,733.77 acres. Village II shall contain no more than 8,956 dwelling units, which equates to a density (including schools and open space) of 4.41 dwelling units per acre and an overall Village density of 3.28 dwelling units per acre.

15.2 Land Use Intensity – Commercial Mixed Economic Use

A total of 846.64 acres of Commercial Mixed Economic Use development shall be permitted within the Sun Valley Community Villages I and II, which equates to almost 14.7% of the property. The Commercial Mixed Economic Use areas will provide the needed retail and general commercial uses for the Sun Valley Community residents within their community. Such retail and commercial uses may include restaurants, grocery stores, drug stores, home improvement stores, specialty shops and other shopping opportunities. In addition, the Commercial Mixed Economic Use areas will provide employment centers for the Sun Valley Community residents facilitating the opportunity for the Sun Valley Community residents the opportunity to live, work, play and shop within their community. It is anticipated that the location and sizes of the various Commercial Mixed Economic Use parcels will vary depending on traffic and market conditions.

15.2.1 Land Use Intensity – Commercial

A total of 176.08 acres shall be permitted for Commercial development in Villages I and II, of which 63.86 acres shall be allowed in Village I and 112.22 acres in Village II.

15.2.2 Intensity of Use – Commerce Park

A total of 561.63 acres of Commerce Park development will be allowed in Villages I and II, of which 79.61 acres shall be allowed in Village I and 482.02 acres in Village II.

15.2.3 Intensity of Use – Business Park

A total of 108.93 acres of Business Park development will be allowed in Village II. Village I does not anticipate any Business Park development.

15.3 Land Use Intensity – Public Use

A total of 1,512.19 acres of Public Use acreage is proposed within the Sun Valley Community Villages I and II, which equates to over 26% of the property. The Public Use land use includes schools, open space and public facilities such as library, church, fire and police stations. Additional acreage will be provided for the public facilities land use category as the sites are established during the planning of each Planning Unit or phase of development.

15.3.1 Schools

A total of 245.16 acres of land is proposed for school sites in the Sun Valley Community Villages I and II, which equates to over 4% of the Village acreage. Village I anticipates 129.92 acres of K-8 and high school acreage and Village II proposes 115.24 acres of K-8 and high school acreage.

15.3.2 Open Space

A total of 1,267.03 acres of open space is proposed within Villages I and II of the Sun Valley Community, which equates to 22% of the Village I and II acreage. Village I proposes 779.72 acres of open space, which is 25.7% of the Village I acreage. Village II proposes 487.31 acres of open space, which is 17.8% of the Village II acreage.

The amount/percentage of open space provided will be allocated on an overall Village basis and will not be provided on a parcel-by-parcel basis within a Planning Unit or phase of development. Any parcel or phase of development may have more or less than the Area Plan percentage for compliance with the Area Plan; however the Area Plan open space percentage will be calculated with reference to each Village for Area Plan compliance.

An open space tract table will be created for each Preliminary Plat to keep track of the amount of open space provided and how it relates to the overall Village Open Space total. Some of the Preliminary Plats will have more opportunities to provide a higher percentage of open space, while others may be at a lower percent. No Preliminary Plats may be less than 8% on their open space requirement.

15.4 Land Use Designation Locations

The site-specific location of each land use designation within the Sun Valley Community Villages I and II will be defined in the detailed planning stage of each Planning Unit or phase of development. Each Planning Unit will be carefully designed to be consistent with the Sun Valley Community vision.

15.5 Land Use Density and Intensity Transfers

The developer may transfer residential dwelling units from one parcel, phase of development or Planning Unit to another within a Village with approval from the Community Development Director as long as the overall allowed yield for the Village is not exceeded. The developer may not transfer residential dwelling units from one Village to another Village without the prior approval of the Community Development Director, in which case a major amendment to this CMP would be required as set forth in Section 12 of this CMP.

The developer may transfer Residential, Commercial Mixed Economic Use, or Public Use acreage (including schools, open space and public facilities) from one parcel, phase of development or Planning Unit to another within a Village with approval from the Community Development Director. The developer may not transfer Residential, Commercial Mixed Economic Use or Public Use acreage (including schools, open space and public facilities) from one Village to another Village without initiating a minor amendment.

Table 14
Sun Valley Community Villages I and II
Summary Land Use Budget Table
Villages I and II Combined

Land Use	Acres	Percent of Total Acreage	Dwelling Units	Percent of Dwelling Units	Target Density (du/acre)
Low Density Residential (LDR)	776.04	13.4%	1,552	8.9%	2.0
Medium Density Residential (MDR)	2,242.04	38.9%	10,089	57.5%	4.0
High Density Residential (HDR)	393.03	6.8%	5,895	33.6%	13.5
School (K-8 and High School)	245.16	4.2%	0	0	0
Open Space	1232.03	22.0%	0	0	0
Subtotal	4,888.30	85.30%	17,536	100%	3.58
Resort	35	0	0	0	30
Commercial*	176.08	3.1%	0	0	0
Commerce Park	561.63	9.7%	0	0	0
Business Park	108.93	1.9%	0	0	0
Total for Village I and II	5,769.94	100%	17,536	100%	3.04

*The Church and Public Facilities land use are included in the Commercial acreage. The underlying land use designation for Church and Public Facilities is Commercial.

Table 15
Sun Valley Community Villages I and II
Land Use Budget Table
Village I

Land Use	Acres	Percent of Total Acreage	Dwelling Units	Percent of Dwelling Units	Target Density (du/acre)
Low Density Residential (LDR)*	591.04	19.5%	1,182	13.8%	2.0
Medium Density Residential (MDR)	1,284.00	42.3%	5,778	67.3%	4.0
High Density Residential (HDR)	108.02	3.5%	1,620	18.9%	13.5
School (K-8 and High School)	129.92	4.3%	0	0	0
Open Space*	744.72	25.7%	0	0	0
Subtotal	2,857.70	95.30%	8,580	100%	2.97
Resort	35.00	1.15%	0	0	0
Commercial**	63.86	2.1%	0	0	0
Commerce Park	79.61	2.6%	0	0	0
Business Park	0	0%	0	0	0
Total for Village I	3,036.17	100%	8,580	100%	2.83

*A Resort overlay district shall be permitted on 35 acres of Village I. A total of fifteen hundred (1,500) units are permitted within the Resort land use designation. The Resort units will count as 20% of the residential dwelling units allowed for the Sun Valley Community Villages I and II. The underlying land use designation for Resort is Low Density Residential.

**The Church and Public Facilities land use are included in the Commercial acreage. The underlying land use designation for Church and Public Facilities is Commercial.

Table 16
Sun Valley Community Villages I and II
Land Use Budget Table
Village II

Land Use	Acres	Percent of Total Acreage	Dwelling Units	Percent of Dwelling Units	Target Density (du/acre)
Low Density Residential (LDR)	185.00	6.8%	370	4.1%	2.0
Medium Density Residential (MDR)	958.04	35.1%	4,311	48.1%	4.0
High Density Residential (HDR)	285.01	10.4%	4,275	47.7%	13.5
School (K-8 and High School)	115.24	4.2%	0	0	0
Open Space	487.31	17.8%	0	0	0
Subtotal	2,030.60	74.30%	8,956	100%	4.41
Commercial	112.22	4.1%	0	0	0
Commerce Park	482.02	17.6%	0	0	0
Business Park	108.93	4.0%	0	0	0
Total for Village II	2,733.77	100%	8,956	100%	3.28

16.0 Villages I and II Master Plans and Reports

The Town of Buckeye, as part of the CMP review and approval process, requires engineering master plans, in conjunction with their respective reports, for the Sun Valley Community Villages I and II as they provide community-wide infrastructure planning. The Master Plans and reports are intended to identify constraints, provide overall concepts, establish design guidelines and become the foundation for more detailed studies, to be prepared for development of each Planning Unit. The Master Plans included with this CMP for Villages I and II include Master Phasing, Master Potable Water, Master Wastewater, Master Reclaimed Water, Master Drainage, and Master Traffic and Circulation Plans. Each phase of development will be designed in conformance with the respective Master Plan and the Master Plans and Reports shall not be altered without approval by the Town of Buckeye Community Development Director.

The preliminary study for the first phase of development known as Planning Unit I of Village I has been included in the Master Plans and Reports. Detailed engineering reports will be prepared with submittal of Preliminary Plat.

16.1 Master Phasing Plan

The Sun Valley Community Villages I and II will be developed in phases. The infrastructure, public facilities, and other community amenities will be built in phases and in many cases will be constructed concurrently with adjacent residential parcels. The anticipated phasing schedule is illustrated on the Master Phasing Plan, Exhibit F, of this CMP.

The Master Phasing Plan represents the developer's best estimate of the order of development for Sun Valley Community Villages I and II. It will be subject to modification by the developer based upon changing residential and commercial real estate market conditions, industry factors and/or business considerations. Any such modifications will be required to show feasibility with respect to infrastructure needs but shall not necessitate an amendment to this CMP.

16.2 Master Potable Water Plan

The Master Potable Water Plan was prepared to develop a general water infrastructure concept for the areas included in this CMP submittal and for a section located at the most southeasterly corner of Village I and the area between the most northwestern portion of the CMP and the Central Arizona Project Canal (CAP) to demonstrate that the proposed system will provide adequate flow and pressure to the areas served. The report is not intended to be a detailed design report, but a general discussion of the infrastructure improvements required to facilitate development.

The study encompasses two scenarios: The first scenario is a determination of the ultimate proposed water infrastructure system at full build-out for the entire CMP (Sun Valley Community - Villages I and II.

The second scenario is more detailed than the first and delineates the infrastructure required to facilitate only the first phase of development, Planning Unit 1 of Village I. This section of the report serves as the final design report for that portion of the development. Each future phase of development will require a more detailed analysis to confirm conformance with this CMP and reflect any changes or re-distribution of land uses.

The potable water servicing needs, present or future, of other properties within the Town of Buckeye corporate limits and outside of this CMP are not included in the Master Potable Water Plan. The proposed water infrastructure system is illustrated on the Master Potable Water Plan, Exhibit G, of this CMP. The complete detailed report is being submitted under separate cover to the Town.

16.2.1 Potable Water Distribution System

The proposed potable water system consists of wells, storage facilities, pumps, pipes and valves necessary to facilitate the development of the Sun Valley Community Villages I and II and piping to extend to the outparcel at the southeasterly corner of Village I and the area between the most northwestern portion of the CMP and the CAP Canal. These facilities will be constructed in a phased manner to adequately serve each phase of development.

Water supply will be provided by production wells along the western portion of Village II. These wells will produce groundwater as anticipated by the study entitled "Evaluation of Adequacy of Groundwater Supply for Sun Valley Project, Hassayampa Plain, Arizona," March 1998 and applicable Phoenix Active Management Area (AMA) and Arizona Department of Water Resources standards. The water in this aquifer has historically been shown to be uncontaminated and of sufficient quantity and quality to meet the needs of this development.

The potable water demands on the system will result from a variety of residential and commercial land uses proposed for the development. The demands used per person for this development are in general conformance to those outlined in the Phoenix AMA Third Management Plan. The distribution system was analyzed under several different demand scenarios in order to ensure that the system can meet certain design criteria for delivery. Water mains are generally located in each arterial roadway alignment. The need for water mains within collector roadways will be established as each phase of development is completed. This determination has been completed for the first phase of development in Village I -- Planning Unit 1.

Storage facilities will be constructed to provide for means to meet diurnal demand fluctuations, emergency storage and fire flow protection. Storage requirements will be based upon adequacy to meet these criteria by providing adequate line sizing and the ability to transport water between high demand areas. Two storage facilities are located on pressure zones boundaries and will service both the low and high zones adjacent to each boundary.

16.3 Master Wastewater Plan

The Master Wastewater Plan along with the detailed report was prepared to develop a general wastewater infrastructure concept for the areas included in this CMP submittal. It demonstrates that the proposed system will provide adequate facilities to serve properties under ultimate demand conditions. The report is not intended to be a detailed design report for the entire CMP; rather, it is a general discussion of the improvements that will be required.

The report does contain detailed analysis for the first phase of development known as Planning Unit 1 of Village I and does serve as the final design report for that portion of the development. Each future phase of development will require a more detailed analysis to confirm conformance with this CMP and reflect any changes or re-distribution of land uses.

The wastewater servicing needs, present or future, of other properties within the Town of Buckeye corporate limits and outside of the CMP are not included the Master Wastewater Plan except for a section located at the southeasterly corner of Village I and the area between the most northwestern portion of the CMP and the CAP canal. The Master Wastewater Plan is included in this CMP as Exhibit H. The complete detailed report is being submitted under separate cover to the Town.

16.3.1 Wastewater Collection and Treatment Systems

The proposed wastewater system consists of both gravity and force main sewers, a wastewater lift station and a wastewater treatment plant for the collection and treatment of wastewater from Villages I and II. A gravity sewer will also be extended to the section of land at the southeast corner of Village I and the area between the most northwestern portion of the CMP and the CAP canal. The construction of these facilities will be phased in accordance with the development of the planning units and/or parcels within the planning units.

Wastewater will originate from a variety of residential and commercial land uses proposed for the project. Wastewater

originating in Village I will be conveyed by means of gravity sewer mains to the centralized treatment plant located adjacent to Wagner Wash. Gravity sewers to the wastewater treatment plant will also convey the majority of wastewater originating in Village II; however, topographical constraints necessitate a lift station and force main for conveyance of portions of Village II wastewater to the treatment plant. Gravity sewers discharging to a future wastewater treatment plant to be constructed by others in the adjacent Trillium Community Master Plan may ultimately serve that portion of Village II served by the lift station.

Gravity and force main sewers are generally located in arterial and collector street alignments as well as adjacent to the power line easement bisecting the area encompassed by this CMP. The sewers are generally aligned to facilitate phased development of each planning unit. Refer to the Master Wastewater Plan exhibit for sewer main alignments.

Treated effluent disposal will be through direct reuse for irrigation, groundwater recharge and intermittent discharge to Wagner Wash. These disposal methods are addressed in the Master Reclaimed Water Plan.

16.4 Master Reclaimed Water Plan

The Master Reclaimed Water Plan along with the detailed report was prepared to develop a general reclaimed water infrastructure concept for the areas included in this CMP submittal. It demonstrates that the proposed system will provide adequate facilities to serve properties under ultimate conditions. The report is not intended to be a detailed design report for the entire CMP; rather, it is a general discussion of the improvements that will be required.

The report does contain detailed analysis for the first phase of development known as Planning Unit 1 of Village I and does serve as the final design report for that portion of the development. Each future phase of development will require a more detailed analysis to confirm conformance with this CMP and reflect any changes or re-distribution of land uses.

The servicing needs, present or future, of other properties within the Town of Buckeye corporate limits and outside of the CMP are not included the Master Reclaimed Water Plan. The Master Reclaimed Water Plan is included in this CMP as Exhibit I. The complete detailed report is being submitted under separate cover to the Town.

16.4.1 Reclaimed Water Distribution and Reuse Systems

The proposed reclaimed water system consists of force mains and lift stations for the distribution of reclaimed water for reuse in golf courses, open spaces, wash corridors, arterial street landscaping tracts and Sun Valley Parkway landscaping areas.

Additionally, the reclaimed water distribution system will supply a catch-and-release fishing lake located within a public park within Village I – Planning Unit 1. The primary purpose of this amenity feature will be to store reclaimed water during periods of low irrigation demand. Groundwater recharge will be accomplished with aquifer recharge wells located in the vicinity of the wastewater treatment plant for excess effluent not used for irrigation purposes. Reclaimed water will be disposed of through direct reuse or groundwater recharge. Only under emergency conditions, will water be discharged to Wagner Wash in accordance with the requirements of an AZNPDES permit.

The reclaimed water distribution lines are generally located in arterial and collector street alignments as well as adjacent to the power line easement bisecting the site. Refer to the Master Reclaimed Water Plan, Exhibit I, for reclaimed water main alignments.

16.5 Master Drainage Plan

The Master Drainage Plan, Exhibit J, along with the preliminary master drainage report was prepared to develop a general drainage infrastructure concept for the areas included in this CMP submittal. It demonstrates that the proposed system will provide adequate facilities to handle offsite and onsite runoff through the development under ultimate build-out conditions. The report is not intended to be a detailed design report for the entire CMP; rather, it is a general discussion of the improvements that will be required.

The report does contain additional levels of detail for the first phase of development known as Planning Unit 1 of Village I, but does not serve as the final drainage report for that portion of the development. A Final Master Drainage Report will be prepared for each phase of development for submittal with a Master Grading and Drainage Plan to confirm conformance with this CMP and reflect any changes or re-distribution of land uses.

The Preliminary Master Drainage Report presents a detailed hydrologic and conceptual hydraulic analysis of the drainage system for the development. This includes a preliminary plan showing general direction of storm water runoff and how the onsite and offsite drainage will be

handled. The Preliminary Master Drainage Report is intended to provide general drainage information to satisfy the needs of all of the governmental agencies involved in the approval and development of the CMP. Future revisions to the Wagner Wash floodplains may be submitted to the county for Conditional Letters of Map Revision based on hydrology, more accurate topography, and revisions to the cross sectional geometry of the channel. No new FEMA floodplains are proposed to be created; however, drainage easements will be created over existing floodplains identified with this report to remain. The Master Drainage Plan is included in this CMP as Exhibit J. The complete detailed report is being submitted under separate cover to the Town and the Flood Control District of Maricopa County.

16.5.1 Drainage System Standards

The following are general design standards that will be utilized in the preparation of Final Master Drainage Plans for each Planning Unit for the Sun Valley Community Villages I and II. These are not a complete discussion of the issues, rather highlights of the key concepts presented in more detail in the Preliminary Master Drainage Plan being submitted under separate cover.

- Onsite detention facilities will be utilized in order to reduce the post- development peak flows such that they are equal to or less than the existing pre-development peak flows where Wagner Wash leaves Village II. The facilities will be designed in accordance with Maricopa County's Drainage Design manual.
- Detention basins will generally be designed as flow through systems to sustain downstream habitat areas, and maintain existing sediment discharge characteristics.
- The major natural channel floodplain systems will be retained. Modifications will be made to enhance and add to the natural flora and fauna communities, as recommended through the 404-permit process.
- Wash/Street Crossings for 100 year all weather access crossings will be designed to pass the 100-year storm. All building sites will have at least one point of 100-year all weather access. The 100-year access route for the arterial streets is shown on the master drainage plan.
- Streets will be designed to carry runoff from the 10-year storm between the curbs in accordance with the

Uniform Drainage Policies and Standards for Maricopa County, Arizona. Additionally, the 100-year flow will be contained within the right-of-way with a maximum depth of 8-inches above the driving surface. When street capacities exceed these criteria, excess flow will be diverted from the roadway into retention basins or conveyed within an open channel.

- Some crossings within the CMP will be designed for less than the 100-year storm capacity when not needed for access. These crossings will be designed with low flow culverts to be stable for overtopping by the 100-year storm. Wet sections will not be allowed on any arterial streets.
- It is proposed that local flows will be accommodated in a local system and will be addressed at the detailed design phase of the project subdivision plans.
- A detailed fully developed hydrologic analysis, hydraulic analysis of channels, level 3-erosion analysis, road crossings, street flows, detention facilities, and the final design of improvements around them, will be covered in a Final Master Drainage Report to be prepared for each phase of development.
- When evaluated for the final design, minor adjustments may need to be made to the overall concept and they will be based on generally accepted engineering practices and in accordance with drainage and floodplain regulations of the Flood Control District of Maricopa County.
- AZNPDES standards will be adhered to for construction activities and; a biofilter type treatment is proposed for outlets from commercial areas and golf course areas.
- No ponding in right-of-way or discharge to street is proposed.

16.6 Master Street and Circulation Plan

This report summarizes the process and results of the Traffic Impact Analysis completed by Kirkham Michael and Associates, Inc. (KM) as part of the Sun Valley Villages I and II CMP process. The Traffic Impact Analysis is intended, primarily, to establish a set of design and operational guidelines for all Village I and II roadways, and to identify the appropriate

lane configuration and type of traffic control for all arterial/arterial, arterial/collector, and collector/collector intersections shown in the Master Street and Circulation Plan, Exhibit K, of this CMP.

The Town of Buckeye approved an analysis of the major roadway needs of the entire 16,266 acres that once comprised the Sun Valley Area Plan in 1996. The Area Plan traffic analysis produced a major roadway (circulation) plan that would accommodate anticipated build out year traffic demands of the Sun Valley Development. The Area Plan-associated circulation plan established broad functional classifications and general alignments for the major roadways that will ultimately provide regional access to and through the Sun Valley area.

The current stage in the transportation planning process (the stage documented in the Traffic Impact Analysis) involves both:

- Taking a fresh look at the approved circulation plan, from the standpoint that it was created based on a more generalized concept for the Sun Valley property than is available today and, as such, may present an overly conservative estimate of the roadway capacity needs of the community, and
- Adding detail to the approved circulation plan, in the form of specific design criteria for both the previously considered major roadways, and the currently proposed collector roadways that will provide local access to the first phase of development in Village I Planning Unit 1. The results of this effort lead to and are reflected in the Master Street and Circulation Plan and the Roadway Design Standards elements of this CMP.

The Master Street and Circulation Plan, Exhibit K, for Sun Valley Community Villages I and II presents the results of the above described effort, and the ultimate roadway network plan. It is not, however, intended to suggest that all of these roadways will need to be built prior to occupancy of the first phase of development. It is anticipated that prior to the occupancy of the first Sun Valley Community dwelling unit, all planned collector roadways located within Planning Unit 1 of Village I will be built to their ultimate width, and planned arterial roadways located within or adjacent to Planning Unit 1 of Village I will be built to a "half-street" width. In addition, the western planned arterial road in Planning Unit 1 of Village I will be built to a "half-street" width. As the commerce park and commercial parcels are built-out, such western planned arterial road will be built to full width as necessary. The future phased improvement/expansion of the roadway network should be planned and scheduled based on actual traffic volumes recorded on arterial and collector streets within the built area of the Sun Valley property and the roadway design capacity criteria set forth in the Roadway Design

Standards and Standard Cross Sections, included in this CMP accompanying Exhibit K. Therefore, notwithstanding the depiction of the roadway network in this CMP, only those streets which are reasonably needed for access and/or justified by traffic volume will be built. The roadway network will be addressed in each Planning Unit Plan or phase of development. The staged improvement of roadways should be a function of the ultimate classification of a roadway segment and of the traffic volumes recorded. Once a roadway segment is identified for widening, construction should commence within one (1) year.

