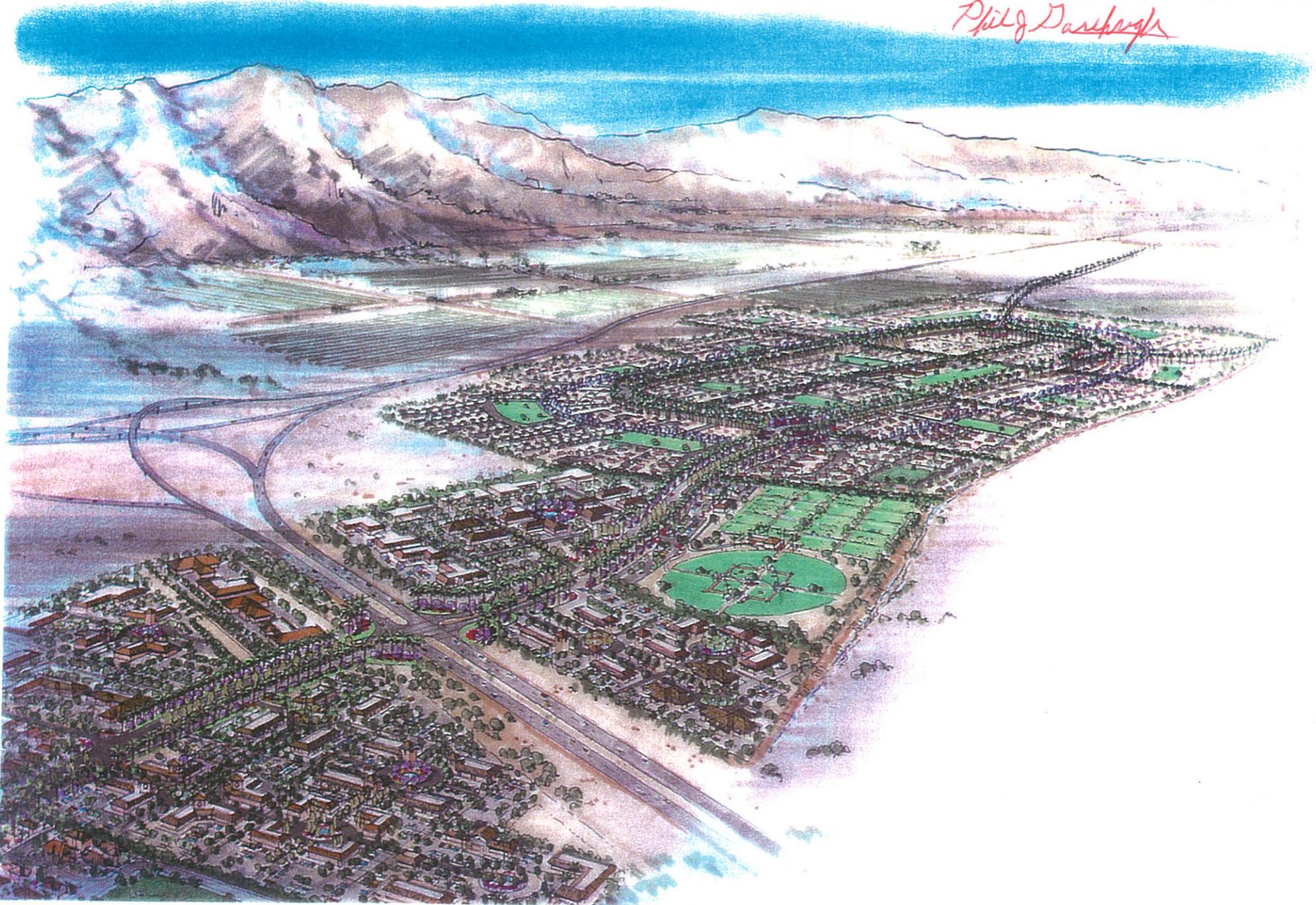


Phil Daseberg



Roston/Buckeye Community Master Plan
Buckeye, Arizona

The Roston Company
October 3, 2000

ROSTON/BUCKEYE

COMMUNITY MASTER PLAN

Buckeye, Arizona

THE ROSTON COMPANY
1301 East Bethany Home Road
Phoenix, Arizona 85014
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October 3, 2000

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Project Overview

PROJECT OVERVIEW

1.A GOALS AND OBJECTIVES

The Roston Company goals for the project are to create a community that is:

- Family oriented and meets a broad range of lifestyle choices;
- Successful initially, and grows in value over time;
- A major component of a regional center for commerce that exploits its proximity to the I-10, SR-85 interchange
- A regional center of family oriented recreation;

The Roston Company intends to achieve these goals through implementation of the following objectives:

- Construct a plan for the community that is expansive in the nature and magnitude of amenities it offers, but also allocates resources efficiently, and is sustainable.
- Establish the means and mechanisms to provide for, and maintain, the full range of facilities and services that comprise a "full service community".
- Work hand-in-hand with the Town to expand regional infrastructure to serve this and surrounding developments.

1.B PROJECT HIGHLIGHTS

Roston/Buckeye is an approximately 1,060 acre community which straddles SR-85 south of its intersection with Interstate 10 in Buckeye, Arizona. The plan features a mixture of

attractive residential neighborhoods, each with their own individualized parks, woven together through an extensive trail system that provides a safe, pedestrian-friendly link to schools, community parks, the centrally located Regional Sports Center, and to Community retail and services.

This Roston/Buckeye Community Master Plan provides for:

- A strong sense of community, reinforced by interconnecting greenbelts and parks, and Design Criteria that assures consistency and creativity, enhancing values over time.
- A Community Center services core that takes advantage of its highway orientation, and provides community retail, civic, public, and other interrelated land uses that are conveniently located within the community.
- Significant recreational facilities that exceed most design standards by a significant amount which are offered as project benefits, and are integrally designed into the fabric of the community.
- A hierarchy of circulation that provides vehicular and non-vehicular access throughout the community, and implements regional improvement plans.
- Finally, Roston/Buckeye will offer a variety of housing opportunities including a wide range of styles and prices. A principal feature of each neighborhood is a "walk to" local park that will serve as a focal point for informal modes of recreation and social interaction among residents.

Figure 1-1 locates Roston/Buckeye on a reproduction of the Town of Buckeye General Plan land Use District Map. The property is bisected by SR-85 near its intersection with Interstate 10. The potential for attracting regional commercial and employment uses is recognized and is incorporated into the master plan.

Figure 1-2 is an artist's concept of the Eastern portion of the completed project. It portrays a mixture of residential, commercial, educational and recreational uses woven into a structure of parkways and greenbelts. The abundance of parks is evident, as is the system of trails that connect them together.

Traffic circles punctuate the parkways, providing for slowing of uninterrupted traffic flow while also offering a unique identity to the project. Extensive parks and landscaping give an "oasis-like" character to the overall community. It is a community that celebrates its neighborhoods, while providing for virtually all of its' residents daily needs. It's a good place to call "home."

Figure 1-3 suggests what a typical residential neighborhood might look like. When constructed in accordance with the standards and guidelines that govern the project, one can expect to find an attractive environment that nurtures pride in the community and a sense of belonging. It is a neighborhood that will age gracefully, and grow in value over time.

One of the key ingredients of a successful neighborhood is "kid-friendly" streets, which can serve as a extension of the family room, promoting interaction among neighbors, and creating a sense of common ownership. A safe, pedestrian street is the foundation upon which Roston/Buckeye is constructed.

Another vital element in successful community design is a trail system that link neighborhoods together and to nearby schools, parks, and community services. Provision of a safe, pleasant means to walk throughout the community is not only enjoyable, it offers an excellent form of recreation while aiding in the reduction of vehicular traffic.