17.0 Land Subdivision and Development Site Plan Procedures and Provisions

The purpose of this Section is to establish procedures and provisions for property development within the Sun Valley Community. This Section is not intended to deviate from the Town of Buckeye's administrative procedures, rather to supplement them where further definition is desired for this development. This section applies to Villages I and II, as well as Villages III and IV which will be specifically incorporated into the future Community Master Plan for Villages III and IV. In the event of a conflict between the administrative provisions of this CMP and the Town of Buckeye Development Code, the administrative provisions of the Town of Buckeye Development Code shall prevail.

17.1 Land Subdivision

17.1.1 General Provisions

Land to be subdivided shall be of such character that it can be used for building purposes without danger to health or peril from fire, flood or other menace, and land shall not be subdivided until available public facilities and improvements exist and/or proper provision has been made for drainage, water, wastewater, streets and public facilities as specified in the applicable Planning Unit Plans.

17.1.2 Street Naming

The developer shall have the authority to establish street names, subject to Town review/approval throughout the Sun Valley Community. The developer shall indicate street names for public streets on all preliminary plats.

Street name signs, and stop signs where needed, shall be placed at all street intersections by the developer and shall be in place when street paving is in place.

17.1.3 Land Splits

The division of property, the boundaries of which have been fixed by a recorded plat into two (2) or more parcels; or the division of unimproved land into no more than three (3) parcels of land for the purpose of sale or lease.

The following requirements shall be met for any land split within the jurisdiction of this CMP:

- Parcel size and dimensions shall meet the requirements of the applicable development options as set forth in Section 14 of this CMP.
- Adequate access for ingress/egress to a paved street shall be provided.
- Adequate provision for utilities, including electric, water and wastewater service shall be available and such availability shall be indicated on a survey submitted with a request for a land split.
- The Town Community Development Director shall approve a request for a land split if the application meets all of its requirements as stated in this section.

17.1.4 Preliminary Plat

Preliminary plat approval constitutes authorization to proceed with preparation of the final plat and the engineering plans and specifications for public improvements. The administrative procedures for Preliminary plat review and approval will follow Town of Buckeye standards.

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17.1.5 Final Plat

The administrative procedures for Final Plat review and approval will follow the Town of Buckeye standards.

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17.1.6 Subdivision Design Standards

All subdivisions within the Sun Valley Community shall meet or exceed the minimum development standards set forth in Section 18 and the lot design standards in Section 14 of this CMP.

17.1.7 Engineering and Construction Plans

It shall be the responsibility of the developer to have prepared by a registered professional engineer who is licensed to practice in the State of Arizona, a complete set of engineering plans, Water Report, Wastewater Report, Traffic Impact Study and a Final Drainage Report in accordance with all applicable Town codes and this CMP, for the construction of all required subdivision improvements. Such plans and Final Drainage Report shall be in conformance with the approved Preliminary Plat and Preliminary Drainage Report.

The Town Engineer shall approve the engineering plans and Final Drainage Report unless they fail to conform to one or more requirements of this CMP, or the plans differ substantially from the approved Preliminary Plat and Preliminary Drainage Report.

17.1.8 Responsibility for Public Improvements

a. Financial Guarantee

The Town Council shall require the subdivider to guarantee that all required improvements would be completed in a manner satisfactory to the Town using either of the following methods:

- A performance bond, an irrevocable letter of credit, assurance of construction of subdivision improvements, funds in a restricted escrow account or other financial guarantee approved by the Town Attorney prior to the recordation of the final plat.
- The financial guarantee shall be one hundred (100) percent of the cost of the labor and materials necessary to complete the required subdivision improvements, based upon a construction cost estimate prepared by a registered professional engineer who is licensed to practice in the State of Arizona.
- The period within which required improvements must be completed shall be specified and shall not exceed two (2) years from the date of final plat approval.
- As an alternative procedure, the Town Council may approve a Final Plat and the Community Development Director may record the Final Plat but withhold the issuance of a Certificate of Occupancy until such time that all required subdivision improvements have been completed. However, certificates of occupancy shall be granted for model homes prior to completion of improvements as long as fire protection and paved access have been provided to the model(s).

In the event the developer desires to have a certificate of occupancy issued for a home prior to the completion of all improvements, such certificates of occupancy shall be granted as long as a financial guarantee as specified above, for the estimated amount of the improvements remaining to be completed, is put in place to replace the hold on the certificates of occupancy. In no case shall a certificate of occupancy

be issued if uncompleted work poses a health or safety concern.

- The Town shall within twenty (20) days from the date of the completion and acceptance of the required improvements, as defined in the following section, Inspection of Improvements, release (or in the case of a letter of credit, accept a substitute letter of credit) such financial guarantee posted for the accepted improvements.

b. Inspection of Improvements

Prior to the approval of the required improvements by the Town Engineer, an engineer retained by the developer shall certify to the Town that all facilities and improvements to be dedicated to the Town have been constructed in accordance with the requirements of this CMP and applicable provisions of the Development Code. The Town Engineer shall inspect all required improvements and certify that they comply with all specifications as set forth in the approved improvement plans, such certification shall constitute acceptance of the required improvements by the Town. Any inspection expenses incurred by the Town shall be reimbursed by the developer.

c. Warranty of Improvements

The developer shall post a performance bond or other sufficient surety to guarantee that all defects in any public facilities or improvements that occur within one (1) year after acceptance of the improvements by the Town shall be corrected by the developer.

17.2 Site Plans

Site Plans shall be required for all developments within the Sun Valley Community with the exception of subdivision plats for single-family residential developments. Site Plans shall be submitted to and approved by the Development Board prior to issuance of a building permit upon showing that the Site Plan meets the development standards of the applicable development option as set forth in this CMP and the Town of Buckeye Development Code.

17.2.1 Concept Site Plan

The administrative procedures for Concept Site Plan review and approval will follow the Town of Buckeye standards.

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17.2.2 Final Site Plan

The administrative procedures for Final Site Plan review and approval will follow the Town of Buckeye standards.

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17.2.3 Site Plan Design Standards

All Site Plans within the Sun Valley Community shall meet or exceed the minimum development standards set forth in Section 18.1, Setback and Height Restriction, and Section 18.4 Building Construction.

17.2.4 Engineering and Construction Plans

It shall be the responsibility of the developer to have prepared by a registered professional engineer who is licensed to practice in the State of Arizona, a complete set of engineering plans, Water Report, Wastewater Report, Traffic Impact Study and a Final Drainage Report in accordance with all applicable Town codes and this CMP, for the construction of all required development improvements. Such plans and Final Drainage Report shall be in conformance with the approved Site Plan and Preliminary Drainage Report.

The Town Engineer shall approve the engineering plans and Final Drainage Report unless they fail to conform to one or more requirements of this CMP, or the plans differ substantially from the approved Preliminary Development Site Plan and Preliminary Drainage Report.

17.2.5 Responsibility for Public Improvements

a. Financial Guarantee

The Town Council shall require the developer to guarantee that all required improvements would be completed in a manner satisfactory to the Town using either of the following methods:

- A performance bond, an irrevocable letter of credit, assurance of construction of subdivision improvements,

funds in a restricted escrow account or other financial guarantee approved by the Town Attorney prior to the recordation of the Site Plan.

- The financial guarantee shall be one hundred (100) percent of the cost of the labor and materials necessary to complete the required development improvements, based upon a construction cost estimate prepared by a registered professional engineer who is licensed to practice in the State of Arizona.
- The period within which required improvements must be completed shall be specified and shall not exceed two (2) years from the date of the Site Plan approval.

In the event the developer desires to have a certificate of occupancy issued for a home prior to the completion of all improvements, such certificates of occupancy shall be granted as long as a financial guarantee as specified above, for the estimated amount of the improvements remaining to be completed, is put in place to replace the hold on the certificates of occupancy. In no case shall a certificate of occupancy be issued if uncompleted work poses a health or safety concern.

18.0 Development Standards

The purpose of development standards contained in this CMP is not to restrict imagination, or variety, but rather to assist in focusing on those elements of design which can produce creative solutions that will develop a satisfactory visual appearance, preserve property values, limit incompatibilities, and promote the public health, safety, and general welfare of the residents within the Sun Valley Community. This Section applies to Villages I and II as well as Villages III and IV, which will be specifically incorporated into the future Community Master Plan for Villages III and IV.

The use, construction, improvement, or other development of any portion of the Sun Valley Community shall be subject to all of the property development standards contained in this CMP, except as may be modified by each Planning Unit Plan.

18.1 Setback and Height Exceptions

1. Structure projections (bay windows, balconies, overhangs, etc.) will be allowed to extend three (3) feet beyond any front yard setback or two (2) feet side yard setback line provided that the projections do not extend closer than three (3) feet to any property line. Further projection may be allowed by the Community Development Director for buildings over two (2) stories provided that such projection will not adversely impact any adjacent properties.
2. The height regulations of this CMP shall not apply to spires, belfries, clock towers or other community icons; chimneys, cooling towers, elevator bulkheads, fire towers, monuments or stacks; radio or television aerials, cellular/digital communication facilities, ornamental towers, or necessary mechanical structures as long as the above features do not exceed seventy-five (75) feet in height from finished grade for all development options, except for the Commercial Mixed Economic Use land use designation where such features shall not exceed one hundred (100) feet in height from finished grade. If attached to a building, such features shall not occupy a horizontal area in excess of twenty-five (25) percent of the entire roof area of the building and shall be architecturally compatible with the building and its surroundings. In addition, height regulations of this CMP shall not apply to hospitals, resorts, signature architecture, or water tanks. Exhibit M – Hillside Height Measurement should be referred to for areas with slopes.

18.2 Residential Accessory Buildings (including detached guest houses)

1. Accessory buildings shall not be located within ten (10) feet of the primary residence or lot line; and/or be constructed and occupied prior to the construction of the primary residence. Such buildings shall be architecturally compatible with the primary residence and its surroundings.

18.3 Air Quality

1. Air quality within the Town of Buckeye is a natural asset. It is the intent of this CMP to maintain air quality by controlling dust caused by new development and motor vehicle traffic.
2. Each Planning Unit Street and Circulation Plan shall include a statement of conformance with the State Air Quality Plan, as developed by the Maricopa Association of Governments (MAG), for all proposed transportation improvements.
3. Maricopa County air quality regulations shall be adhered to for all construction activities within the Sun Valley Community.
4. Development plans shall be designed to minimize traffic flows and encourage efficient traffic circulation.
5. Parking, loading, and vehicle storage areas shall be maintained in a manner that minimizes dust emissions.
6. Vacant property which is not in its natural vegetative state and which was not disturbed prior to the adoption of this CMP shall be controlled to minimize dust emissions beyond the boundaries of the site to the same levels as previously existed.
7. Air blowers used for landscape maintenance having a fifty (50) cubic centimeter engine or larger shall be prohibited.

18.4 Building Construction

1. All construction or work for which a permit is required shall be subject to inspection by the Town Building Inspector, in accordance with the applicable provisions of the Uniform Building Code.

2. The following uniform codes, by reference, are made part of this CMP. In the event the Town adopts an updated version of any or all of the following uniform codes, the most-recently adopted version shall prevail.

UNIFORM BUILDING CODE, 1997 edition, published by the International Conference of Building Officials;

NATIONAL ELECTRICAL CODE, 1996 edition, published by the National Fire Protection Association;

UNIFORM PLUMBING CODE, 1997 edition, published by the International Association of Plumbing and Mechanical Officials;

UNIFORM MECHANICAL CODE, 1997 edition, published by the International Association of Plumbing and Mechanical Officials;

UNIFORM FIRE CODE, 1997 edition, published by the International Conference of Building Officials and the Western Fire Chiefs Association;

UNIFORM CODE FOR THE ABATEMENT OF DANGEROUS BUILDINGS, 1997 edition, published by the International Conference of Building Officials, and any and all supplements to said codes.

3. The design and construction of buildings shall be under the supervision of licensed engineers, contractors, or architects when required by applicable state law. The Town shall enforce and require adherence to state laws governing such and may refuse to issue permits if documentation on licensing requirements is not provided.

18.5 Residential Density

Residential densities shall be allowed to vary within and between neighborhoods. The reallocation of the residential densities, subject to Section 12, provides for the accommodation of drainage way preservation, topographic conditions, market conditions, and environmental and human-made constraints. Residential densities may range from approximately one (1) dwelling unit per acre to twenty (20) dwelling units per acre. Gross density for the Sun Valley Community Villages I and II shall be in accordance with Section 15 and the Land Use Budget Charts set forth in Tables 14, 15 and 16 of Section 15.

18.6 Flood Control

18.6.1 Floodplain Management.

The Maricopa County Flood Control District (the “FCD”) is responsible for all floodplain management activities within the corporate limits of the Town. The FCD is authorized to exercise the powers and duties set forth in Title 45, Chapter 10, Article 4, and Arizona Revised Statutes.

18.6.2 Drainage Provisions.

- a. Provisions for drainage shall meet the requirements of the Uniform Drainage Policies and Standards for Maricopa County except as modified herein or except as processed through the FCD. Drainage facilities shall be installed to provide for the adequate containment and disposal of surface water for the Sun Valley Community. Storm water retention and/or detention facilities shall be provided as necessary, to assure that the post development peak runoff will not exceed the pre-development peak runoff leaving the Sun Valley Community.
- b. Prior to approval of any commercial, industrial or residential development, a drainage report shall be submitted to and approved by the Town Engineer.
- c. Approval by the Town Engineer shall be required prior to permit issuance for any development or substantial improvement, which may have an adverse effect on existing off-site drainage.
- d. Inspection and approval by the Town Engineer of the necessary drainage infrastructure shall be obtained prior to issuance of a permanent Certificate of Occupancy or final building inspection of any site or structure.
- e. On-lot retention will not be permitted for lots less than one-acre in size.

18.6.3 Drainage Design

- f. The entire drainage detention and runoff conveyance system shall be designed to eliminate or minimize storm water runoff effects and convey the runoff through the Project with minimum detrimental effect. No system shall

be approved if the effect may cause an increase in the peak discharge or velocity of runoff or change the point of entry of drainage onto adjacent properties during the runoff event (except by written agreement of affected property owners and approved by the Town Engineer).

- g. The storm frequency criteria to be used in designing the overall drainage system shall be based upon the one hundred (100) year storm frequency generating the peak discharge for the area contributing runoff to the Sun Valley Community.
- h. Detention of storm drainage:
- Shall be designed to retain the increase in runoff volume due to development and reduce the post-development peak discharge to less than or equal to the pre-development peak discharge leaving the development.
 - On-site detention facilities may include natural depressions or human-made basins. The Town Engineer permits pursuant to applicable environmental laws and upon approval drywells.
 - Individual lot detention/retention shall not be permitted on residential lots with a lot size of less than one-half (1/2) acre, except in conjunction with the High Density residential land use option.
 - Detention will not occur in the Town's right-of-way. There shall be no cut and fill slopes, except in stable rock that exceeds 4 to 1.
 - A public utility easement shall not be designated within detention areas without approval of affected utility companies.
 - Drainage discharge shall be either to a designated wash or drainage structure with adequate capacity and outfall.
 - Detention can occur in public areas and parks upon approval by the Town Engineer.

- i. Storm Water Disposal

On-site runoff that has been detained shall be disposed of within thirty-six (36) hours by percolation, drywells, catch basins, or drainage into an approved drainage way. One hundred (100) year peak discharge flows from the property shall not exceed pre-development flows and shall be in the

general location and direction of the historic off-site flows. Retention of storm water run-off shall not be allowed within public right-of-way, except for self-retention of areas of the right-of-way, which cannot otherwise drain to the street.

j. Finished Floor Elevations

Finished floors shall be elevated a minimum of fourteen (14) inches above the low adjacent top of curb or lot outfall elevation, or twelve (12) inches above the computed one hundred (100) year water surface elevation, whichever is greater. A finished floor elevation may be other than the minimum permitted provided it is determined by technical data certified by a registered professional engineer, who is licensed to practice in the State of Arizona, to be the minimum necessary to be safe from inundation by the one hundred (100) year peak discharge flow. Finished floor elevation shall be referenced to a known benchmark.

k. Drainage Easements

Drainage easements or tracts may be required to preserve washes, streams and channels (drainage ways). The width of the drainage easements or tracts shall be defined by the water surface during the 100-year storm event, and may include buffer areas. The need for a drainage easement or tract, and its width and location will be determined on a case-by-case basis and shall be reviewed by Buckeye Town Staff.

18.7 Landscaping

1. All development within the Sun Valley Community shall meet or exceed the landscaping requirements of this Section and shall conform with the Landscape Plant Palette set forth in Exhibit N of this CMP. At the time reclaimed water is available for use, additional plants maybe submitted for use, if irrigated with effluent only. Approval of the additional plants list will be required, by the Town of Buckeye and the HOA, prior to plant installation. The Landscape Palette appropriately provides botanical diversity given the regional context of the Sun Valley Community. Intent of the master plant palette should be maintained with a specific plant list submitted with final design guidelines of each unit.

2. All commercial and industrial development shall provide landscaping within the front setback area or between the buildings and the street frontage, whichever is less. On corner lots, landscaping is to be provided on both street frontages within the setback area or between the building(s) and the street frontages, whichever is less. Landscaping for commercial and industrial development shall be installed prior to the issuance of the certificate of occupancy.
3. The developer or owner of any lot shall provide the landscaping between the public roadway improvements and the property line. The developer or lot owner shall maintain such landscaping until the developer or lot owner turns over the maintenance to an owners' association. Developer or lot owner shall provide any landscaping in arterial roadway medians. The developer or lot owner shall maintain such median landscaping, until the developer or lot owner turns over the maintenance to an owner's association, whereupon the owner's association shall maintain such landscaping in the same manner and condition as the developer or lot owner.
4. All landscaping improvements shall include a suitable method for irrigation including a fully automatic irrigation system if appropriate.
5. All landscape areas shall be finished with a natural topping material which may include, but not limited to, the following: turf, groundcover, decomposed granite, river run rock, native soils or expanded shale.
6. Landscaping allowed within sight distance triangle areas in the public right-of-way shall be a maximum height of three (3) feet. Landscaping in the public right-of-way, not within sight distance triangle areas may exceed three (3) feet in height. Trees, shrubs, ground cover and turf may be allowed in the public right-of-way, subject to applicable governmental regulations. Trees within sight distance triangle areas may be allowed within sight triangle if branches are trimmed up to seven (7) feet above ground level. The Town Engineer shall have the authority to order removal of any landscaping or trees, which in the opinion of the Town Engineer, poses a hazard to the public.

Table 17		
Sun Valley Community Villages I, II, III, and IV		
Minimum Landscaping Requirements (by Land Use Type)		
Land Use	Percentage of Parcel to be Landscaped	Minimum Plantings required for Landscaped Areas (gallons)
Residential	15%	10 gallons for each 25 s.f.
Commercial	10%	10 gallons for each 50 s.f.
Industrial	5%	10 gallons for each 75 s.f.

1. Landscaped areas include all right-of-way, open space areas, detention areas, drainage tracts, and perimeter landscape tracts.
 2. Plantings shall be measured by the size of container containing the root structure.
 3. Plantings required for landscaped areas may include existing undisturbed or re-vegetated desert plantings. Additional plantings must meet the list shown in Exhibit N.
 4. A 24-inch box equals 50 gallons and a 36-inch box equals 75 gallons.
- * The amount/percentage of open space provided will be allocated on an overall Village basis and will not be provided on a parcel-by-parcel basis within a Planning Unit or phase of development. MDR will designate a pocket park for every 150 dwelling units.
5. The amount of open space provided will be allocated on an overall village basis. An open space tract will be created for each Preliminary Plat to keep track of the amount of open space provided and how it relates to the overall village open space total.

18.8 Lighting

1. Indoor or outdoor lighting that is one hundred fifty (150) watts or less shall be exempt from the provisions of this Section.
2. Sources of illumination shall not be directly visible from a public street or residential property.
3. Light intensity shall not exceed one (1) foot-candle on any adjacent property.
4. Exterior lighting shall be directed downward, recessed, shielded or otherwise designed so the light source is not directly visible from a public street or residential property. Metal halide and florescent fixtures are to be filtered. Mercury vapor fixtures are prohibited.
5. Fixtures over two hundred (200) watts shall be directed downwards and recessed in containers.
6. The height of any fixture shall not exceed:
 - a. Fifteen (15) feet for Residential uses;
 - b. Twenty (20) feet for Commercial uses;
 - c. Forty (40) feet for Business Park or Industrial uses;
 - d. Thirty-five (35) feet for any recreational or public use (ball fields and arenas exempted).

18.9 Outdoor Storage

1. Storage of materials, supplies or similar matter is prohibited outside an enclosed structure, except for interim construction purposes, unless associated with an industrial or agricultural use. Storage of inventory, materials, or other debris outside an enclosed building is prohibited in conjunction with a residential or commercial use. Temporary storage (180 days or less) of materials, supplies, or similar matters or items for construction shall not require screening.
2. Storage associated with an industrial use shall only be allowed within the confines of a solid fence not less than eight (8) feet in height, unless no practicable alternative is available, in which case, the Community Development Director or Designee shall review and approve a practicable alternative design.
3. Merchandise which is offered for sale may be displayed beyond the confines of an enclosed structure, the area of which shall not exceed ten percent (10%) of the principal building floor area, unless such merchandise is a type customarily displayed outdoors, such as automobiles and garden supplies, and seasonal sales.
4. No display or storage of any type shall be permitted within the one-half (1/2) of the required front or side street setback nearest the street, nor within any required interior side or rear setback.
5. Manufactured homes are allowed to be stored only in conjunction with an industrial use and shall be placed in the rear half of the lot and completely screened from view of a public street.
6. Recreational vehicles shall be parked to the rear of the front setback line and screened from public view.
7. Construction equipment or trucks over a two (2) ton gross weight, or similar sized vehicles, shall not be parked in a residential area, except during construction activities. Parking of commercial vehicles in residential districts is limited to one (1) commercial vehicle with a one (1) ton chassis having a capacity of not more than ten thousand (10,000) pounds gross vehicle weight rating.
8. Inoperable vehicles shall be stored only in conjunction with an industrial use completely screened from view of a public street.

9. There shall not be any type of vehicle stored on a vacant parcel of land except for construction equipment during construction activities. The above regulations shall not be applicable to any storage being placed in a certain location less than twenty-four (24) hours, unless the storage constitutes a public hazard or nuisance.