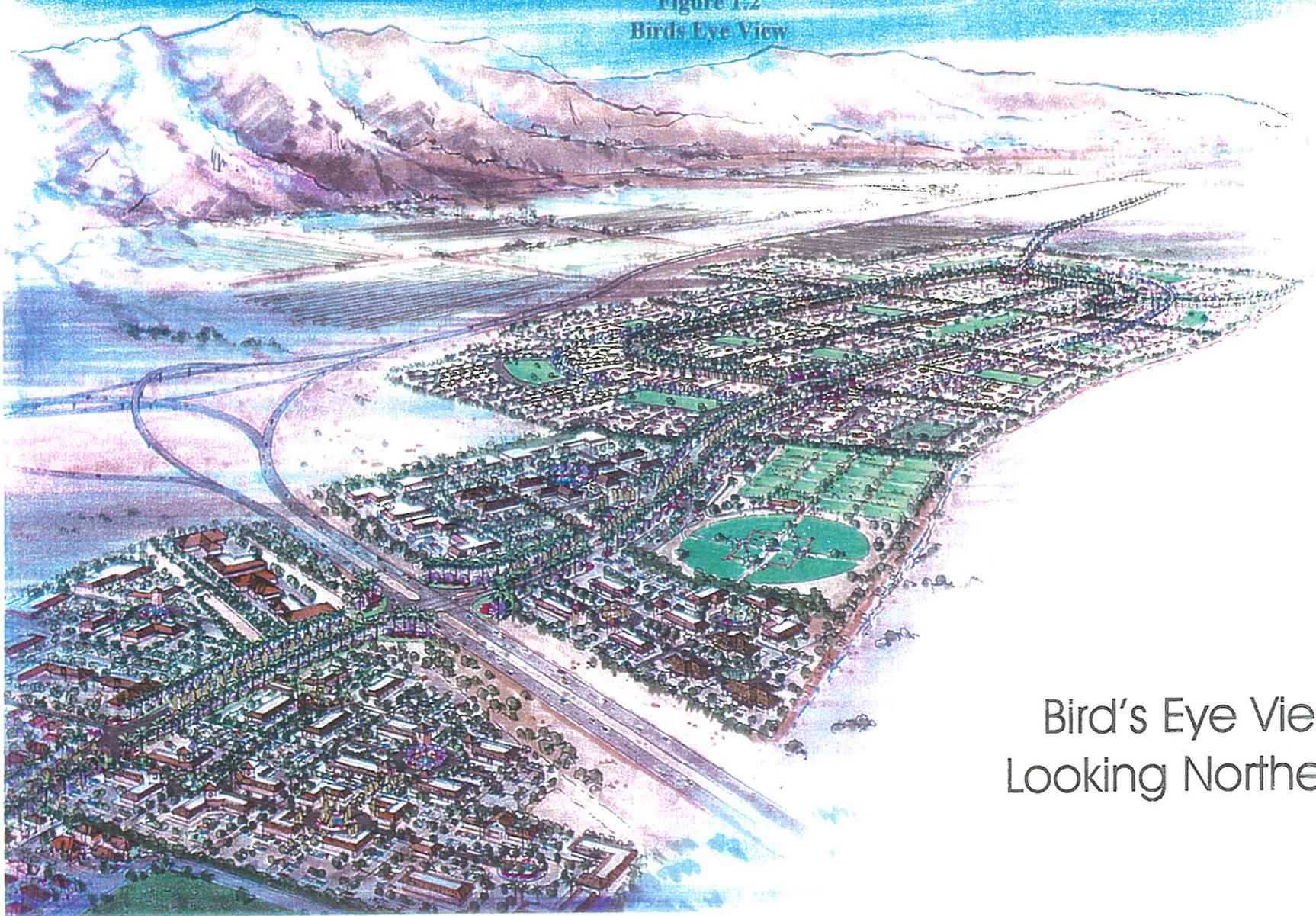
These images represent the Roston Company's goals for the project: to build a successful community; one which is a good place to live, work and play, is sustainable, and which will grow in value over time.