18.10 Parking and Traffic Circulation

1. Every lot shall have access to it that is sufficient to afford a reasonable means of ingress and egress for emergency vehicles as well as for all those likely to need or desire access to the property in its intended use.
2. All driveway entrances and other openings onto streets within the Sun Valley Community shall be constructed so that:
 - a. Vehicles can enter and exit from the lot in question without posing any substantial danger to themselves, pedestrians, or vehicles traveling on abutting streets.
 - b. Interference with the free and convenient flow of traffic in abutting or surrounding streets is minimized.
3. Unless no other practicable alternative is available, all driveways and other openings for commercial or industrial development shall be determined on a case-by-case basis and at a minimum of:
 - a. Seventy-five (75) feet from a street intersection;
 - b. Forty (40) feet from another access driveway.
4. Shared driveways for commercial or industrial development shall be encouraged.
5. Parking Requirements
 - a. Parking spaces shall be provided as set forth in Table 18 of this CMP. Loading spaces shall be provided as set forth in Table 19 of this CMP. Fractional results shall be rounded up to the nearest whole number if the fraction is 0.5 or greater.
 - b. In the case of mixed uses, the total number of spaces shall be based on parking demand as determined by a parking study.
 - c. Accessible parking spaces shall comprise five (5) percent of the total required spaces when over ten (10) spaces are required. Accessible parking requirements do not apply to single-family residential developments.
 - d. An emergency access lane having twenty (20) feet of unobstructed width shall be provided when required by the

Sun Valley Community's emergency provider or the Town of Buckeye. The twenty (20) foot width can consist of sixteen (16) feet of paved lane with two (2) foot shoulders on each side with plantings less than eighteen (18) inches in height within the shoulder.

6. Design
 - a. To control dust and drainage, parking areas shall be paved with asphalt or concrete. Stabilized, decomposed granite may be used on a case-by-case basis as approved by the Town Engineer .
 - b. All parking spaces shall be permanently marked, where practical.
 - c. Dimension requirements, as set forth in Table 20 of this CMP, shall be followed in the construction or modification of any parking area.
 - d. The preferred location for parking shall be the interior of the lot, exclusive of on-street parking. Front load industrial buildings are allowed, although the preferred location for all loading docks is to the side or rear of a building. If visitor or employee parking spaces are allowed in the front of a building within an industrial building's setback area, a minimum 10-foot landscape buffer shall be provided between the parking and the lot line.
 - e. Paving shall be provided to a sufficient thickness to withstand repeated vehicular traffic, except for single-family dwelling uses.
7. As an alternative to the requirements listed elsewhere in this Section, a parking plan may be submitted for approval by the Town Community Development Director, which plan shall find that an alternate design or a reduction in the total number of parking spaces required would fulfill the intent and purpose of this Section. The Community Development Director may require the study to be completed by a registered traffic engineer.

Land Use Type	Required Parking	Minimum Spaces to be Provided (by Development Site)
Single Family	2 per lot **	2
Multi-Family	2 per unit *	4
Timeshare	2 per unit	4
Senior Housing		
Assisted Living	0.75 per unit	2
Independent Living	1.5 per unit	2
Nursing Home	0.5 per bed	2
Commercial (general)	2*	4
Office	1.5*	2
Industrial	1*	4
Service Establishment	3*	4
Public Assembly	3*	10

*Parking spaces per 1,000 square feet of gross floor area.

** Two car garages are required for each attached-detached single-family unit.

Land Use Type	Loading Spaces to be Provided per 10,000 s.f. of Gross Floor Area*	Minimum Spaces to be Provided**
Single Family	Not applicable	Not applicable
Multi-Family	Not applicable	Not applicable
Commercial (general)	1	1
Office	1	Not applicable
Industrial	0.2	2
Service Establishment	2	1
Public Assembly	1	Not applicable

*Loading spaces are to be located at the side or rear of the building. (Industrial buildings may have loading spaces in the front within the building's setback area.)

**The minimum number of loading spaces may be waived by the Community Development Director upon approval that the spaces are not necessary in the ordinary course of a particular use.

Table 20				
Sun Valley Community Villages I, II, III, and IV				
Parking/Loading Space Design Requirements				
	90 Degree Space* (feet)	60 Degree Space* (feet)	45 Degree Space** (feet)	Loading Spaces (feet)
Standard Width	9	9	9	12
Handicap Access Width	13	13	13	N/A
Standard Length	18	18	18	55
Handicap Access Length	18	18	18	N/A
Aisle Width	25	20	15	25

*Aisle dimensions are two-way.

**Aisle dimensions are one-way.

18.11 Screening

1. Fences may be allowed within the public right-of-way upon approval of the Town Engineer. The height of any fence shall be a maximum of three (3) feet. The Town Engineer shall have the authority to order removal of any fence, which, in the opinion of the Director, poses a threat to public safety.
2. The height of any fence located between the principal structure and the rear or side property line shall not exceed six (6) feet eight (8) inches within any residential designation, unless abutting a collector street, arterial street or parkway, or in a hillside area where the slope of the land may mandate an increased height on a portion of the wall, in which case the fence may be constructed to a maximum height of eight (8) feet. Fence heights shall not exceed eight (8) feet within any Commercial or Commerce Park designation. Fence heights may extend to a height of ten (10) feet in the Business Park and Industrial land use designations.
3. Material used for fences shall be limited to those listed in Table 21 of this CMP except as approved by the Community Development Director.
4. Required Screening
 - a. New development shall provide screening in accordance with Table 21 of this CMP for those uses and improvements specified.
 - b. Any new Multi-Family Residential, Commercial, Commerce Park, Business Park or Industrial use shall provide a "Commercial Buffer" a minimum fifteen (15) feet in width, or equal to the height of the proposed

- building, on any property line adjacent to or adjoining an existing or proposed single-family dwelling. The “Commercial Buffer” shall be landscaped per the landscape guidelines in Table 17 of this CMP.
- c. All roof-mounted equipment shall be completely screened from view from ground level or adjacent property. The parapet, if provided, shall be architecturally compatible with the primary building.
5. Screening devices shall be architecturally compatible with the site improvements incorporating, for example, the use of various materials, finishes, colors, offsets, undulations or intermittently spaced pillars. Walls or fences over three hundred (300) feet in continuous length shall incorporate aesthetically pleasing treatments to provide variety and visual interest, such as decorative patterns or designs placed in or on the wall or fence, pillars or columns, varying wall or fence height elevations or indentations or pop-outs, every one hundred fifty (150) feet in the case of a straight wall or fence and every two hundred (200) feet in the case of a continuous undulating wall or fence.
 6. Swimming Pool Enclosure
 - a. The following swimming pool enclosure regulations shall apply to the Sun Valley Community. Unless otherwise provided herein, swimming pools shall be entirely enclosed by a protective fence or solid wall of not less than five (5) feet in height. The fence or wall shall be constructed such that a minimum of fifty-four (54) inches wall/fence height shall not contain any toe or hand holds.
 - b. The provisions of this Section shall apply to the following:
 - Swimming pools used in conjunction with a Single Family Dwelling, including single-family cluster development.
 - Swimming pools used in conjunction with a multiple-family use
 - Swimming pools used in conjunction with a commercial or public use.The enclosure provisions of this Section shall not apply to ponds or lakes provided in Park areas.
 - c. Design
 - The pool enclosure shall be set a minimum of twenty (20) inches from the edge of the water.
 - The protective fence or wall shall have no vertical opening larger than four (4) inches. Wrought iron and wood fences shall be constructed with at least

- fifty-four (54) inches between the horizontal members.
- Gates shall be self-closing, self-latching, with latches being a minimum of fifty-four (54) inches above ground level. Gates shall swing out away from pool. Those gates not used for normal access to and from the pool do not need to be self-closing if secured by a padlock or other similar device in lieu of a latch.
 - The protective fence or wall shall be located a minimum horizontal distance of fifty-four (54) inches from any structure, storage or equipment that could be used to climb the wall or fence from the outside.
 - The protective fence or wall shall contain no opening, handhold or other means accessible from the exterior side of the enclosure that could be used to climb the wall or fence.
 - The protective fence or wall shall be constructed of block, wrought iron, wood, or other similar material approved by the Community Development Director. Chain link material shall not be used in a protective fence.
 - All ground level doors with direct access to the pool area must be equipped with self-latching devices, which shall be located at least fifty-four (54) inches above the floor and must be self-closing and must open in a direction away from the pool area.
 - All emergency escape and/or rescue window of sleeping rooms with direct access to the pool area must be equipped with a self-closing and self-latching device located no less than fifty-four (54) inches above the floor.
 - All other openable dwelling unit or guest room windows with access to the pool area must be equipped with: 1) screwed in place wire mesh screens; 2) keyed locks that prevent opening the window more than four (4) inches or 3) self-closing and self-latching devices located no less than fifty-four (54) inches above the floor.
- d. It is the responsibility of the property owner to ensure that any pool enclosure fence and its appurtenances (i.e. gates, latching devices, locks, etc.) are maintained in safe and good working order.

Table 21 Sun Valley Community Villages I, II, III, and IV Required Screening		
	Minimum Height Required for Screening (feet)	Materials Allowed to be used for Screening
Commercial Buffer	6	1,6,7
Refuse Container	6	1,7
Vehicle Display	2.5	1,2,3,6,7
Parking Area	3	1,3,6,7
Outdoor Storage	6	1,4,5,7
Mechanical Equipment	3.5	1,3,5,6,7

1. Materials for fence construction shall be limited to the following:
 - 1) Masonry block
 - 2) Wrought iron
 - 3) Landscape screen
 - 4) Chain-link with slats
 - 5) Wood
 - 6) Earth berms in combination with low walls
 - 7) Adobe block
2. Other materials may be allowed upon the Community Development Director finding that they are either similar to those listed above, or they contribute substantially to the community ambiance and character.
3. The minimum screening height shall include the height of any earth berming used in landscaping.

18.12 Signs

1. In conjunction with the submittal of the first preliminary plat for each village, a Master Signage Plan will be submitted to the Community Development Director for approval. The placement of signs, except as listed below, shall require a sign permit issued by the Community Development Director in accordance with the procedures set forth in this CMP. Signs listed as follows are exempt from obtaining a permit:
 - a. Political signs and banners;
 - b. Directional and traffic signs, including temporary variable street construction signs;
 - c. Window signs not exceeding twenty percent (20%) of the window area.
 - d. Signs not visible from off property or business;
 - e. Signs pertaining to the lease, sale or rental of land or buildings, the size of which are six (6) square feet or less for parcels up to five (5) acres and thirty-two (32) square feet or less for parcels more than five (5) acres.

2. The following types of signs are prohibited:
 - a. Signs with audible devices, moving parts or flashing lights. This shall also include electronic messaging boards with moving words or letters.
 - b. "Sandwich" or portable signs and outdoor banners displaying product information;
 - c. Roof-mounted signs or signs projecting above the roof line of a building;
 - d. Signs placed within the public right-of-way;
 - e. All signs mounted on, or applied to trees, utility poles, or public structures, except as otherwise provided;
 - f. Any sign determined to be a safety hazard to the flow of traffic;
 - g. Commercial signs remaining at an abandoned or vacant building for a period exceeding one hundred eighty (180) days.

3. Design Standards
 - a. Signs shall not exceed the dimensions set forth in Table 22 and Table 23 of this CMP.
 - b. Signs shall be located on the same parcel of land as the use for which they advertise, except for kiosk signs used for way-finding on the selling of housing units and for community facilities.
 - c. Illuminated signs may be internally lighted in Commercial Mixed Economic Use designations. The source of illumination of any sign is to be shielded so that it is not visible from or causes glare or reflection onto adjacent properties and streets.
 - d. Signage design and locations associated with the development of the Sun Valley Community shall be addressed with each Planning Unit Plan.

	Maximum Sign Height Allowed (feet)	Maximum Sign Area Allowed** (square feet)
Single-Family Community	5	24
Multi-Family Community	5	24
Public Assembly	5	24
Commercial	20	72
Office	5	24
Service Establishment	15	32
Commercial/Industrial	20*	72*
Industrial	20	48

1. *Larger signs may be allowed due to architectural features and signage base/foundation requirements as well as proposed location, and will be reviewed by the owners association and the Community Development Director. Maximum of 72 square feet per sign is permitted for major commercial and industrial signs on-site. No off-site signage will be permitted, except kiosk signs used for way-finding on the selling of housing units and for community facilities.
2. **The sign area is defined as the area of the sign face, i.e., the surface of the sign upon, against, or through which the message is displayed or illustrated, not including architectural structure supporting sign.
3. Two (2) freestanding identification monuments are allowed per single-family or multi-family entrance from arterial or collector streets.
4. Commercial, office, service establishment, and industrial are allowed one (1) primary sign per 300 feet of street frontage and one (1) secondary sign for each 150 feet of street frontage, per major arterial street.

	Sign Area Allowed for Each Lineal Foot of Building Facing the Street Frontage (square feet)
Multi-Family	0.25
Public Assembly	0.25
Commercial	1.00
Office	0.50
Service Establishment	0.75
Industrial	0.50

1. Attached signs shall be placed below roof eave line.
2. Each side of a building having a street frontage may be counted separate and used to place signs.
3. Buildings located over fifty (50) feet from the street frontage are allowed double the allowed sign area allowed.

18.13 Grading/Non-Hillside and Hillside Development

The provisions of this section shall apply to all new development activities within the Sun Valley Community. Re-grading or reshaping activities in areas of disturbance, which occurred prior to the adoption of this CMP, shall be exempt from the provisions of this section.

18.13.1 Non-Hillside Development Areas

The purpose of the Section is to set forth the objectives and engineering standards for the grading and earthwork elements for the development of the Sun Valley Community. The grading elements include street and parking lot cut and fill limits, site grading limits, slope control or soil stabilization, mitigation of adverse conditions, including boulder instability, slope instability, soil erosion and drainage disruption, and landscaping of scarred areas due to grading.

The Town Engineer prior to any grubbing, grading or clearing shall approve a grading plan. All grading shall be in accordance with all applicable MAG standards or the Uniform Building Code; whichever is applicable to the building site.

- a. Cut and fill slopes, except those required for roadway improvements, shall meet the following requirements:
 - Cut and fill slopes shall not be steeper than 4:1 (horizontal to vertical), except in stable rock, in which case the slope may be steeper.
 - Cut and fill slopes within drainage retention and detention basins shall be not steeper than 4:1 (horizontal to vertical). Steeper slopes will be allowed when justified by adequate engineering analysis and documentation, subject to approval by the Town Engineer.
 - The maximum height of cut is not to exceed eighty (80) feet and the maximum height of fill shall not exceed sixty (60) feet, unless otherwise approved by the Town Engineer. All exposed cuts and fills are subject to the mitigation criteria established herein.
- b. Retaining walls may be used to reduce the horizontal distance required to construct cut and fill slopes. Retaining walls may include masonry, rigid concrete structures, earth-

filled bins, gabions, and any other form of structural elements used to retain and support cut or fill slopes.

Retaining walls up to twenty (20) feet shall be allowed. The height of retaining walls located in hillside areas shall not exceed twenty (20) feet measured at the center of the wall. Retaining wall heights more than twenty (20) feet may be approved by the Town Engineer. A registered professional engineer who is licensed to practice in the State of Arizona shall design retaining walls.

- c. All dust control activities shall comply with all applicable Federal, State, and County dust control requirements.
- d. Re-vegetation for landscaping or erosion and sediment control is an integral part of grading activity. Graded areas that are to be re-vegetated shall be re-vegetated with plants specified in the Planning Unit Plan.

18.13.2 Hillside Development Areas

It is the purpose of this Section to establish regulations, which recognize that development of hillside areas on the Sun Valley Community involves special considerations. Hillside development standards apply to all land wherever the natural terrain of the proposed disturbance areas within any lot or parcel has a slope of fifteen (15) percent or greater ("Hillside Area") as determined by a registered professional engineer who is licensed to practice in the State of Arizona. All land designations and respective development options contained herein may be developed within Hillside Areas and shall be governed by the provisions and standards of this Section and the standards of each development option set forth in Section 14 of this CMP. In case of a conflict between the development standards of this Section and the standards set forth under Section 14, this Section shall prevail.

- a. General Provisions for Construction in Hillside Areas:

In addition to drawings, plans, specifications and details necessary to obtain a building permit, the following documentary requirements and certifications shall be provided to the Town Engineer for review:

- A topographic map at an appropriate scale on a 24" x 36" sheet presenting the total lot or parcel and a twenty (20) foot area beyond the property line. This

map shall show existing and proposed finished contours at two (2) foot intervals within a twenty (20) foot perimeter from any proposed building envelope, five (5) foot intervals elsewhere. Existing contours shall be shown with dashed lines. This map shall show limits of excavation and fill, slope of cut and fill, and total cubic yards of excavation and fill.

Detailed site plans and landscape plans at an appropriate scale which show the following: grade and slope in percent of all disturbed areas; dimensions and calculations of all cut and fill for the building site, roads, drives, swimming pools, and the method of concealment for each fill or exposed cut; dimensions of length and height of retaining walls, fences, and other attachments; the location and grade of all drainage channels, swales, drain pipes, etc.; and the amount and degree of surface disturbance, destruction, or removal of natural vegetation.

- Cross-sections at 1:1 scale at two (2) or more locations perpendicular to the contours through the building site. Locations of the cross-sections shall be clearly shown on the topographic map. Properties impacting ridgelines shall provide additional cross-sections indicating their relation and impact on such ridgelines.
- An overall excavation, grading, and drainage plan prepared and certified by a registered professional engineer who is licensed to practice in the State of Arizona.
- Where possible and appropriate, the combining of the above maps into one drawing is acceptable.

b. Heights

For development within Hillside Areas, the height of structures shall be determined by the following:

No part of any structure shall penetrate an imaginary plane (the "Sloping Plane of Measurement"), the height of which is thirty (30) feet measured vertically from the highest ridge or parapet of the building to the existing natural grade directly beneath that point. Minor topographic variations may be excluded from those measurements if those areas are less than twenty-five (25) feet in width. Exposed building walls measured in a vertical plane shall not exceed

a height of thirty (30) feet measured from the lowest point of the wall to the top of the wall. In addition, the overall projected height will be measured from the lowest wall improvement attached to the main structure to the highest ridge or parapet, and be limited to forty-five (45) feet. Exceptions to the maximum height requirements are allowed for architectural features that are less than ten (10) percent of the entire roof area. A diagram depicting height measurements in Hillside areas is set forth in Exhibit M of this CMP.

c. Appearances

Materials used for exterior surfaces of all structures shall blend in color, hue, and tone with the surrounding natural setting to avoid high contrasts. The overall intent is to create materials and color palette that, when utilized, is deemed complementary and compatible to the desert setting.

- Structures, walls, roofs, and fences shall blend with the surrounding terrain and there shall be no material or colors used which have a light reflecting value (LRV) greater than thirty-five (35) percent.
- Mirror surfaces, or any treatment which changes ordinary glass into a mirror surface, is prohibited. Bright, untarnished copper or other metallic surfaces shall be treated so they are non-reflective.
- All electrical service equipment and sub-panels and all mechanical equipment including, but not limited to, air conditioning and pool equipment, solar panels, and antennas shall not be visible from outside the property when viewed from the same or lower elevation. Restrictions of solar panels and mechanical equipment may be modified if they are integrated into the roof design.
- Fences or walls on lots within a Hillside Area, excluding retaining walls, shall be restricted to privacy walls attached to or directly screening a portion of the main residence.

d. Disturbed Area:

Lots in Hillside Areas shall be developed to provide for the minimum amount of ground disturbance during the time of construction so as to prevent rockslides and falls, erosion,

and seepage. At final construction, disturbed areas shall be hidden or supported by retaining walls, buildings, finished surfaces, or shall be landscaped.

- All buildings, structures, and roads shall, to the fullest extent practicable, utilize the natural contours of the land so as to minimize the disturbed area.
- The limits of construction and proposed disturbed areas shall be clearly designated on the property prior to and during construction with flags or visible roping. No disturbance outside the designated area shall be allowed.
- All surplus excavated material shall be removed from the lot.

e. Roadways and Driveways:

- The roadway standards in Hillside Areas shall include roadway cross-sections that minimize the impact of roads in Hillside Areas. The roadway standards include narrow street sections, custom street turn-around configurations, and custom cul-de-sac termination details, which are all designed to minimize the intrusion of roadways within Hillside Areas.
- If any portion of a driveway grade is more than twenty (20) percent, the entire residence and all accessory buildings over one hundred twenty (120) square feet of roof area shall be protected with an approved fire sprinkling system.
- Driveways with turning radius of less than thirty-five (35) feet may be used provided all structures are protected with an approved fire sprinkling system.
- Any driveway cut (serving a single-family residence) greater than twelve (12) feet in depth measured at the centerline of the driveway shall not have a length greater than two hundred (200) feet.

f. Retaining Walls and Erosion Control Measures:

- The design of all retaining walls and erosion control measures shall be prepared by a registered professional engineer or architect who is licensed to practice in the State of Arizona.
- Raw spill slopes are prohibited.
- All exposed disturbed area fill shall be contained behind retaining walls or landscaped.

When terraced retaining walls are utilized, any one retaining wall shall not exceed ten (10) feet in height in a single plane or twenty (20) feet total at any one section. A minimum four (4) foot offset shall be provided for all terraced retaining walls. If the upper retaining wall is greater than four (4) feet, the offset distance shall be increased one (1) foot for every one (1) foot of retaining wall height over four (4) feet. Privacy walls can be erected on a retaining wall provided the total height of the privacy wall and the retaining wall upon which it's erected does not exceed twenty (20) feet. Privacy walls will have no effect on the offset requirements for terraced retaining walls.

g. Lighting and Utilities:

- All outdoor lighting concepts, fixture types, lamps and wattage for lot development shall be indicated on the site plan.
- Street lighting shall meet Town standards. Low-level lighting may be approved by the Town on a case-by-case basis.
- All sources of exterior lighting shall be screened to minimize impact on adjacent properties. All building-mounted light fixtures will be encouraged to shed light downward.
- The use of fixtures to floodlight the exterior of a structure is prohibited; except if the structure is considered to be Signature Architecture.
- Recessed soffit-mounted fixtures must have the lamp recessed into the soffit a minimum of three (3) inches.
- Only low voltage or incandescent type fixtures of a maximum of seventy-five (75) watts shall be allowed for exterior lighting, unless otherwise approved by the Community Development Director.
- Exterior landscape lighting requirements shall encourage "moonlighting" techniques where a path or tree is highlighted from above, rather than aiming fixtures up at the tree.
- Exterior spotlights may only be used for security purposes and must be on a timer for a maximum of twenty (20) minutes. The light source must be shielded from view from adjacent properties.
- All on-site utilities shall be placed underground.

h. Landscaping:

The landscaping elements of the Hillside Development Area will be specified at the preliminary plat or Development Site Plan review stage. At a minimum, the landscape plant palette will be based the Plant Palette, Exhibit N, which was based upon the approved Arizona Department of Water Resources list. This list may be expanded to allow greater flexibility in design concepts while ensuring environmental sensitivity. The landscape palette will appropriately provide for botanical diversity given the regional context of the project site. All landscaping improvements shall include a suitable method for irrigation.

18.14 Utilities

18.14.1 Wastewater Facilities

Wastewater facilities for the Sun Valley Community shall conform to the Master Wastewater Plan and Report, and any refinements thereto contained in any Planning Unit Wastewater Plans. The Planning Unit Wastewater Plan for Planning Unit 1 of Village I was included in the Master Wastewater Plan and Report submitted with this CMP under separate cover.

18.14.2. Water Supply System

The water supply system for the Sun Valley Community shall conform to the Master Potable Water Plan and Report, and any refinements thereto contained in the Planning Unit Potable Water Plan. The Planning Unit Potable Water Plan for Planning Unit 1 of Village I was included in the Master Water Plan and Report submitted with this CMP under separate cover.

18.14.3. Underground Service Lines

All utility lines, including irrigation service lines, but not including transformers or enclosures containing equipment such as switches, meters, or capacitors which are ground mounted, shall be placed underground in accordance with the specifications and policies of the respective utility

company, except 69 KV or larger transmission lines, which will remain above ground.

18.14.4. Refuse Service

All commercial development shall provide refuse enclosures for solid waste collection in accordance with the following:

- a. Located so as to facilitate collection and minimize any negative impact on persons occupying the development site, neighboring properties, or public rights-of-way.
- b. Constructed according to specifications established by the Town Engineer to allow for collection without damage to the development site or the collection vehicle.

18.15 Public Area Improvements

The purpose of these requirements is to promote road safety, assure adequate access for fire and rescue vehicles and promote adequate circulation.

18.15.1. Coordination of Streets

- a. All new streets required pursuant to the Master Street and Circulation Plan and Report, and each Planning Unit Street and Circulation Plan shall intersect with surrounding existing streets at safe and convenient locations.
- b. The Town may require temporary turnarounds to be constructed for temporary cul-de-sacs between development phases.

18.15.2. Street Layout

- a. All permanent dead-end streets shall be developed as cul-de-sacs in a circular or hammerhead configuration. Cul-de-sacs shall extend no further than six hundred sixty (660) feet as measured from the right-of-way of the last intersection or intermediate turnaround to the end of the cul-de-sac. This length may be exceeded in Hillside Areas or where topography or natural features

warrant special consideration. The length may also be exceeded with approval of the Fire Chief upon submittal of a Preliminary Plat.

- b. If automatic sprinkler systems are used for fire protection, cul-de-sacs shall extend no further than one thousand five hundred (1,500) feet as measured from the right-of-way of the last intersection or intermediate turnaround to the end of the cul-de-sac. This length may be exceeded with approval of the Fire Chief on cul-de-sacs serving twenty-five (25) or fewer residential units.
- c. Turnarounds shall be of either a circular or hammerhead configuration.
- d. The minimum right-of-way of a cul-de-sac shall have a radius of fifty (50) feet. The minimum radius of the paved area of the turnaround shall be forty-three (43) feet to back of curb. If the center of the turnaround area is left unpaved, the area shall be landscaped and the pavement width shall be a minimum of sixteen (16) feet.
- e. Half streets (i.e., streets of less than the full right-of-way and pavement width) with a minimum pavement width of twenty-four (24) feet to accommodate two-way traffic shall be allowed as an interim condition.

18.14.3 Street Intersections

- a. Streets shall intersect as nearly as possible at right angles, and no more than two (2) streets may intersect at any one (1) point. Arterials and collectors shall intersect at ninety (90) degrees. Local streets shall be allowed up to plus or minus fifteen (15) degrees from ninety (90) degrees at intersections.
- b. Whenever possible, proposed intersections along one side of a collector or arterial street shall coincide with existing or proposed intersections on the opposite side of such street. Where a centerline offset (jog) occurs at an arterial or collector intersection, the distance between centerlines of the intersecting streets shall be not less than three hundred fifty (350) feet unless

approved by the Community Development Director and/or Town Engineer.

- c. Whenever possible, four-way intersections of local streets shall be avoided; however, local street intersections will be reviewed on a case-by-case basis incorporating good urban design principles. Where a centerline offset (jog) occurs at a local intersection, the distance between centerlines of the intersecting streets shall be not less than one hundred twenty-five (125) feet unless approved by the Community Development Director and/or Town Engineer.
- d. Except when no other alternative is practicable or legally possible, no two (2) collector streets may intersect with any other collector street on the same side at a distance of less than three hundred (300) feet from centerline to centerline of the intersecting collector streets. When the intersected street is an arterial, the distance between intersecting collector streets shall be at least six hundred (600) feet unless approved by the Planning Director and/or Town Engineer.

18.14.4. Street Design Standards

Streets shall be designed and constructed in accordance with the roadway standards set forth in Exhibit K. Typical cross-sections depicting roadway standards are also set forth in Exhibit K.

18.14.5 Right-of-way Landscaping

Natural drainage areas under the jurisdiction of Army Corp of Engineers, designated “404 Wetlands”, within right-of-ways will not have additional plantings. Natural drainage areas, which are not jurisdictional 404 wetlands, within right-of-ways, will also be preserved; unless these areas are deemed in poor condition, then additional native plantings will be required. Likewise, undisturbed natural areas will be preserved, unless they are in poor condition, and will require additional plantings. Areas within the right-of-ways that are devoid of natural vegetation or attractive geologic formations, and are not drainage areas, will be required to be planted in a standard fashion (i.e., street trees along roadways, or streetyard buffers depending on land-use type.)

18.14.6. Bridges

All bridges shall be designed by a registered professional engineer who is licensed to practice in the State of Arizona and in accordance with standard design criteria and approved by the Town Engineer.

18.14.7. Fire Hydrants

- a. All development within the Sun Valley Community shall include a system of fire hydrants, which are constructed according to M. A. G. standards.
- b. The Fire Chief shall determine the precise location, number and type of all hydrants depending on the location, building size, density and lot size of the subject development.
- c. Water lines that serve hydrants shall be at least six (6) inches in diameter if looped or eight (8) inches in diameter for dead-end lines. Unless no other practicable alternative is available, dead-end lines shall be allowed; provided, however, the maximum length of dead-end lines shall be one thousand five hundred (1,500) feet, with fire hydrants spaced along the alignment.
- d. The maximum spacing for fire hydrants shall be five hundred (500) feet for detached residential land uses and three hundred (300) feet for attached residential, and Commercial Mixed Economic Uses. If automatic sprinkler systems are used for fire protection, the maximum spacing for fire hydrants may be increased to one thousand (1,000) feet for detached residential land uses and seven hundred (700) feet for attached residential, or Commercial Mixed Economic Uses. Fire hydrants shall be located at maximum intervals of a quarter mile along unloaded traffic corridors.

18.14.8. Lighting Requirements

- a. Indoor or outdoor lighting that is one hundred fifty (150) watts or less shall be exempt from the provisions of this Section.

- a. Sources of illumination that are directly visible from a public street or residential property shall be minimized to reduce glare.
- b. Fixtures over two hundred (200) watts shall be directed downwards and be cannistered.
- c. All fixtures to be shielded. Metal halide and florescent fixtures shall be filtered.
- d. Street lighting requirements will be addressed by each Planning Unit Plan and may or may not include continuous lighting other than at major intersections. Guidelines will be established to insure minimal light pollution, reduce glare, increase energy conservation, and maintain the quality of the site's natural character. All public streets shall have lighting to meet Town standards.

18.14.9.**Non-Vehicular Circulation**

Non-vehicular circulation improvements shall be in accordance with an Open Space and Trails Plan developed at the time of each Planning Unit preparation.

19.0 Definition of Terms

This CMP amends certain definitions contained in the Town of Buckeye Development Code. Definitions provided in the Development Code shall be utilized when interpreting this CMP unless an alternative definition is provided in this CMP, in which case, the definitions provided in this CMP shall apply. In the event of a conflict between the definitions provided in this CMP and those provided in the Development Code, the definitions in this CMP shall prevail. This Section applies to Villages I and II as well as Villages III and IV, which will be specifically incorporated into the Community Master Plan for Villages III and IV.

Adult Uses: Any establishment that offers live, transmitted, or recorded entertainment where specified anatomical areas can be seen by patrons. Such establishments may feature dancers, go-go dancers, exotic dancers, strippers, or other similar entertainers, any of whom perform topless or nude. Adult uses are also any establishment with a principal use characterized by the sale or distribution of merchandise with a predominant emphasis on the display, depiction, description, or relation to sexual activities or specified anatomical areas. Merchandise includes, but is not limited to, motion pictures, cassettes, films, books, magazines, posters, cards, pictures, periodicals, instruments, devices, equipment, paraphernalia, or other similar products. For the purpose of this definition, ten (10) percent or more of the merchandise constitutes a principal use.

Area Plan: Refers specifically to the Sun Valley Area Plan dated March 14, 1996, which was approved by the Town of Buckeye on April 16, 1996 by resolution 8-96, and was adopted as part of the Town of Buckeye General Plan.

Building Height: The vertical distance of a building as measured from finished grade to the highest point of the roof.

Cellular Facility: Any unstaffed facility for the transmission and/or reception of wireless communication services, usually consisting of an antenna array, connection cables, an equipment facility, and a support structure to achieve the necessary elevation.

Commercial Buffer: A landscaped and screened area of ground, a minimum fifteen (15) feet in width, or equal to the height of the proposed building, between a new Multi-Family Residential, Commercial, Commerce Park, Business Park or Industrial use and an existing single family dwelling, the purpose of which is to lessen the noise, light, and visual impact of the new use.

Common Area: Undisturbed desert habitat, re-vegetated desert, parks, common pasture, improved pedestrian or equestrian easements, community recreational facilities, water features, and play fields.

Community Development Director: Person designated by the Town of Buckeye as having the primary responsibility for administering and enforcing the CMP.

Cut: The land surface that is shaped through the removal of soil, rock, or other materials.

Density Range: Range of dwelling units per acre (density) allowed within each residential land use designation.

Development Agreement: For purposes of this CMP, Development Agreement shall refer to the recorded Development Agreement for the Sun Valley Community.

Disturbed Area: The area of natural ground that has been or is proposed to be altered through grading, cut and fill, removal of natural vegetation, placement of material, trenching, or by any means that causes a change in the undisturbed natural surface of the land or natural vegetation.

Fill: The deposit of soil, rock, or other materials placed by man.

Finished Grade: The final grade and elevation of the ground surface after grading is completed.

Floor to Area Ratio (F.A.R.): The floor area ratio shall be the ratio of the gross floor area of the building(s) (including stand-alone parking structures and hotels, lodges, and resorts) to the gross land area of the site.

Grading: Any excavating, filling, or combination thereof, including the conditions resulting from any excavation of fill.

Gross Area: The area included within lot or parcel lines plus the adjacent dedicated right-of-way to the centerline of the roadway.

Guest House: A detached building to be used for dwelling purposes situated on the same lot as a primary residence but may not be rented separately from the primary residences.

Health Club: A place or building where active exercise and related activities are performed utilizing weight control or muscle building equipment or apparatus for the purpose of physical fitness. It shall also mean a place or building, which provides massage, exercise and related activities with or without such equipment or apparatus.

Hotel/Motel: A residence facility designed for occupancy by transients or as a residence for periods of less than one year. A hotel/motel shall contain rooms

and/or units and shall customarily provide housekeeping, bellhop, laundry, and onsite recreation services. The number of hotel/motel units shall not count against the Resort Mixed Use acreage nor shall it count against the residential dwelling unit allocation for the Sun Valley Community. The acreage of a hotel/motel use shall be allocated toward the Commercial Mixed Economic Use acreage as set forth in the Land Use Budget, Section 15.

Lot Line: As defined by the Method of Lot Measurement, Exhibit L, contained within this CMP.

Lot Coverage: The total structural coverage provided on a lot or site inclusive of all roofed areas or structures capable of supporting a roof divided by the net areas of the lot or parcel. The first three feet of roof overhang or projection shall not be included in the lot coverage.

Maximum Density: Maximum density or dwelling units granted for entire Sun Valley Community, as approved by this CMP.

Mixed Use Resort: See Resort section of these definitions.

Multiple Family Dwelling: A building, or portion thereof, used for occupancy by two (2) or more families living independently of each other, with the units completely separated by a common wall, floor, and/or ceiling, also referred to as attached dwellings.

Natural Grade: The grade and elevation of the ground surface, as it exists in its natural undisturbed state.

Net Area: The area included within lot or parcel lines after all right-of-way dedications have been made.

Open Space: Natural areas, floodways, drainage ways, arroyos, paths and trails, golf courses, active and passive parks, view corridors, and other private and public recreation areas.

Planning Unit: A partitioning of the Sun Valley Community into Sections or Planning Unit so that infrastructure and facilities can be planned and developed in phases based on market demand.

Public Facilities: Used in this CMP to refer to Police, Fire, Library and Emergency Services, which may be necessary to serve the Sun Valley Community.

Resort: A combination of retail and hospitality uses. Retail will be limited to small shops, café's, bar & grills, restaurants. Hospitality will be limited to condominiums, timeshares and hotels. Resort amenities are aquatic, equestrian,

sports like golf and tennis; entertainment, special events, passive recreation, wellness centers, and spas.

Retaining Wall: A wall used solely to retain more than eighteen (18) inches of material but not to support or to provide a foundation or wall for a building.

Setback Line: A line parallel to the property line, establishing the required distance between buildings and property lines as described in Method of Lot Measurement, Exhibit L, of this CMP.

Sign: Any device (including, but not limited to, letters, words, numerals, figures, emblems pictures, or any part or combination) used for visual communication, which is intended to attract the attention of the public and is visible from the public rights-of-way or other properties.

Sign, Area of: The area of the sign face, i.e., the surface of the sign upon, against, or through which the message is displayed or illustrated, not including architectural structure supporting sign.

Sign, Height: The vertical distance measured from the adjacent street grade or upper surface of the curb, whichever permits the greatest height, to the highest point of said sign, including ornamental features.

Signature Architecture: Buildings of architectural significance via their purpose or location in the community such as municipal buildings, recreation facilities, religious facilities, educational facilities, resort facilities, etc. In addition, signature architecture includes icon buildings that may be other than previously listed such as, but not limited to, residential and commercial uses that are to be focal accents due to their location at intersections or at the axial alignment of transportation corridors. Due to their prominence, these facilities may have unique architectural elements, distinctive color, or overall form that celebrate their prominence and significance in the Community.

Single-Family Dwelling: A building used for occupancy by one (1) family, with the units completely separated by a common wall, floor and/or ceiling. Typically these are detached dwelling units, but can be attached when a duplex or when dwellings are in a cluster configuration.

Spill: To cause or allow earth or other material to fall, flow, or run down a slope, thereby creating a change in the natural appearance and topography.

Street, Arterial: A major street in the Sun Valley Community's street system that serves as an avenue for the circulation of traffic onto, out, or around the Community and carries high volumes of traffic.

Street, Collector: A street whose principal function is to carry traffic between minor, local, and sub-collector streets and arterial streets but that may also provide direct access to abutting properties.

Street, Local: A street whose sole function is to provide access to abutting properties.

Street, Parkway: A major street in Sun Valley Community's street system similar to an arterial in traffic volumes except that a parkway may contain the following elements: a landscaped median, larger landscaped tracts adjacent to the right-of-way, and is typically more curvilinear in nature than an arterial street.

Street, Private: A private right-of-way for vehicles, which provides a principal means of access to two or more lots and is covered by an ingress/egress for emergency and service vehicles and for the exclusive use by the residents and their guests of the lots, which it serves.

Street, Sub-Collector: A street whose principal function is to provide access to abutting properties but is also designed to be used or is used to connect minor and local streets with collector or arterial streets. .

Target Density: Middle of density range, used to calculate densities within Land Use Budget. The target density is the ideal density achievable within a Village land use designation, as identified in the Land Use Budget, Section 15. The target density can be achieved by using a combination of lot sizes in the range granted for the residential designation allowed per Section 14.

Village: A series of designated areas within the Sun Valley Community, which contain a mixture of land uses.

Yard: A required space other than a court on any lot, unoccupied by a structure and unobstructed (except as permitted herein), and measured as the minimum horizontal distance from a building or structure to the property line opposite such building line (excluding permitted projections). See Method of Lot Measurement, Exhibit L, contained within this CMP.

20.0 Project Governance

The purpose of the project governance structure is to insure that there is a workable, complete and enforceable instrument in place, which implements the goals and objectives of the Sun Valley Community. The governance structure must work under the period of direction by the developer and continue after the developer passes the authority to property owners within the Sun Valley Community.

The Town of Buckeye has established rules, guidelines and policies that control the use of the property. The CMP for the Sun Valley Community sets the framework for the implementation of these regulations and additional guidelines. The governance tools, such as design guidelines, architectural control, covenants, conditions and restrictions and homeowner's associations, will provide a means to establish an enforceable structure as the project develops in the future. These tools and elements will assure that the Community is an asset to the Town and to the residents that will live, work and play in the Sun Valley Community.

20.1 Design Guidelines

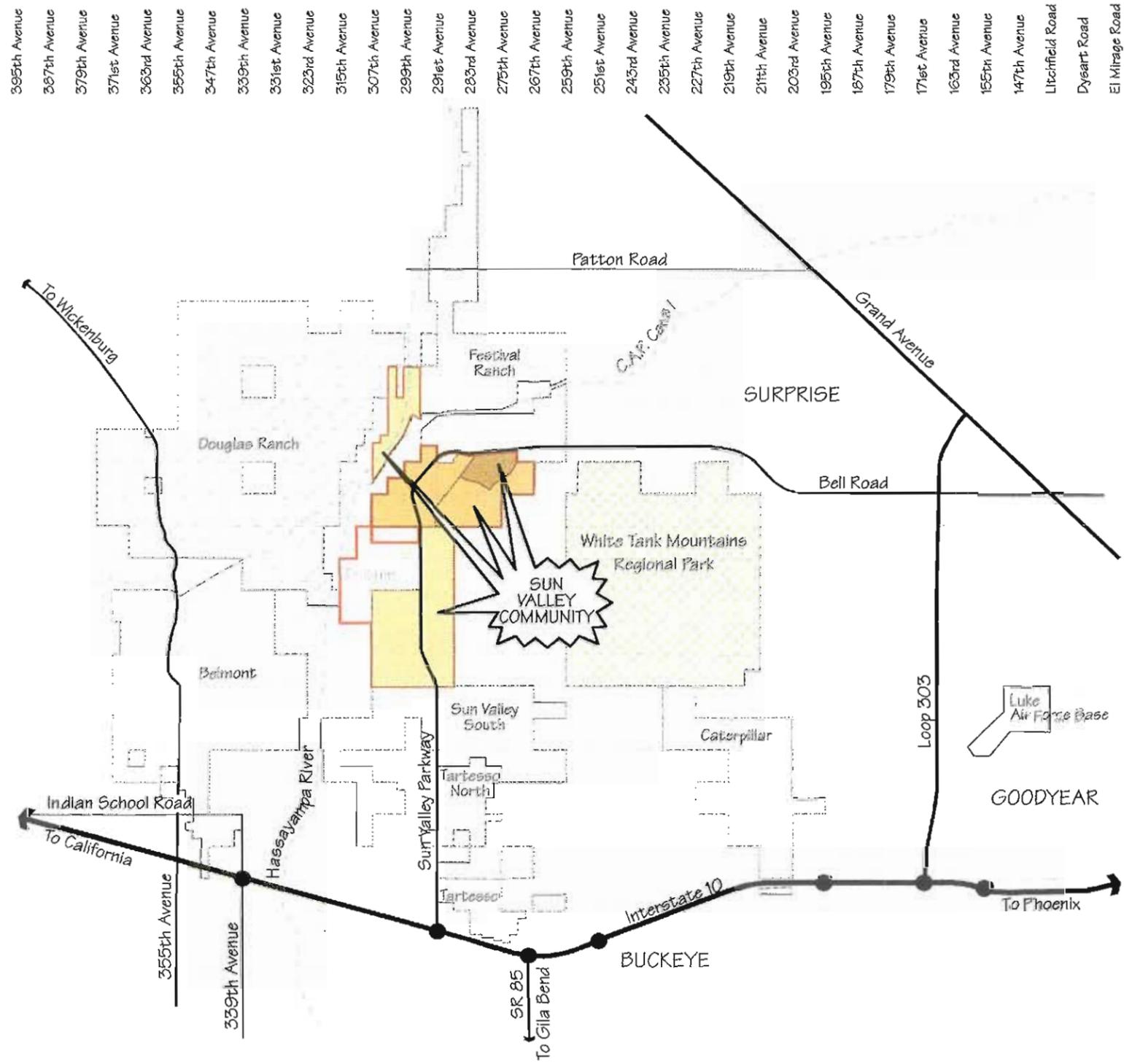
The Sun Valley Community Design Guidelines will address standards of development by the developer and homebuilders within the Sun Valley Community. They also address the development of Covenants, Conditions, and Restrictions (CC&R's) for the project that will dictate minimum maintenance of improvements and formation of a homeowner's association and architectural design review committee that will ensure the CC&R's enforcement. A conceptual outline of the Residential Design Guidelines for the Sun Valley Community is included in this CMP as Exhibit P. The outline is included in this CMP as an example of the type of issues, which may be included in the final document.

20.2 Covenant's, Conditions and Restrictions, Design Review Committee and Homeowner's Association

The Sun Valley Community's CC&R's will set forth the rules and regulations governing homeowner's within the Community. The architectural design review committee will oversee compliance with the CC&R's during the development stage. The Architectural Design Review Committee will review and approve building plans, landscaping specifications, and designs for all private and public improvements within the Community. The homeowner's association will ensure long-term compliance with the CC&R's and will assess monthly fees for the maintenance of landscaped common areas, natural washes, parks and other community facilities. A hierarchy of owner associations will be developed to govern the various residential and commercial areas as well as master associations governing common areas, amenity features or park areas. A

conceptual outline of the Sun Valley Community CC&R's is included in this CMP as Exhibit O. The outline is included in this CMP as an example of the type of issues, which may be included in the final document.

All architectural designs, plans, landscaping specifications will adhere to the Town of Buckeye architectural codes, ordinances, and standards. These designs and documents will first need to meet the Town of Buckeye's approval for their compliance. Design Standards beyond the Town of Buckeye's architectural codes, ordinances, and standards may be required by the Home Owner's Association for additional review and approval. If any conflict occurs with the Town of Buckeye's architectural codes, ordinances, and standards and any proposed Sun Valley architectural designs, plans, landscaping specifications; the Town of Buckeye's architectural codes, ordinances, and standards will prevail.