1.C DEVELOPMENT TEAM

Applicant: The Roston Company
 1301 East Bethany Home Road
 Phoenix, Arizona
 (602) 266-1301

Consultants:	Project Role
Landplan Associates	Community Planning
RBF	Civil Engineering
Gallagher & Kennady	Legal Counsel
Kimley-Horn & Associates	Transportation Engineering
Neill-Vecchia	Landscape Architecture
Arizona Land Advisors	Marketing Research
Brown & Bain	Water Resources-Legal
Dry Utility Services	Utilities
Kenneth Schmidt & Assoc.	Hydrology
SWCA, Inc	Environmental Assessment

Figure 1.2
Bird's Eye View



Bird's Eye View
Looking Northeast

Figure 1.3
A Typical Neighborhood



Safe, pedestrian friendly streets



An attractive environment

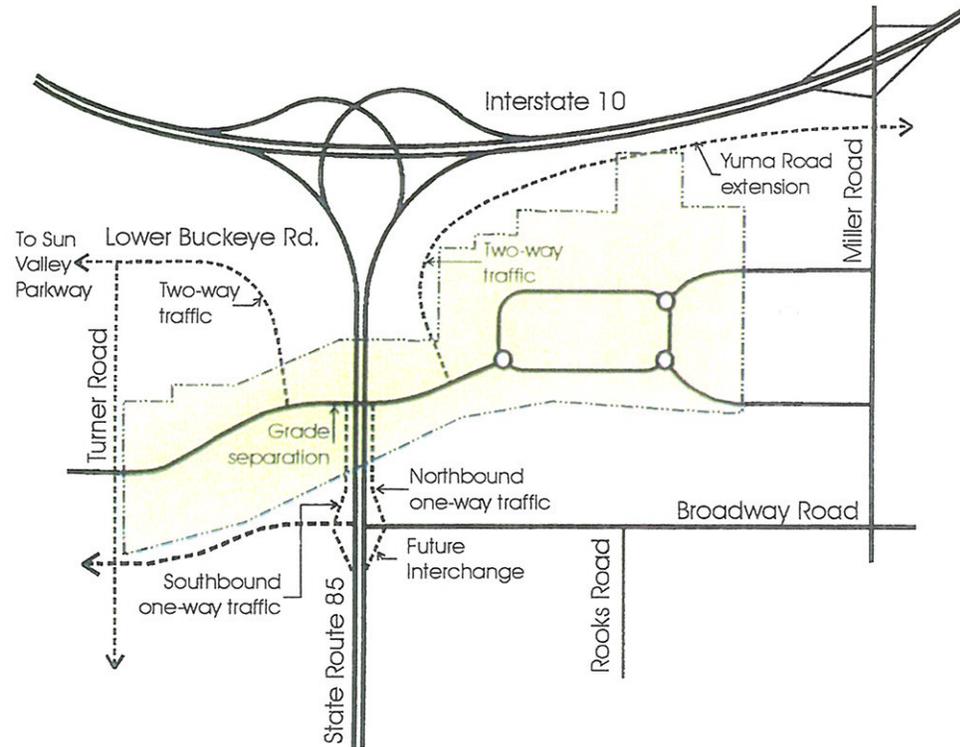


Extensive Community trail system

A Typical Neighborhood

Planning Criteria

Figure 2.1
Regional Circulation



Planned Regional Circulation

Roston/Buckeye implements regional circulation improvements centered on SR-85 and Miller Road, as follows:

1. SR-85

Incorporates ultimate SR-85 improvements (via two, one-way access roads) at a grade separated overcrossing with community arterial. In this condition, through access is provided to both Lower Buckeye Road and Yuma Road with collector roads via the project which parallel SR-85.

Access to SR-85, prior to freeway improvements, is provided by at-grade intersection. This intersection will be removed when the "ultimate" improvements described above are made.

2. Community Backbone System

These improvements provide the necessary east-west circulation between Turner Road on the west and Miller Road on the east by means of the Community arterial and Yuma Road extension.