- Cloud Road
- Carefree Highway
- Dove Valley Road
- White Wing Road
- Bradley Road
- Patton Road
- Jomax Road
- Happy Valley Road
- Pinnacle Peak Road
- Deer Valley Road
- Beardeley Road
- Union Hills Road
- Bell Road
- Greenway Road
- Waddell Road
- Cactus Road
- Peoria Avenue
- Olive Avenue
- Northern Avenue
- Glendale Avenue
- Bethany Home Road
- Camelback Road
- Indian School Road
- Thomas Road
- McDowell Road
- Van Buren Road
- Yuma Road
- Lower Buckeye Road
- Broadway Road
- Southern Avenue

SUN VALLEY COMMUNITY SHADING KEY

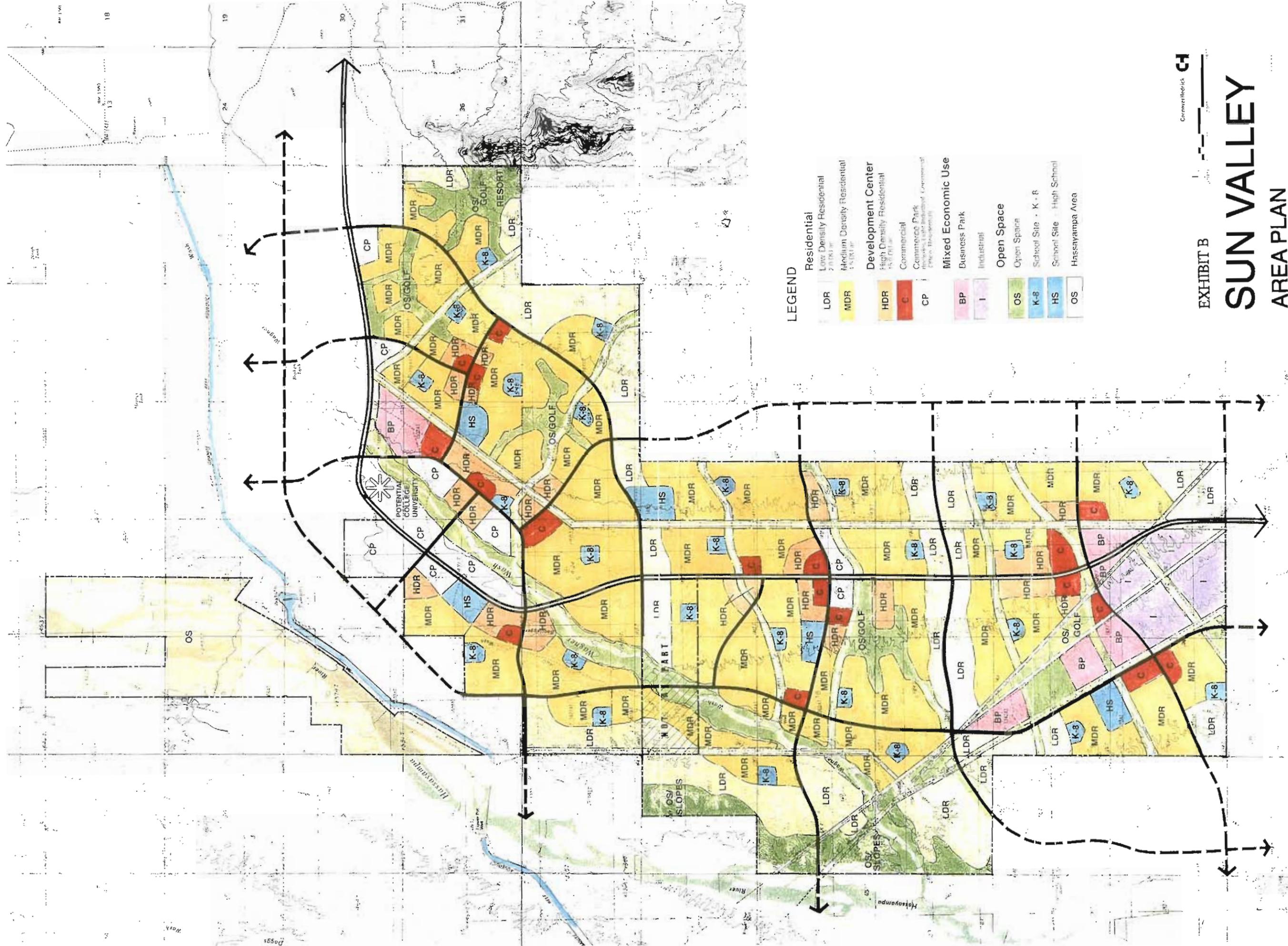
- SUN VALLEY COMMUNITY (Village I/Planning Unit 1 Boundary)
- SUN VALLEY COMMUNITY VILLAGES I AND II (Community Master Plan Boundary)
- SUN VALLEY COMMUNITY
- SUN VALLEY AREA PLAN BOUNDARY
- INTERCHANGE

EXHIBIT A
SUN VALLEY COMMUNITY - VILLAGES I AND II
 VICINITY MAP

Carter=Burgess

1/9/01

 0 5 mi
 NORTH
 Rev: 02.20.2004
 Rev: 11.22.2004



LEGEND

Residential	Development Center	Commercial	Mixed Economic Use
LDR Low Density Residential 2.0 DU/AC	HDR High Density Residential 15.0 DU/AC	C Commercial Includes Light Industrial, Employment (Open Headquarters)	BP Business Park
MDR Medium Density Residential 4.0 DU/AC			I Industrial
			OS Open Space
			OS Open Space
			K-8 School Site - K-8
			HS School Site - High School
			OS Hassayampa Area

CH
Carter/Hedrick

EXHIBIT B

SUN VALLEY AREA PLAN

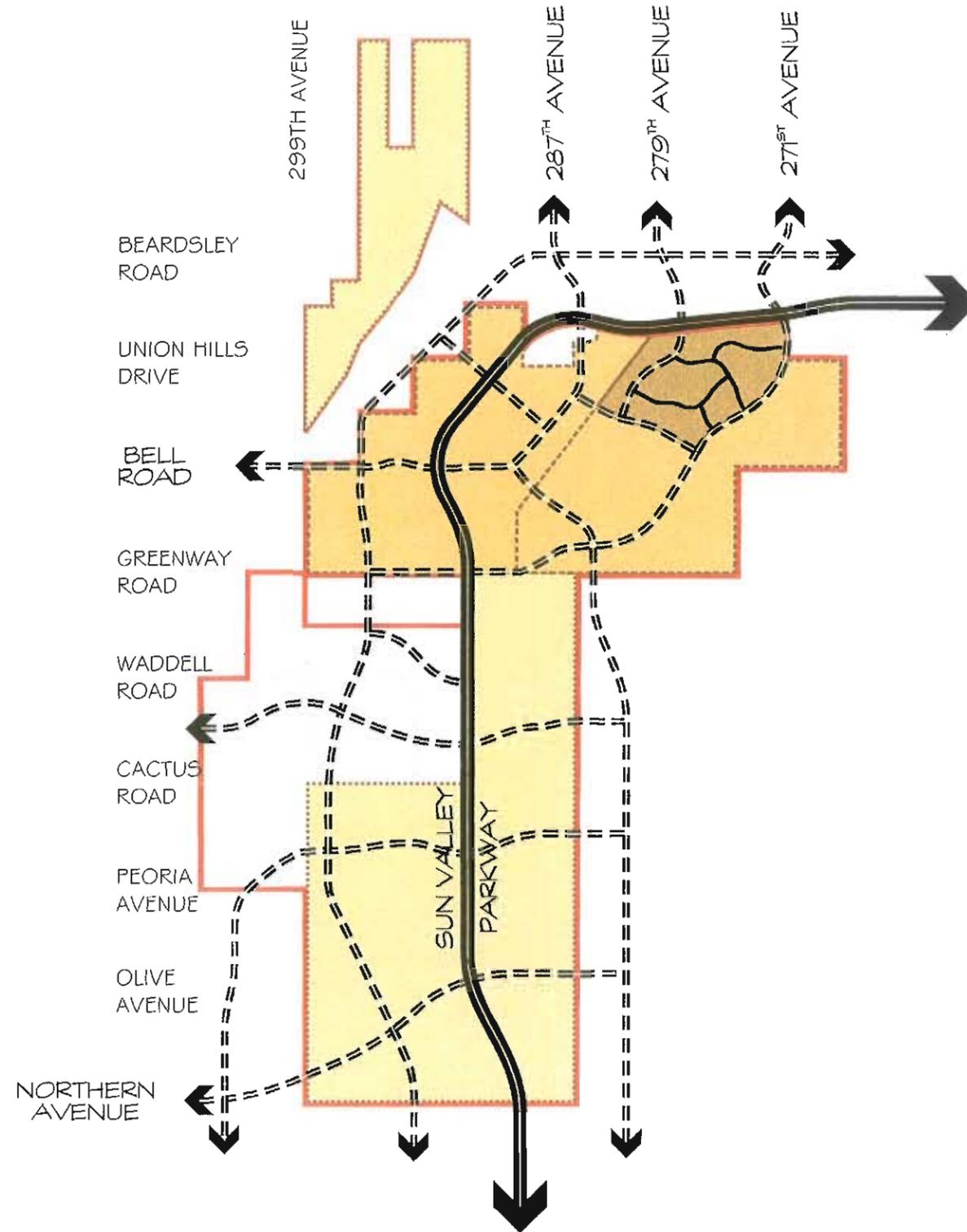


EXHIBIT C
SUN VALLEY COMMUNITY - VILLAGES I AND II
 SUN VALLEY BOUNDARY MAP

Carter Burgess



1/19/01



Rev: 02.20.2004
 Rev: 11.22.2004

LEGEND

RESIDENTIAL

- LDR LOW DENSITY RESIDENTIAL
2.0 DU/AC. TARGET DENSITY
- MDR MEDIUM DENSITY RESIDENTIAL
4.0 DU/AC. TARGET DENSITY
- HDR HIGH DENSITY RESIDENTIAL
13.5 DU/AC. TARGET DENSITY

COMMERCIAL MIXED ECONOMIC USE

- COMM COMMERCIAL
- CP COMMERCE PARK
- BP BUSINESS PARK

PUBLIC USE

- K-8 SCHOOL SITE - K-8
- H.S. SCHOOL SITE - HIGH SCHOOL
- PF PUBLIC FACILITY
- CH CHURCH
- O.S. OPEN SPACE

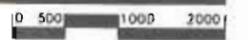


NOTE:
OUT PARCEL BEING DESIGNED
AS PART OF FESTIVAL RANCH
MASTER PLANNED COMMUNITY

EXHIBIT D SUN VALLEY COMMUNITY - VILLAGES I AND II

LAND USE EXHIBIT

Carter Burgess *ALD*
Arizona Land Design



DATE: 01/29/01
Rev: 02/20/04
Rev: 11/22/04
FINAL: 10/05

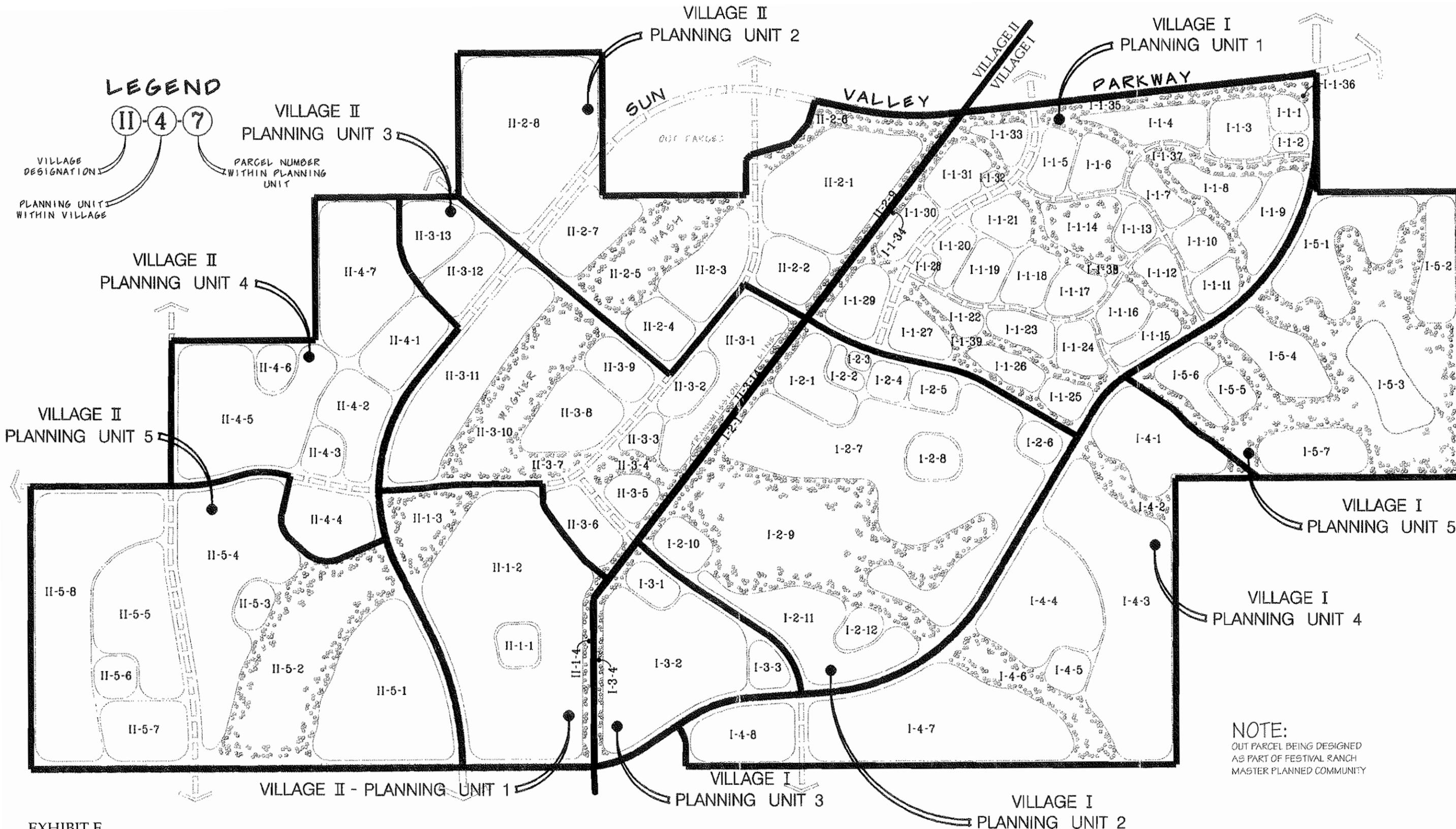


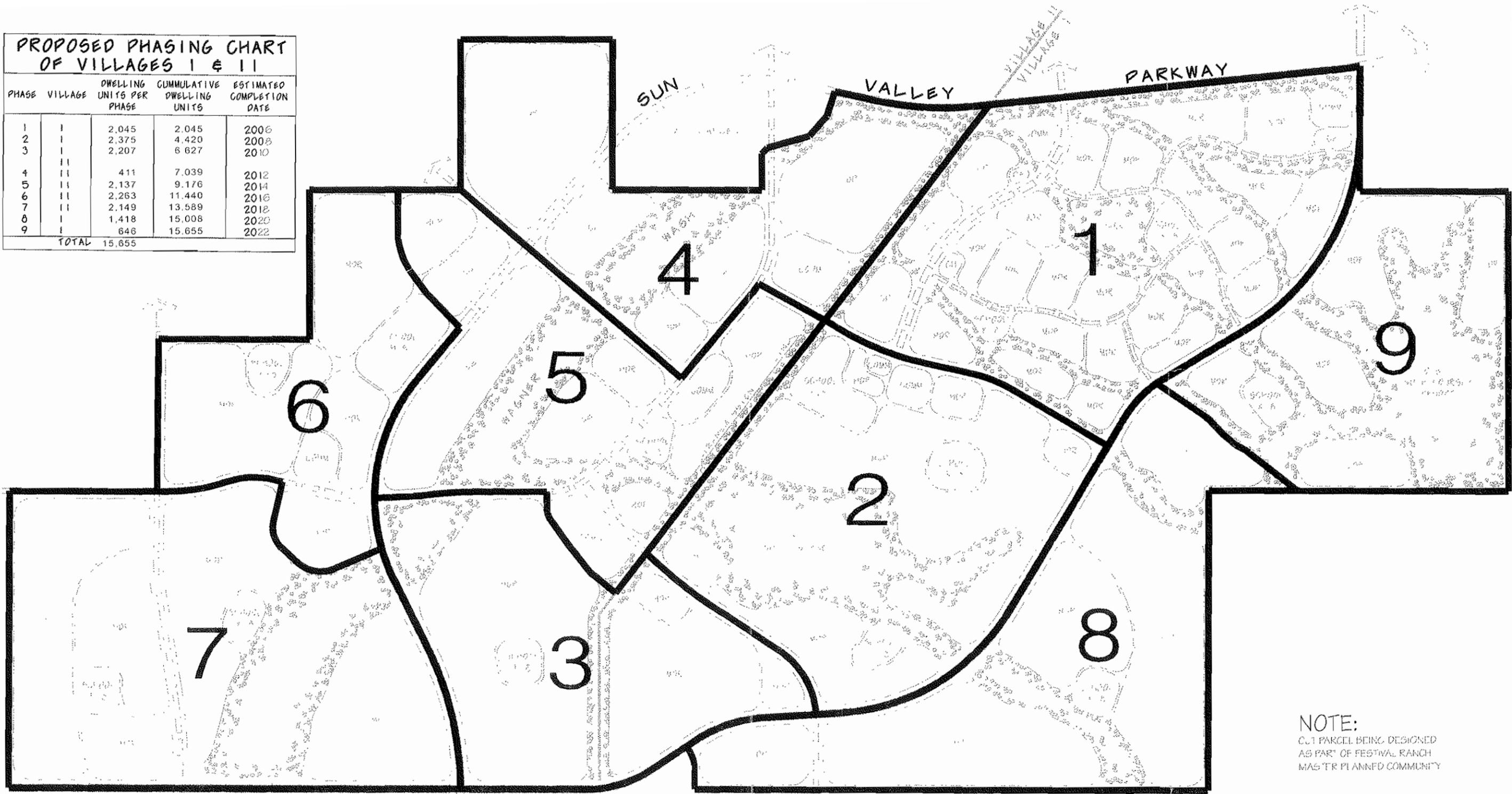
EXHIBIT E
SUN VALLEY COMMUNITY - VILLAGES I AND II
 PLANNING UNIT EXHIBIT

Carter=Burgess **ALD**
 Arizona Land Design



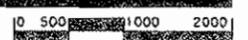
DATE: 01/29/01
 Rev: 02/20/04
 Rev: 11/22/04
 FINAL: 10/07/05

PROPOSED PHASING CHART OF VILLAGES I & II				
PHASE	VILLAGE	DWELLING UNITS PER PHASE	CUMULATIVE DWELLING UNITS	ESTIMATED COMPLETION DATE
1	I	2,045	2,045	2006
2	I	2,375	4,420	2008
3	I	2,207	6,627	2010
4	II	411	7,039	2012
5	II	2,137	9,176	2014
6	II	2,263	11,440	2016
7	II	2,149	13,589	2018
8	I	1,418	15,008	2020
9	I	646	15,655	2022
TOTAL		15,655		



NOTE:
 C-1 PARCEL BEING DESIGNED
 AS PART OF FESTIVAL RANCH
 MASTER PLANNED COMMUNITY

EXHIBIT F
 SUN VALLEY COMMUNITY - VILLAGES I AND II
 PHASING EXHIBIT



DATE: 01/29/01
 Rev: 02/20/04
 Rev: 11/22/04
 FINAL: 10/07/05

SUN CITY FESTIVAL

LEGEND

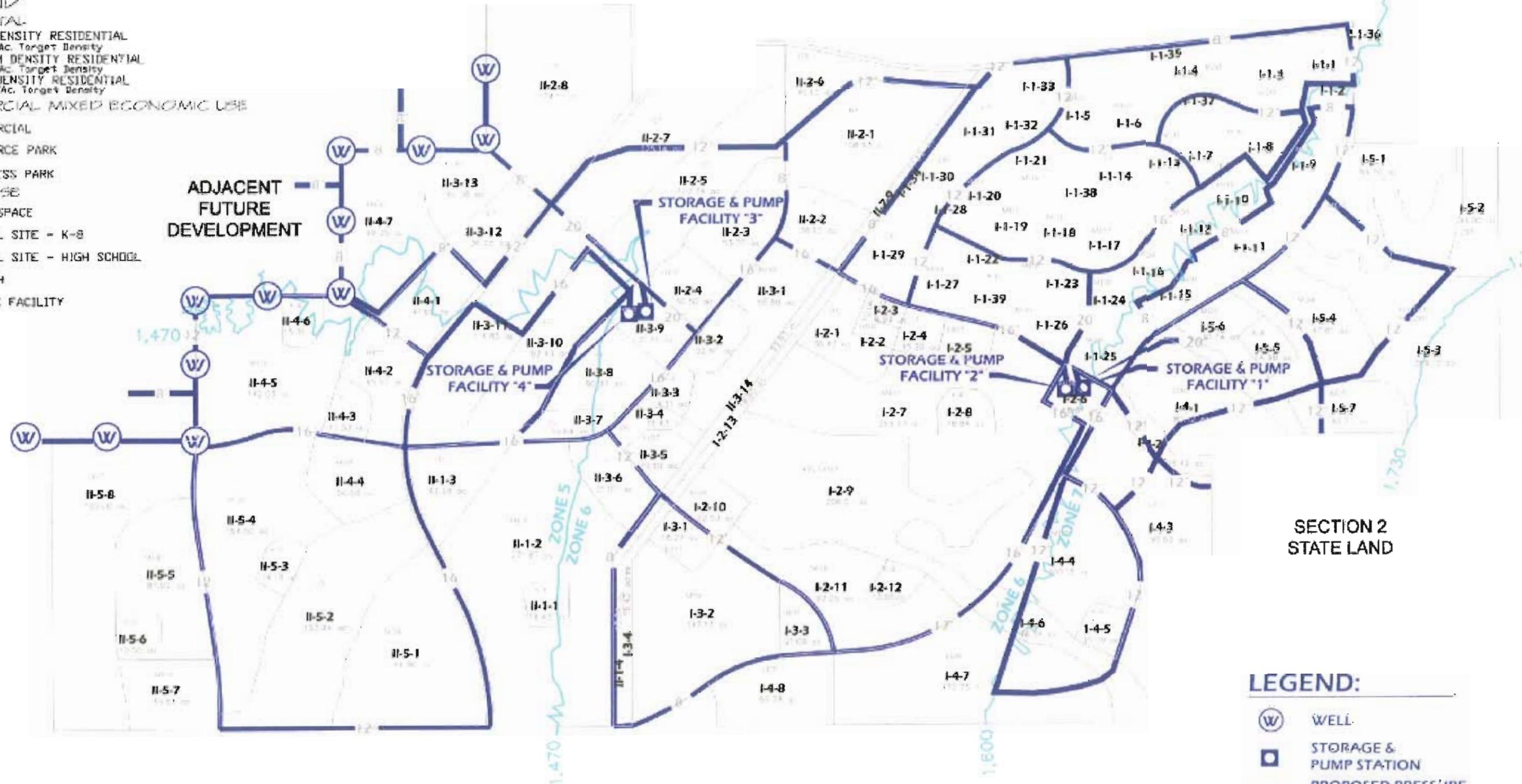
- RESIDENTIAL
- LDR LOW DENSITY RESIDENTIAL
20 Du/Ac Target Density
 - MDR MEDIUM DENSITY RESIDENTIAL
4.0 Du/Ac Target Density
 - HDR HIGH DENSITY RESIDENTIAL
135 Du/Ac Target Density

COMMERCIAL MIXED ECONOMIC USE

- COMM COMMERCIAL
- CP COMMERCE PARK
- BP BUSINESS PARK

PUBLIC USE

- OS OPEN SPACE
- K-8 SCHOOL SITE - K-8
- HS SCHOOL SITE - HIGH SCHOOL
- CH CHURCH
- PF PUBLIC FACILITY



LEGEND:

- (W) WELL
- STORAGE & PUMP STATION
- ~ PROPOSED PRESSURE BOUNDARY
- PROPOSED WATER MAIN

EXHIBIT G
SUN VALLEY COMMUNITY - VILLAGES I AND II
MASTER WATER PLAN



Rev: 02/20/04
 Rev: 11/22/04
 Rev: 10/01/05

LEGEND

RESIDENTIAL

- LDR** LOW DENSITY RESIDENTIAL
20 Du/Ac Target Density
- MDR** MEDIUM DENSITY RESIDENTIAL
4.0 Du/Ac Target Density
- HDR** HIGH DENSITY RESIDENTIAL
13.5 Du/Ac Target Density

COMMERCIAL MIXED ECONOMIC USE

- COMM** COMMERCIAL
- CP** COMMERCE PARK
- BP** BUSINESS PARK

PUBLIC USE

- OS** OPEN SPACE
- K-8** SCHOOL SITE - K-8
- HS** SCHOOL SITE - HIGH SCHOOL
- CH** CHURCH
- PF** PUBLIC FACILITY

**ADJACENT
FUTURE
DEVELOPMENT**

SUN CITY FESTIVAL



**SECTION 2
STATE LAND**

LEGEND:

- CONCEPTUAL CONNECTION TO FUTURE DEVELOPMENT
- FORCE MAIN
- GRAVITY MAIN
- WASTEWATER TREATMENT PLANT
- LIFT STATION
- PIPE NUMBER
- NODE NUMBER
- MAINS REMOVED FROM WWP

**EXHIBIT II
SUN VALLEY COMMUNITY - VILLAGES I AND II
MASTER WASTEWATER PLAN**

Carter Burgess NORTH
N.T.S.

Rev: 02/20/04

Rev: 11/22/04

Rev: 10/01/05

LEGEND

RESIDENTIAL

- LDR** LOW DENSITY RESIDENTIAL
2.0 Du/Ac. Target Density
- MDR** MEDIUM DENSITY RESIDENTIAL
4.0 Du/Ac. Target Density
- HDR** HIGH DENSITY RESIDENTIAL
13.5 Du/Ac. Target Density

COMMERCIAL MIXED ECONOMIC USE

- COMM** COMMERCIAL
- CP** COMMERCE PARK
- BP** BUSINESS PARK

PUBLIC USE

- O.S.** OPEN SPACE
- K-8** SCHOOL SITE - K-8
- H.S.** SCHOOL SITE - HIGH SCHOOL
- CH** CHURCH
- PF** PUBLIC FACILITY

LEGEND:

-  RECLAIMED WATER LINE
-  NODE NUMBER
-  RECLAIMED WATER PUMP STATION
-  RECLAIMED WATER SURFACE STORAGE
-  AQUIFER INJECTION WELL AND RECOVERY WELLS
-  WATER RECLAMATION PLANT

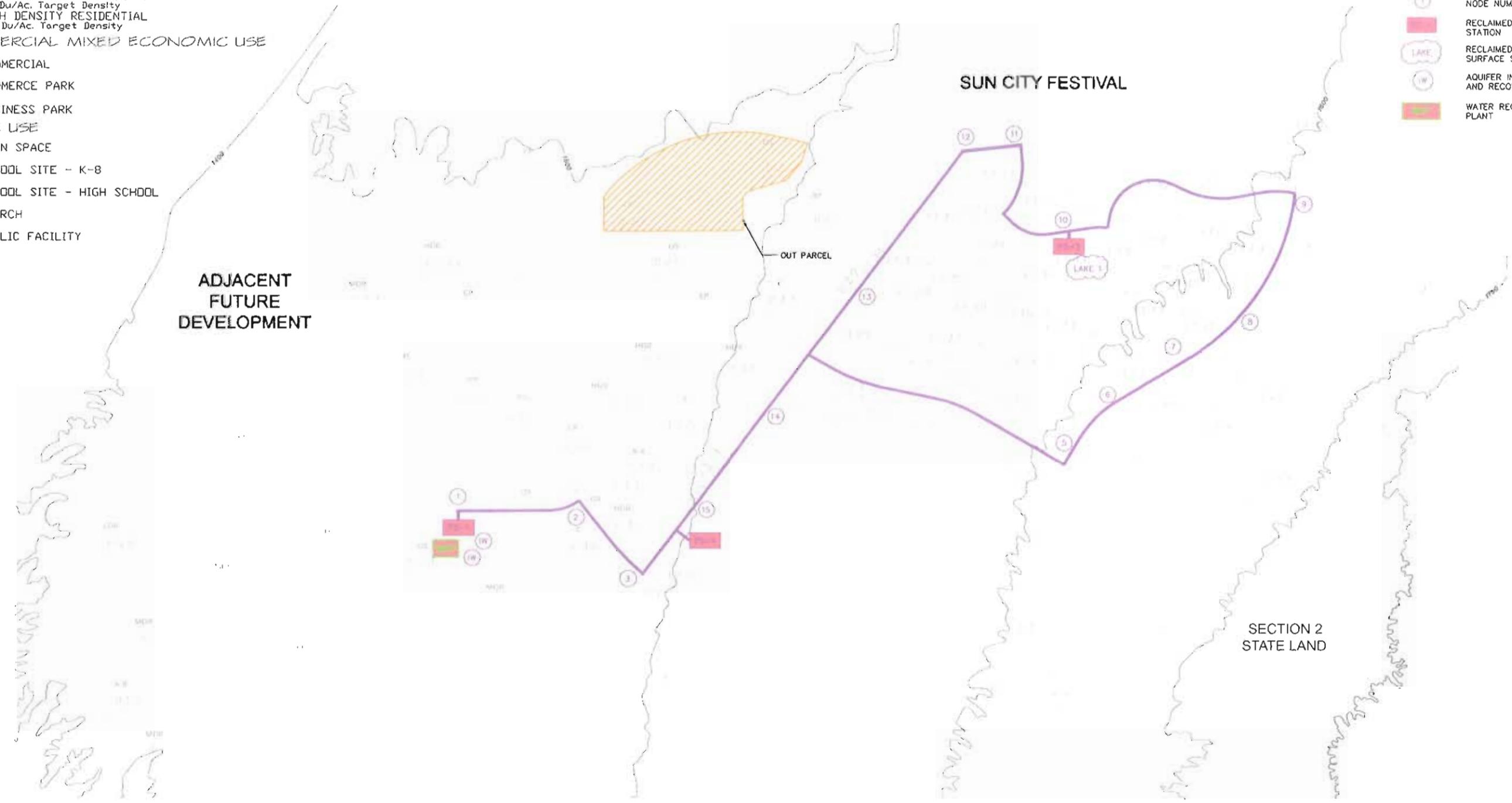


EXHIBIT I

SUN VALLEY COMMUNITY - VILLAGES I AND II

MASTER RECLAIMED WATER PLAN

Carter=Burgess

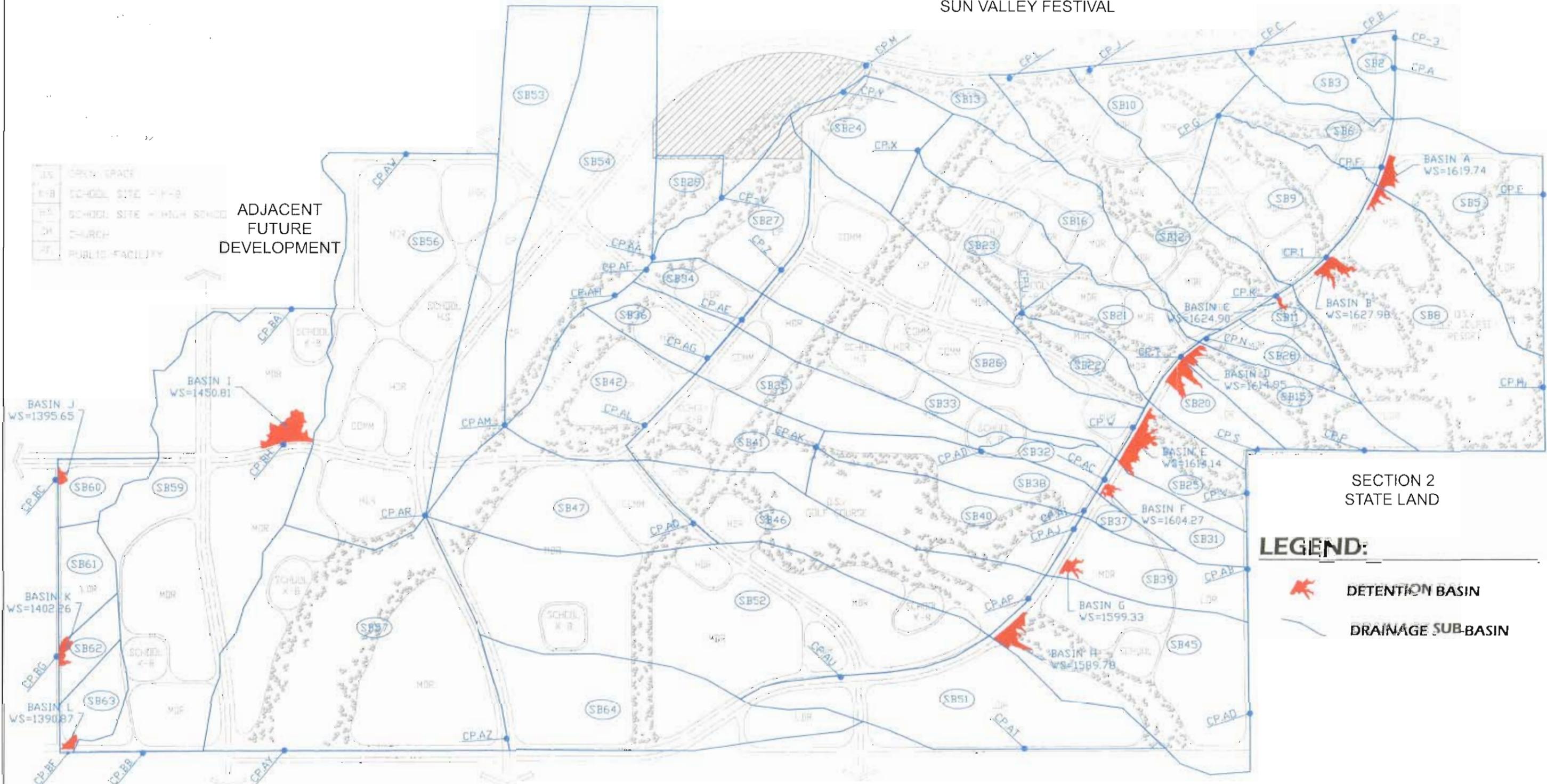


Rev: 02/20/04

Rev: 11/22/04

Rev: 10/07/05

SUN VALLEY FESTIVAL



DE	OPEN SPACE
ES	SCHOOL SITE - ELEM
HS	SCHOOL SITE - HIGH SCHOOL
CH	CHURCH
PF	PUBLIC FACILITY

ADJACENT
FUTURE
DEVELOPMENT

SECTION 2
STATE LAND

- LEGEND:**
-  DETENTION BASIN
 -  DRAINAGE SUB-BASIN

EXHIBIT J
SUN VALLEY COMMUNITY - VILLAGES I AND II
MASTER DRAINAGE PLAN

Carter Burgess

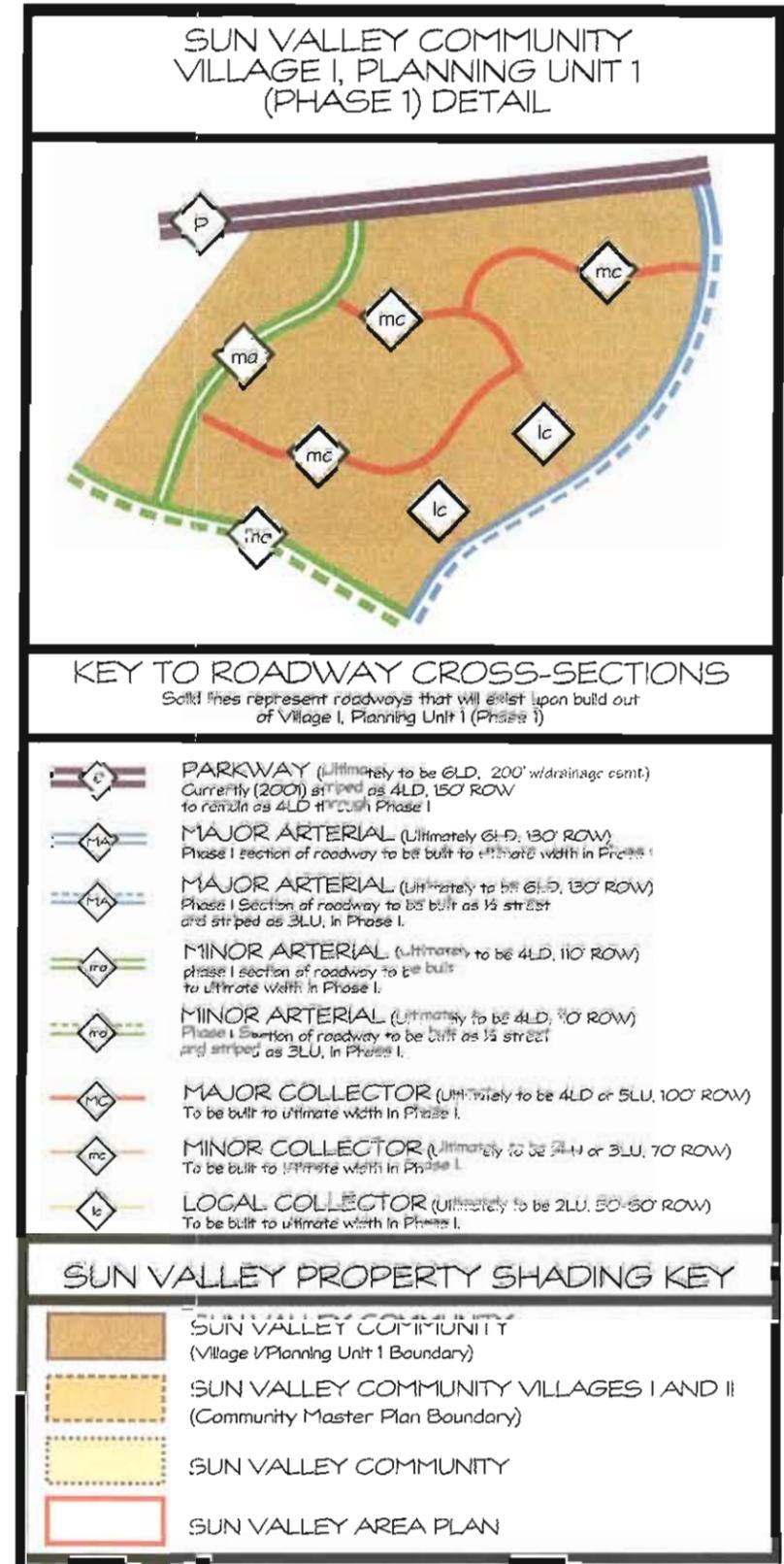
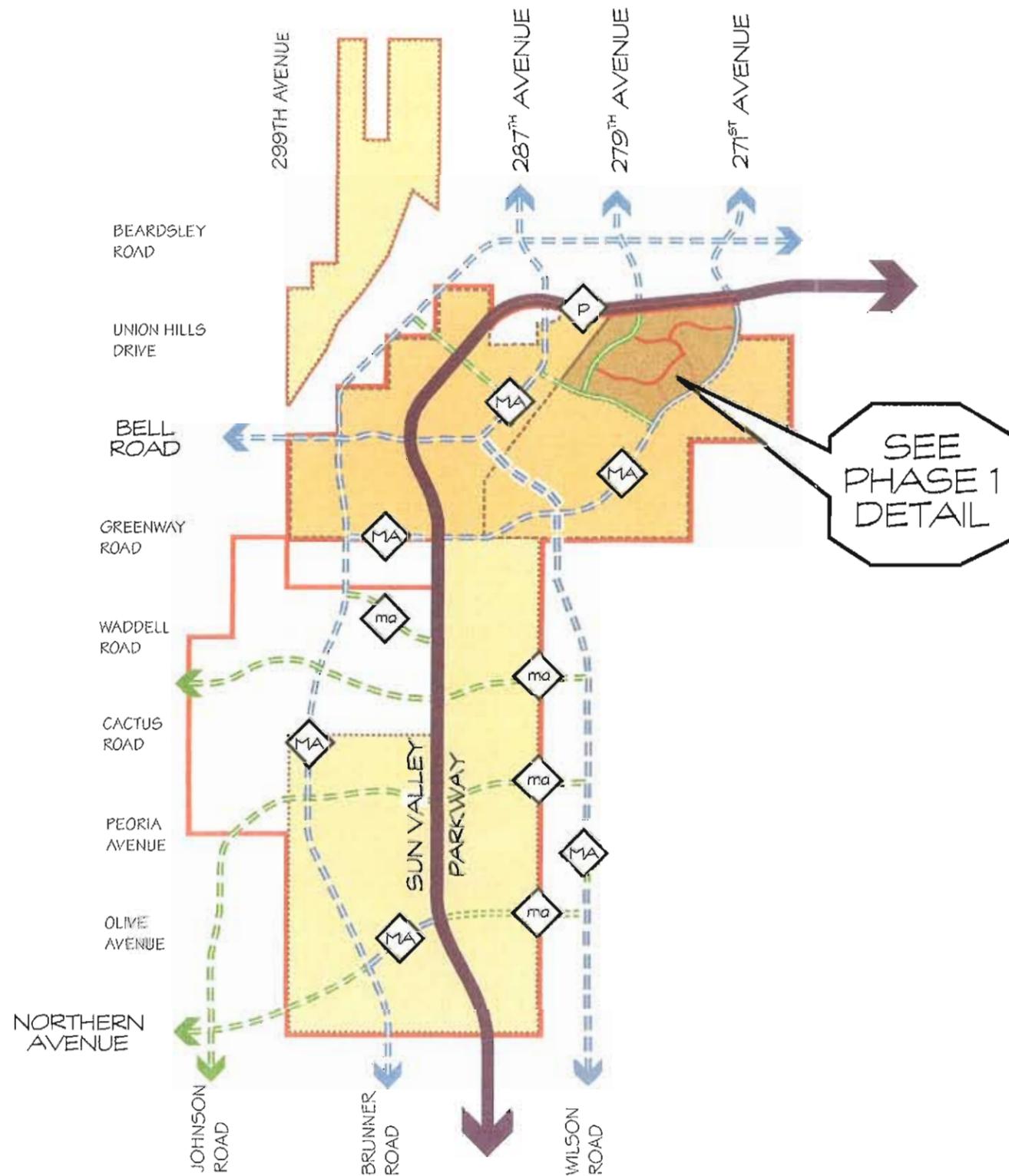


Rev: 02/20/04
Rev: 11/22/04
Rev: 10/07/05

EXHIBIT K

SUN VALLEY COMMUNITY - VILLAGES I AND II

MASTER STREET AND CIRCULATION PLAN



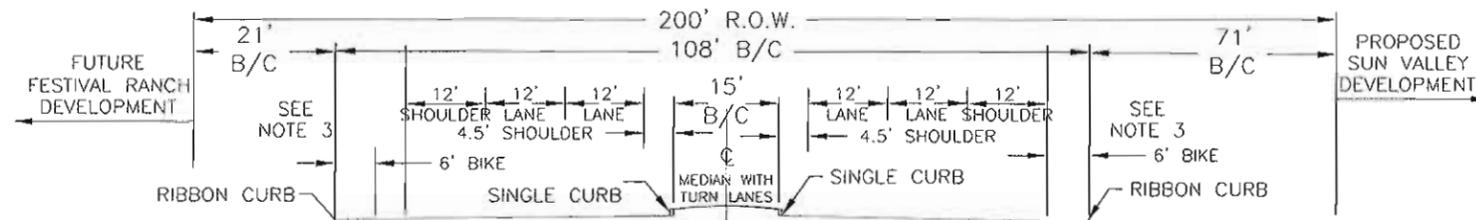
Carter-Burgess

1/9/01

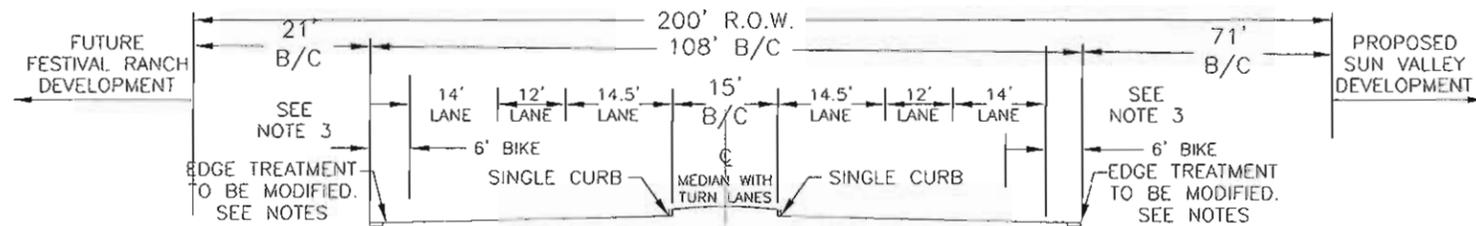


Rev: 02/2016
Rev: 11/22/16

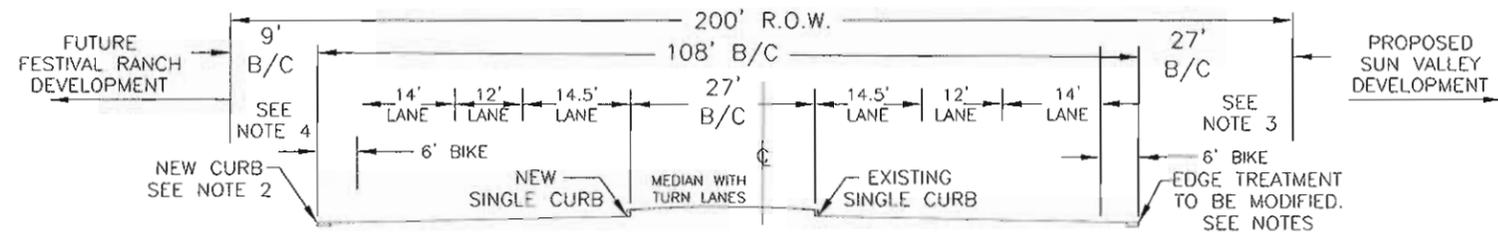




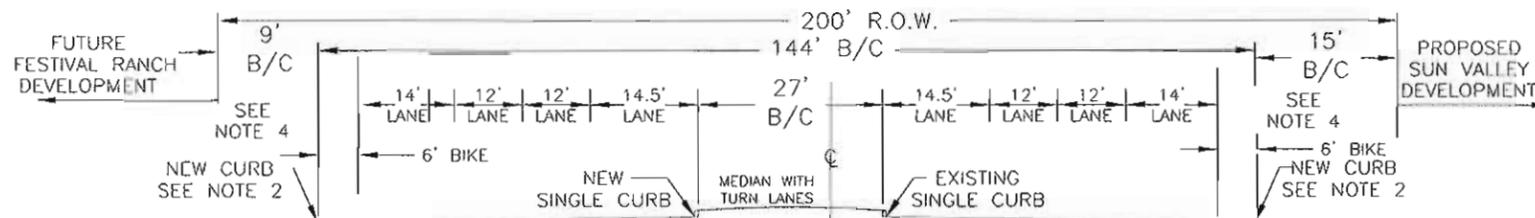
SUN VALLEY PARKWAY EAST-WEST SECTION, LOOKING EAST WITH SINGLE LEFT TURN LANE PROVISIONS (EXISTING CONDITIONS)



SUN VALLEY PARKWAY EAST-WEST SECTION, LOOKING EAST EXISTING CONFIGURATION, RE-STRIPED FOR SIX LANES



SUN VALLEY PARKWAY EAST-WEST SECTION, LOOKING EAST WITH DUAL LEFT TURN LANE PROVISIONS



SUN VALLEY PARKWAY EAST-WEST SECTION, LOOKING EAST WITH DUAL LEFT TURN LANE AND SINGLE RIGHT TURN LANE PROVISIONS

GENERAL NOTES:

- 1 CROSS SECTIONS ARE ARE NOT TO SCALE
- 2 CURB TYPE, ALONG WIDENED SECTIONS, AS APPROVED BY M.C.D.O.T.
- 3 EXISTING SLOPE AND DRAINAGE CONDITIONS NOT VERIFIED.
- 4 SLOPE AND DRAINAGE IMPROVEMENTS AS REQUIRED BY M.C.D.O.T.; MAY REQUIRE ADDITIONAL RIGHT OF WAY AND/OR DRAINAGE EASEMENTS.
- 5 FOR THE PARKWAY TO BE STRIPED FOR SIX LANES, VERTICAL CURB OR A PAVED SHOULDER A MINIMUM OF TEN FEET WIDE WITH A SLOPE OF NO MORE THAN 20:1 WILL BE REQUIRED. WHEN IT IS THE ULTIMATE ROADWAY IMPROVEMENT OR ADJACENT TO A DRAINAGE CHANNEL, ONLY VERTICAL CURB IS ALLOWED.
- 6 IMPROVEMENTS AS APPROVED BY MCDOT AND THE TOWN OF BUCKEYE

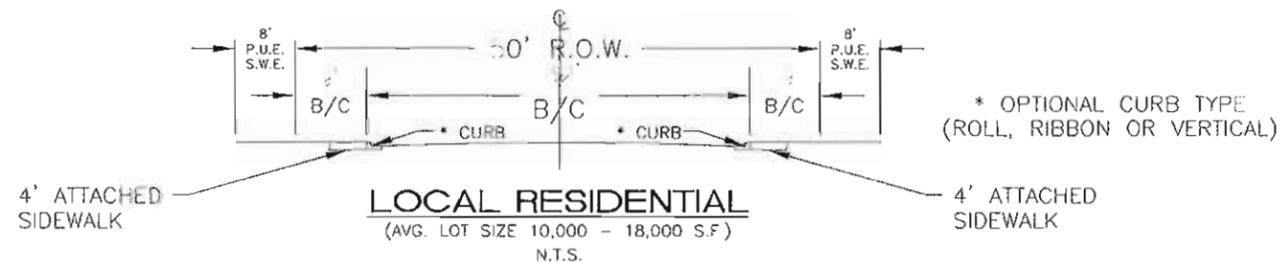
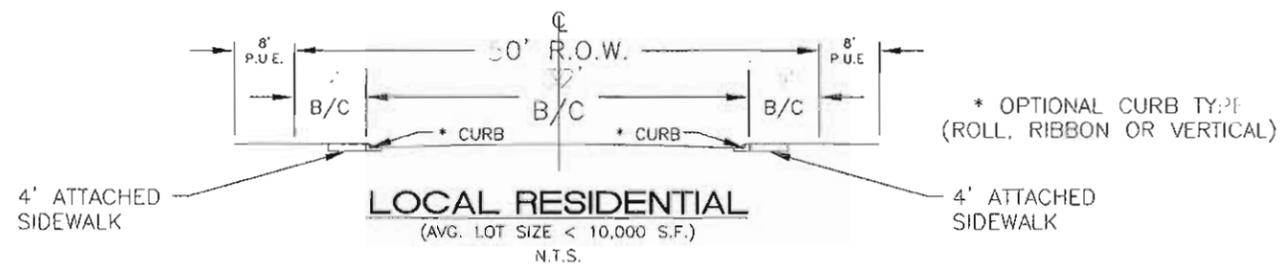
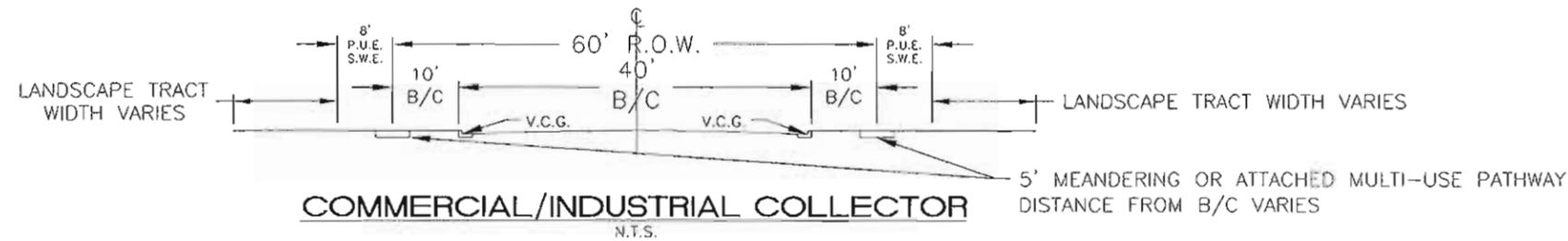
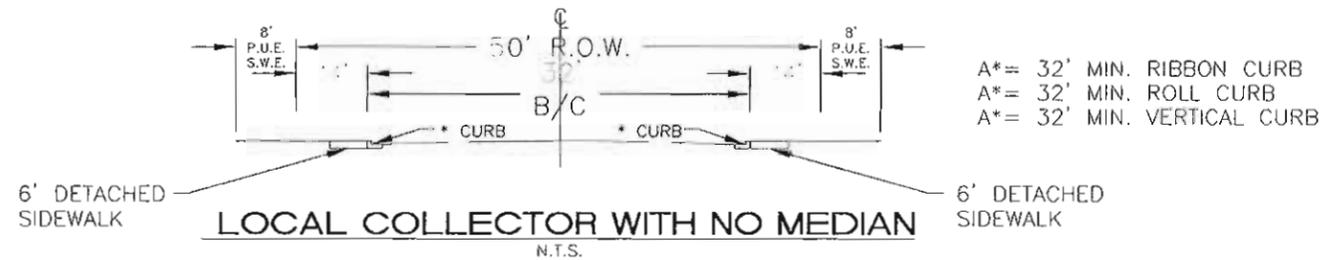
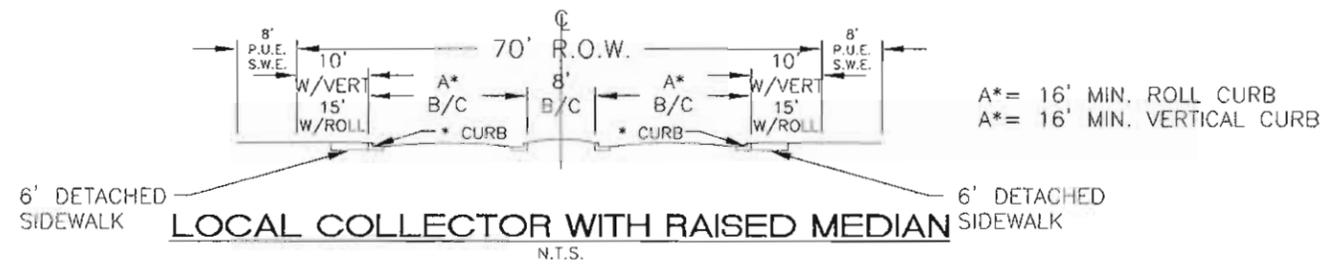
LEGEND:

- B/C BACK OF CURB
- L.S. LANDSCAPE
- F/C FACE OF CURB
- P.U.E. PUBLIC UTILITY EASEMENT
- S.W.E. SIDEWALK EASEMENT

EXHIBIT K CONT.

SUN VALLEY COMMUNITY - VILLAGES I AND II

ROADWAY CROSS SECTION STANDARDS - SUN VALLEY PARKWAY



GENERAL NOTES:

- 1 MEDIAN WIDTH MAY EXCEED THE MINIMUM WIDTH AND MAY VARY.
- 2 MULTIUSE PATHWAYS MAY MEANDER OUTSIDE OF THE ROADWAY RIGHT OF WAY INTO THE LANDSCAPE TRACT.
- 3 SIDEWALKS ARE NOT REQUIRED ON LOCAL RESIDENTIAL STREETS IF AN ALTERNATE PEDESTRIAN TRAIL SYSTEM IS PROVIDED.
- 4 COLLECTORS TO BE POSTED FOR NO PARKING.
- 5 SIDEWALKS ON CONNECTORS AND LOCALS MAY BE OMITTED IN RESORT OR LDR AREAS WITH COMMUNITY DEVELOPMENT DIRECTOR APPROVAL

LEGEND:

- B/C BACK OF CURB
- F/C FACE OF CURB
- P.U.E. PUBLIC UTILITY EASEMENT
- S.W.E. SIDEWALK EASEMENT
- V.C.G. VERTICAL CURB AND GUTTER
- * OPTIONAL CURB TYPES IN RESORT OR LDR AREAS (ROLL OR RIBBON)

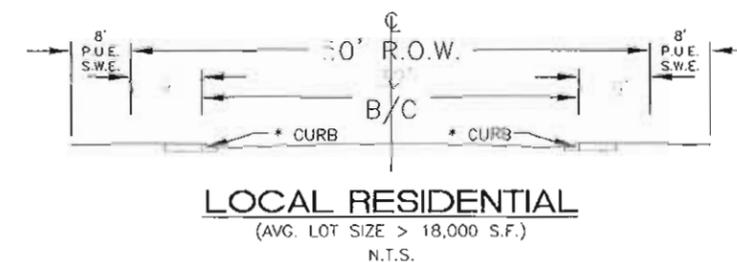


EXHIBIT K CONT.

SUN VALLEY COMMUNITY - VILLAGES I AND II

ROADWAY CROSS SECTION STANDARDS - LOCAL STREETS

Roadway Design Element	Local Residential			Local Collector			Minor Collector	Major Collector		Minor Arterial	Major Arterial	
	Average Lot Size			Residential		Commercial / Industrial		Raised Median	Raised Median			Flush Median
	<10,000 s.f.	10,000-18,000 s.f.	>18,000 s.f.	Raised Median	No Median		Raised Median			Raised Median	Flush Median	
Right-of-way width, ft.	50	40	30	70	60	60	70	100	100	110	130	
Number of lanes	2	2	2	2	2	2	2 (*1)	4	5	4	6	
Bike lanes, width to back of curb, ft.	-	-	-	-	-	-	-	*7	*7	*7	*7	
Pavement width to back of curb, ft. (*10)	Vertical curb	28	24	24	Two-16	32 (*1)	40	Two-16	Two-28	64	Two-28	Two-40
	Roll curb (*10)	28	24	24	Two-16	32 (*1)	-	Two-16	-	-	-	-
	Ribbon curb (*9)	28	24	24	-	32 (*1)	-	-	-	-	-	-
Median width to back of curb, ft.	-	-	-	8 (1*,2)	-	-	8 (*2)	12 (*2)	-	16 (*2,6)	16 (*2)	
Sidewalk (attached to curb=att; detached=det.)	Two-4'; att. (*6)			Two-4'; att. (*6)			One-5'; det. (*5)	One-5'; det. (*5)		One-5'; det. (*5)	One-5'; det. (*5)	
Multi-Use (Pedestrian/Bike) Pathway (off-street) width	One-5' (*5,6)	One-5' (*5,6)	-	Two-5' (*5)	Two-5' (*5)	Two-5' (*5)	Two-8' (*5)	Two-8' (*5)	Two-8' (*5)	Two-8' (*5)	Two-8' (*5)	
Design speed, MPH	35			45			45	45		55	55	
Frictional factor, (*a)	0.30			0.22			0.20	-		-	-	
Frictional factor, (*b)	-			-			-	0.16		0.145	0.14	
Transition for 2% superelevation, ft.	-			-			-	-		-	320 (*11)	
Min. curve radius, normal crown, ft. (*13)	100			310			475	780		1,100	1,400	
Min. curve radius, 2% superelevation, ft.	85			255			385	600		850	1,050	
Min. tangent between curves in opposite direction, ft.	100			150 (*4)			200 (*4)	225 (*4)		250 (*4)	300 (*4)	
Min. tangent between curves in same direction, ft.	0			150			200	300		500	660	
Min. curve length, ft.	100			150			175	225		400	500	
Min. intersection approach tangent, ft. (*8)	25			75			75	100		150	200	
Stopping sight distance, ft., (*c)	125			200			245	305		365	440	
Passing sight distance, ft., (*d)	800			1,100			1,300	1,500		1,650	1,800	
Sag vertical curve, K value	19			36			48	63		79	100	
Crest vertical curve, K value	12			30			45	70		100	146	
Intersection sight distance, left (S1), ft.	240			295			395	455		500	650	
Intersection sight distance, right (S2), ft.	280			340			450	650		620	860	
Average Daily Traffic (ADT) volume range	1,500 max			1,500 - 5,000			5,000-15,000	15,000-25,000		25,000-35,000	35,000-55,000	
Minimum grade, %	0.35			0.35			0.35	0.40		0.40	0.40	
Maximum grade, %	15 (*3)			12			12	9		9	9	

Additional Design Notes:

- *1 Adequate left turn lanes may be required at intersections. Provide 3-lane configuration along roadway segments having closely spaced (<330 feet) access points.
- *2 Minimum width, may vary.
- *3 May be exceeded with approval from the Town Engineer.
- *4 If curve radii are at least 50% greater than the radii required by design speed, the tangent sections can be eliminated.
- *5 Sidewalks, where detached from curb, and multi-use pathways may meander into tracts or easements. All sidewalks for minor collectors and higher shall be detached by minimum of 3'.
- *6 Sidewalks are not required on local residential streets if an alternative pedestrian transportation system is provided, and approved in advance by town.
- *7 Off road multi-use pathways shall be used in lieu of on-street bike lanes, except as specifically approved otherwise by Town Engineer. The use of on-street bike lanes will require pavement width to increase by 8 feet.
- *8 Minimum intersection approach tangent at collectors and larger than 40'.
- *9 Ribbon curbs allowed along collectors running through resort and LDR areas of CMP.
- *10 Widths to provide 24 feet of driving surface.
- *11 As preapproved by the town engineer and the planning unit phase.
- *12 Raised median required at intersections with commercial use.
- *13 All horizontal curves radi shall be per AASHTO or other town approved standards.

Basis of Design Sources

- *a - Based on 1990 AASHTO Manual, Low Speed Urban Streets, p.188 (design speeds up to 40 mph).
- *b - Based on 1990 AASHTO Manual, High Speed Urban Highways, p.153.
 $R = V^2 / 15(e + f)$, where V = design speed, f = friction factor, e = -0.02 normal crown, e = 0.02 superelevated
- *c - Based on 1990 AASHTO Manual, Stopping Sight Distance - Wet Pavement (Average), p.120.
 $K = S^2 / 1329$ when $S < L$, where S = stopping sight distance, L = length of curve (for crest vertical curve determined by stopping sight distance).
 $K = S^2 / (400 + 3.5S)$ when $S > L$, where S = stopping sight distance, L = length of curve (for crest vertical curve determined by stopping sight distance).
- *d - Based on 1990 AASHTO Manual, minimum passing sight distance for design of two-lane highways, p. 133.

GENERAL NOTES:

- 1 MEDIAN WIDTH MAY EXCEED THE MINIMUM WIDTH AND MAY VARY.
- 2 MULTIUSE PATHWAYS MAY MEANDER OUTSIDE OF THE ROADWAY RIGHT OF WAY INTO THE LANDSCAPE TRACT.
- 3 CROSS SECTIONS ARE NOT TO SCALE.
- 4 ARTERIALS TO BE POSTED FOR NO PARKING.

LEGEND:

B/C	BACK OF CURB
L.S.	LANDSCAPE
F/C	FACE OF CURB
P.U.E.	PUBLIC UTILITY EASEMENT
S.W.E.	SIDEWALK EASEMENT
V.C.G.	VERTICAL CURB AND GUTTER

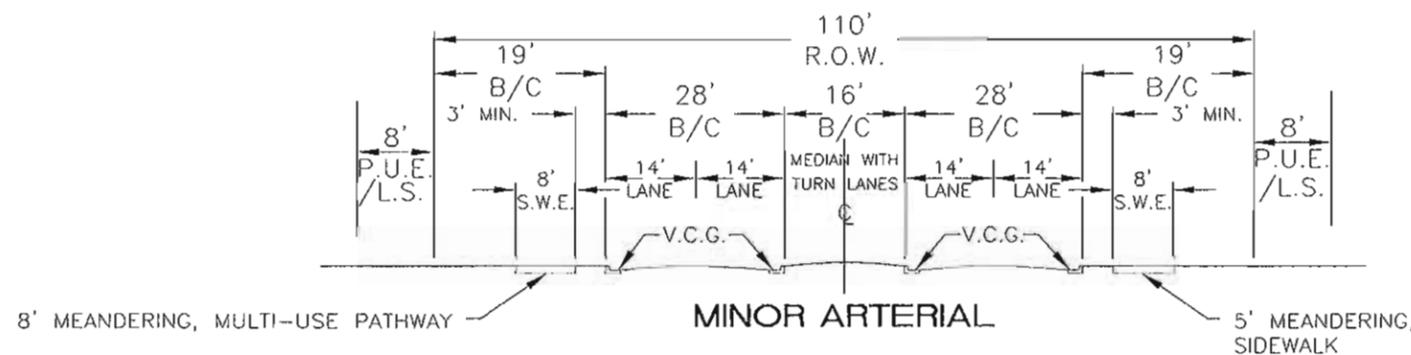
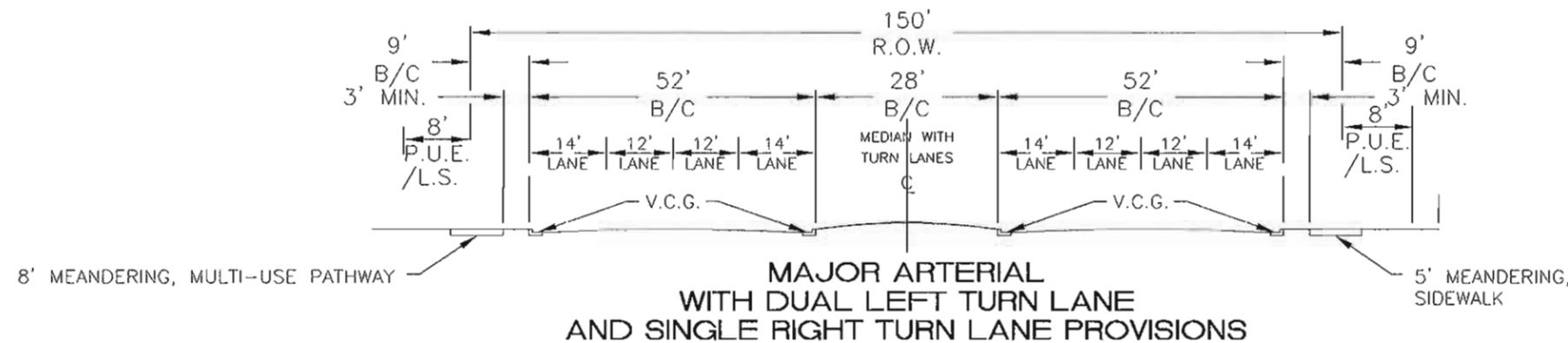
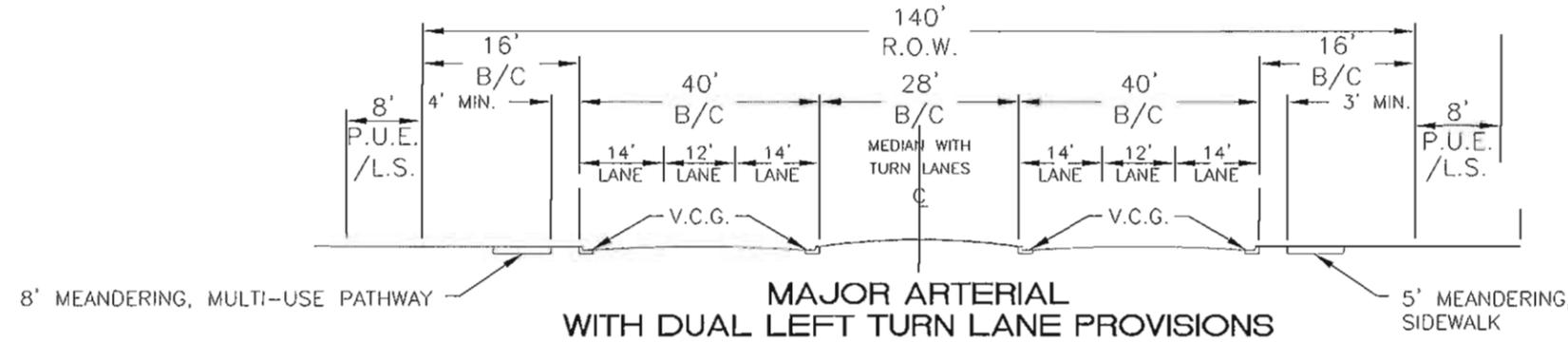
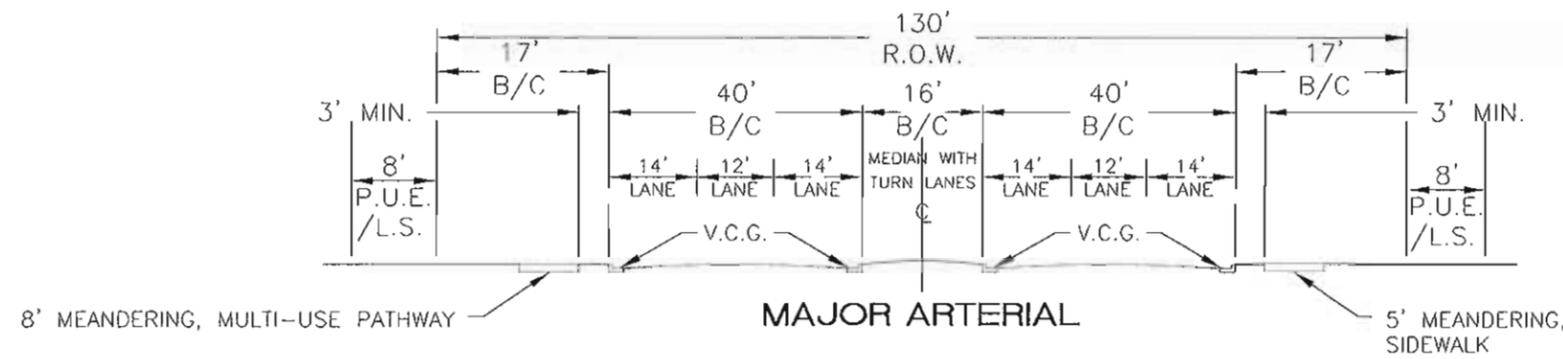
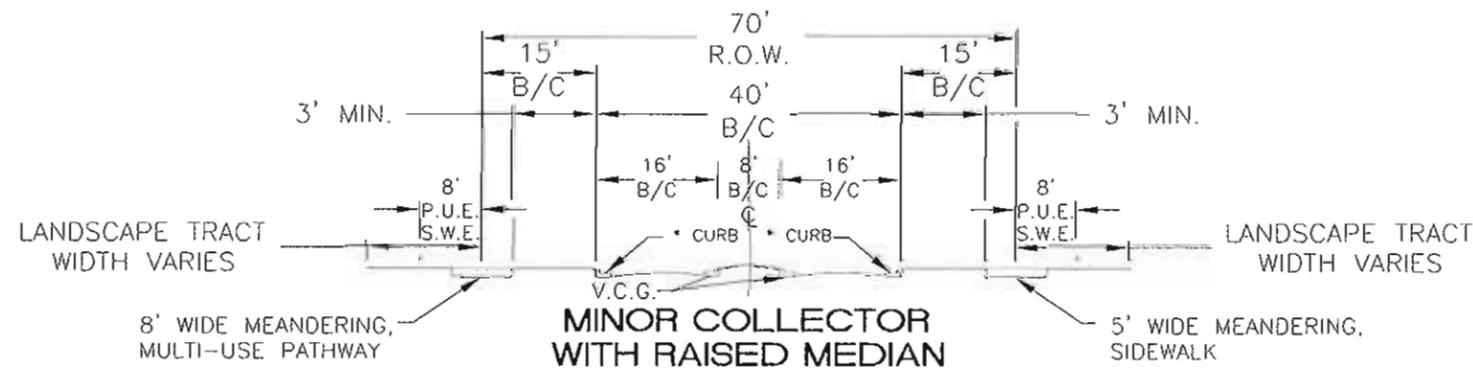
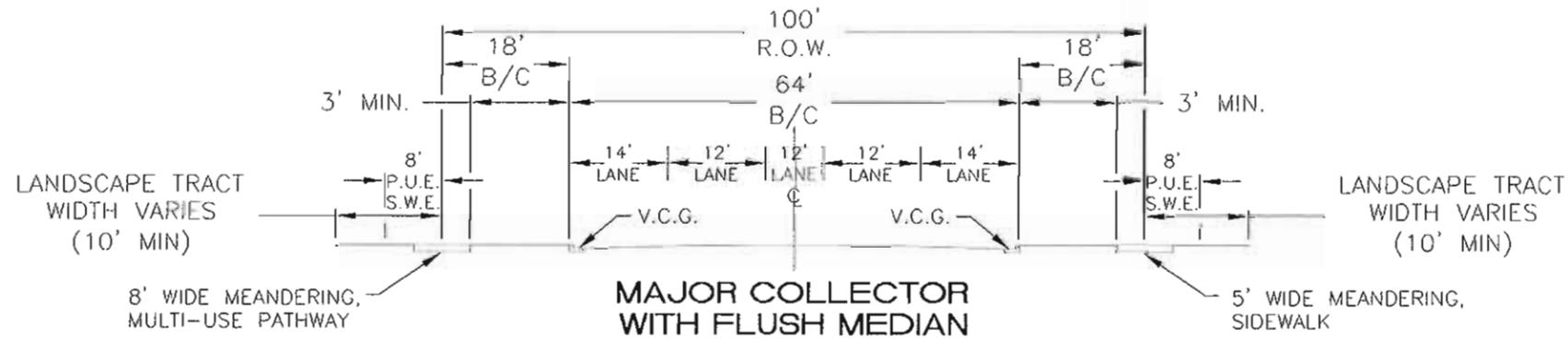
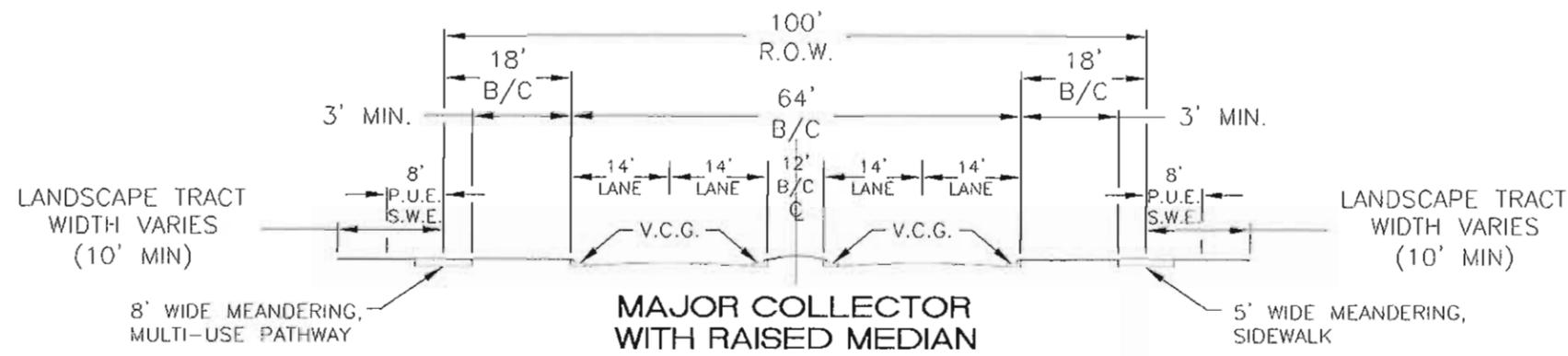


EXHIBIT K CONT.

SUN VALLEY COMMUNITY - VILLAGES I AND II

ROADWAY CROSS SECTION STANDARDS - ARTERIALS STREETS



GENERAL NOTES:

- 1 MEDIAN WIDTH MAY EXCEED THE MINIMUM WIDTH AND MAY VARY.
- 2 PEDESTRIAN PATHWAYS MAY MEANDER OUTSIDE OF THE ROADWAY RIGHT OF WAY INTO THE LANDSCAPE TRACT.
- 3 CROSS SECTIONS ARE NOT TO SCALE
- 4 SIDEWALKS ON COLLECTORS MAY BE OMITTED IN RESORT OR LDR AREAS WITH TOWN MANAGER APPROVAL.
- 5 COLLECTORS TO BE POSTED FOR "NO PARKING."

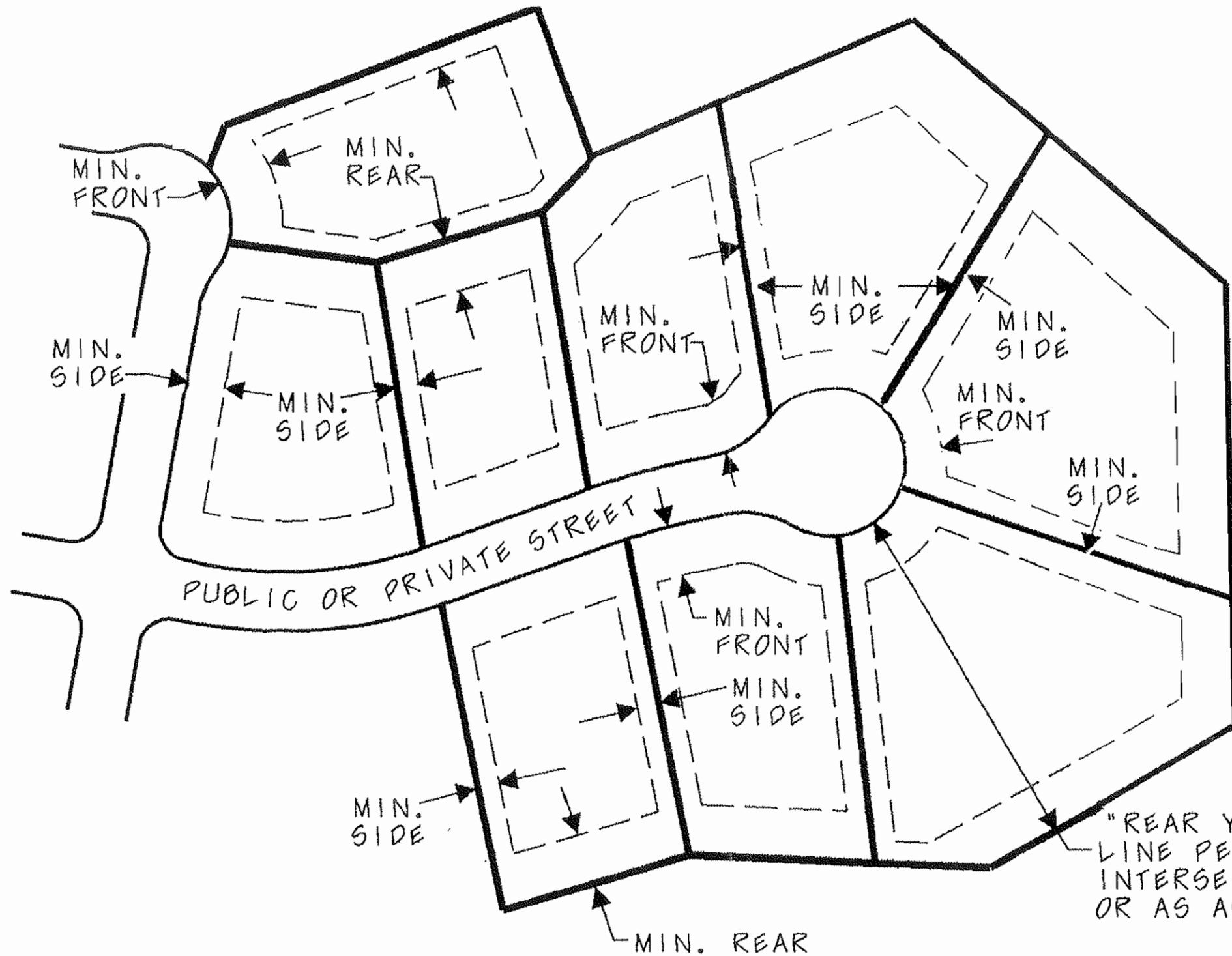
LEGEND:

- B/C BACK OF CURB
- F/C FACE OF CURB
- P.U.E. PUBLIC UTILITY EASEMENT
- S.W.E. SIDEWALK EASEMENT
- V.C.G. VERTICAL CURB AND GUTTER
- * OPTIONAL CURB TYPES IN RESORT OR LDR AREAS (ROLL OR RIBBON)

EXHIBIT K CONT.

SUN VALLEY COMMUNITY - VILLAGES I AND II

ROADWAY CROSS SECTION STANDARDS - COLLECTOR STREETS



"REAR YARD" IS DEFINED BY A LINE PERPENDICULAR TO R.O.W. INTERSECTING A PROPERTY LINE OR AS APPROVED BY TOWN STAFF

EXHIBIT L

SUN VALLEY COMMUNITY - VILLAGES I AND II

Carter Burgess

ALD
Arizona Land Design
500 EAST DUNSMUIR WAY
SCOTTSDALE, ARIZONA 85251
PHONE: 480.951.6430
FAX: 480.951.6498

METHOD OF LOT MEASUREMENT

DATE: 01/29/01
REV: 02/20/04
REV: 11/27/04
REV: 01/05

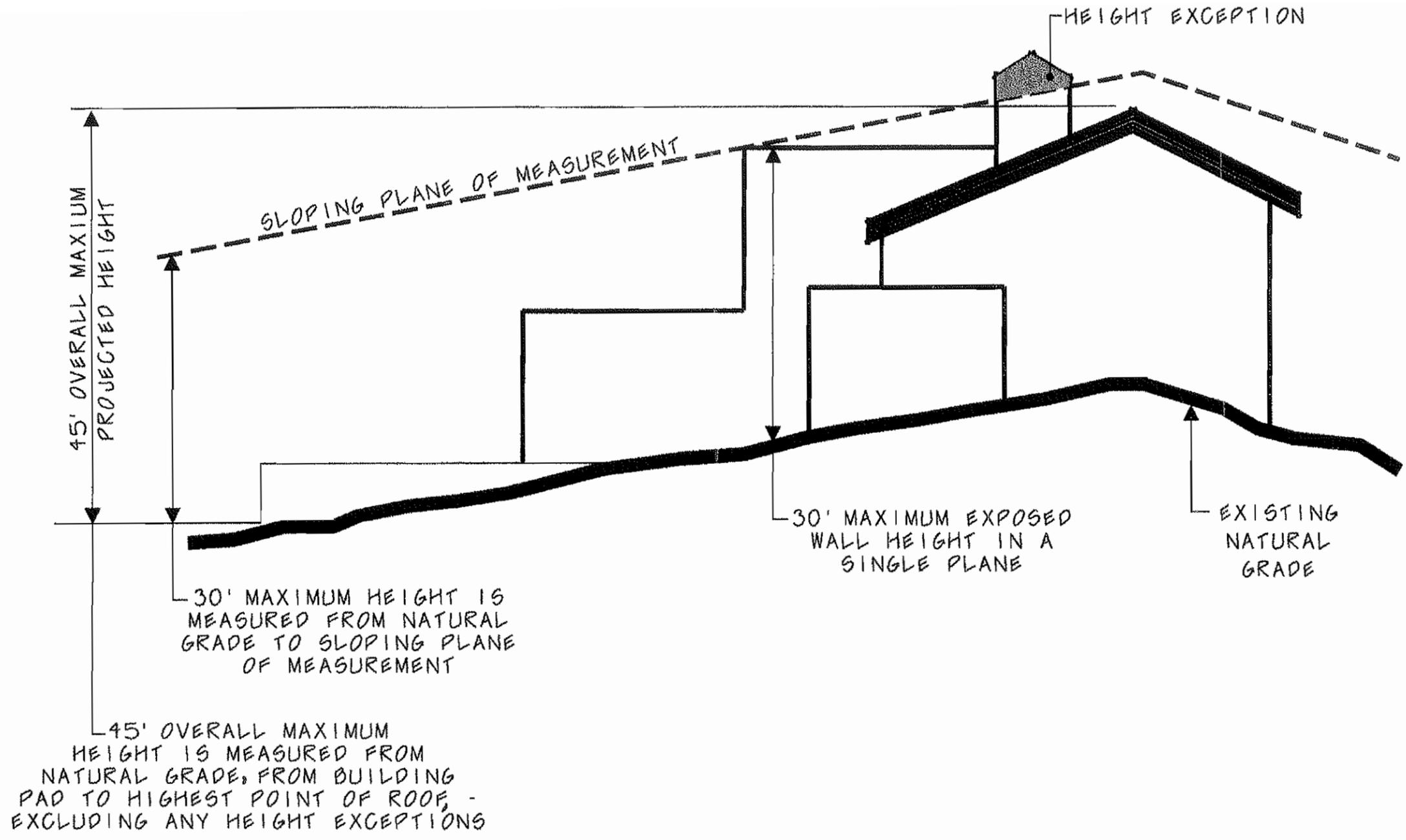


EXHIBIT M

SUN VALLEY COMMUNITY - VILLAGES I AND II

Carter Burgess

ALD
 Arizona Land Design
 3300 EAST BARKHART WAY
 SCOTTSDALE, ARIZONA 85254
 PHONE: 480.353.6100
 FAX: 480.353.6690

HILLSIDE HEIGHT MEASUREMENT

DATE: 01/29/01
 REV: 02/20/04
 REV: 11/22/04

EXHIBIT "N"

Sun Valley Community Proposed Plant Palette Villages 1 & 2

Date: 2/23/04

Botanical Name	Common Name
Trees	
<i>Acacia smallii</i>	Sweet Acacia
<i>Carnegiea gigantea</i>	Saguaro
<i>Cercidium floridum</i>	Blue Palo Verde
<i>Cercidium microphyllum</i>	Foothill Palo Verde
<i>Cercidium praecox</i>	Palo Brea
<i>Chilopsis linearis</i>	Desert Willow
<i>Chitalpa tashkentensis</i>	Chitalpa
<i>Dalbergia sissoo</i>	Sissoo Tree (Parks and residential only)
<i>Frazinus velutina</i> "Rio Grande" "Fantex"	Fantex Ash (Parks and residential only)
<i>Olea europaea</i>	Fruitless parks and residential only
<i>Olneya tesota</i>	Ironwood
<i>Pinus edlarica</i>	Eldarica Pine (Parks only)
<i>Pistacia chinensis</i>	Chinese Pistache (Parks only)
<i>Pithecellobium flexicaule</i>	Texas Ebony
<i>Prosopis</i> spp. all species	Native Mesquite
<i>Quercus virginiana</i>	Live Oak (Parks and residential only)
<i>Sophora secundiflora</i>	Mescal Bean
<i>Vitex agnus castus</i>	Chaste Tree
Shrubs	
<i>Acacia constricta</i>	Whitethorn Acacia
<i>Acacia greggii</i>	Cat-claw Acacia
<i>Ambrosia deltoidea</i>	Bursage
<i>Anisacanthus thurberi</i>	Desert Honeysuckle
<i>Caesalpinia</i> spp. all species	Red Bird of Paradise
<i>Calliandra californica</i>	Baja Red Fairy Duster
<i>Calliandra eriophylla</i>	Fairy Duster
<i>Cassia</i> spp. all species	Desert Cassia
<i>Chrysactinia mexicana</i>	Damianita
<i>Convolvulus cneorum</i>	Bush Morning Glory
<i>Dalea</i> spp. all species	Dalea
<i>Dodonea viscosa</i> - green only	Hop Bush Green
<i>Encelia farinosa</i>	Brittlebush
<i>Eremophila</i> spp. 'valentine'	Red Eremophila
<i>Ericamaria laricifolia</i>	Turpentine Bush
<i>Gaura lindheimeri</i>	Guara
<i>Hyptis emoryi</i>	Desert Lavendar
<i>Justicia californica</i>	Chuparosa
<i>Lantana</i> spp. all species	Lantana
<i>Larrea tridentata</i>	Creosote Bush
<i>Leucophyllum</i> spp. all species	Texas Ranger
<i>Nerium oleander</i> dwarf pink only	Petite Pink Oleander
<i>Rosmarinus officinalis</i>	Rosemary
<i>Ruellia</i> spp. all species	Baja Ruellia
<i>Salvia greggii</i>	Texas Red Sage
<i>Simmondsia chinensis</i>	Jojoba
<i>Tecomaria capensis</i>	Cape Honeysuckle
<i>Vauquelinia californica</i>	Arizona Rosewood
<i>Viguiera deltoidea</i>	Golden Eye
<i>Zexmenia hispida</i>	Orange Zexmenia
<i>Ziziphus obtusifolia</i>	Greythorn

EXHIBIT "N"

Accents/ Groundcovers

Agave weberi	Smooth Edge Agave
Baileya multiradiata	Desert Marigold
Dalea spp. all species	Indigo Bush
Dasyiron acrotriche	Green Desert Spoon
Ferocactus	Barrel Cactus
Fouquieria splendens	Ocotillo
Hesperaloe parvifolium	Red Yucca
Midiron	Sod (Active Play Areas Only)
Muhlenbergia rigens	Deer Grass
Opuntia violacea 'santa rita'	Purple Prickly Pear
Penstemon spp.	Parry's Penstemon
Verbena spp.	Gooding Verbena
Yucca gloriosa	Gloriosa Yucca

Revegetation Seed Mix

Ambrosia deltoidea	Bursage
Aristida purpurea	Purple Three Awn
Baileya multiradiata	Desert Marigold
Bouteloua aristidoides	Needle Grama
Encelia farinosa	Brittle Bush
Eschilotzia mexicana	Mexican Gold Poppy
Gaillardia pulchella	Blanket Flower
Lupinus arizonicus	Arizona Lupine
Larrea tridentata	Creosote
Sphareralcea ambigua	Globe Mallow
Senna covesii	Desert Senna