3. Miller Road

The Roston Company will work with the Town and surrounding property owners to plan the following intersections with Miller Road:

- Interstate 10 interchange
- Yuma Road
- Lower Buckeye Road
- North Property Parkway

2. PLANNING CRITERIA

2.A OVERVIEW

Roston/Buckeye will be a family oriented, pedestrian friendly community that fosters neighborhood interaction and provides an extensive variety of recreational opportunities. It features a comprehensive open space network that includes an integrated system of neighborhood parks linked together by a community trail system, and offers housing opportunities across a broad spectrum of choices.

A center piece of Roston/Buckeye is its planned Regional Sports Center which will attract participants from throughout the Phoenix Metropolitan area and the Southwest region. As a large, multi-use facility capable of supporting a variety of venues throughout the year, the Center will serve as a magnet for a host of family oriented events, participants, and fans.

The strategic location of Roston/Buckeye suggests ample opportunities for regional and community serving retail and services, and provides a focus for locally based employment. Designated as the Community Center, it is expected to host a variety of community facilities including police/fire/library services, health/medical care facilities, and places of worship.

2.B SITE CONDITIONS

2.B.1 Regional Circulation: Figure 2.1

Improvements to the regional circulation network are an integral element of Roston/Buckeye. Three stages of improvements are described on Figure 2.1.

2. B.2 Site Features: Figure 2.2

The site is essentially level and void of any prominent features. The majority of the site is currently under cultivation, with approximately 150 acres in a desert state. It is bisected by SR-85 which creates two distinct land parcels. The Roosevelt Irrigation District channel runs along the southern boundary of the property. Land to the west of the site is intended for rural residential uses, suggesting a need to provide buffering to the development which is proposed for the property. The lands which lies north of the site are planned for freeway-oriented industrial uses, suggesting a need to provide a buffer along that portion of the site as well. The property is located 1/2 mile west of Miller Road, and will have access from it via two parkways.

2.C PLANNING CRITERIA

In order to insure the long term success of Roston/Buckeye, criteria have been established to guide the development process. These criteria identify the goals for, and the implementation of, the primary elements that serve as the community's foundation.

2.C.1 Site Organization: Figure 2.3

The primary land allocation is for residential uses, which are organized into an eastern and western cluster of neighborhoods, each having a school and community park as its focus.

Straddling SR-85 is a cluster of parcels that will serve the community and surrounding region's need for retail, employment, social services and recreational needs. 165 acres are set aside for commercial purposes along the SR-85 corridor,

The western portion of the property offers reduced residential densities and has design guidelines associated with it that, in concert with a rural street character, will provide an effective buffer between the property and land to the west.

2.C.2 Residential Neighborhoods: Figures 2.4 and 2.5

The success of a community can be measured by the satisfaction of its residents over time. Therefore, much of the planning criteria is directed towards creating attractive, safe, pedestrian-friendly neighborhoods. Key criteria include the provision of short, low-volume traffic streets, close proximity to local parks, and a convenient trail system that links each neighborhood to nearby community facilities and services. In addition, provision of a broad mixture of residential opportunities insures that the full spectrum of market demands can be accommodated.

Figure 2.4 addresses neighborhood planning issues and outlines the key elements of a typical residential neighborhood. Figure 2.5 illustrates the modifications to residential neighborhood criteria which will be employed in the Rural Transition Zone.

2.C.3 Parks, Trails and Open Space: Figures 2.6 and 2.7

The signature feature of Roston/Buckeye is its system of parks, trails and open space, which includes neighborhood parks, community parks, and a sports park that will serve both the community and the region. Taken together, the parks, trails and open space elements add up to over 50 acres per 1,000 dwelling units.

Each neighborhood has its own local park which encourages socializing among neighbors, as well as a providing a safe place

for kids to play. Neighborhood parks will be informal, primarily passive facilities ranging in size from 1/4 acre up to 3 acres.

2.C.4 Community Services and Facilities: Figure 2.8

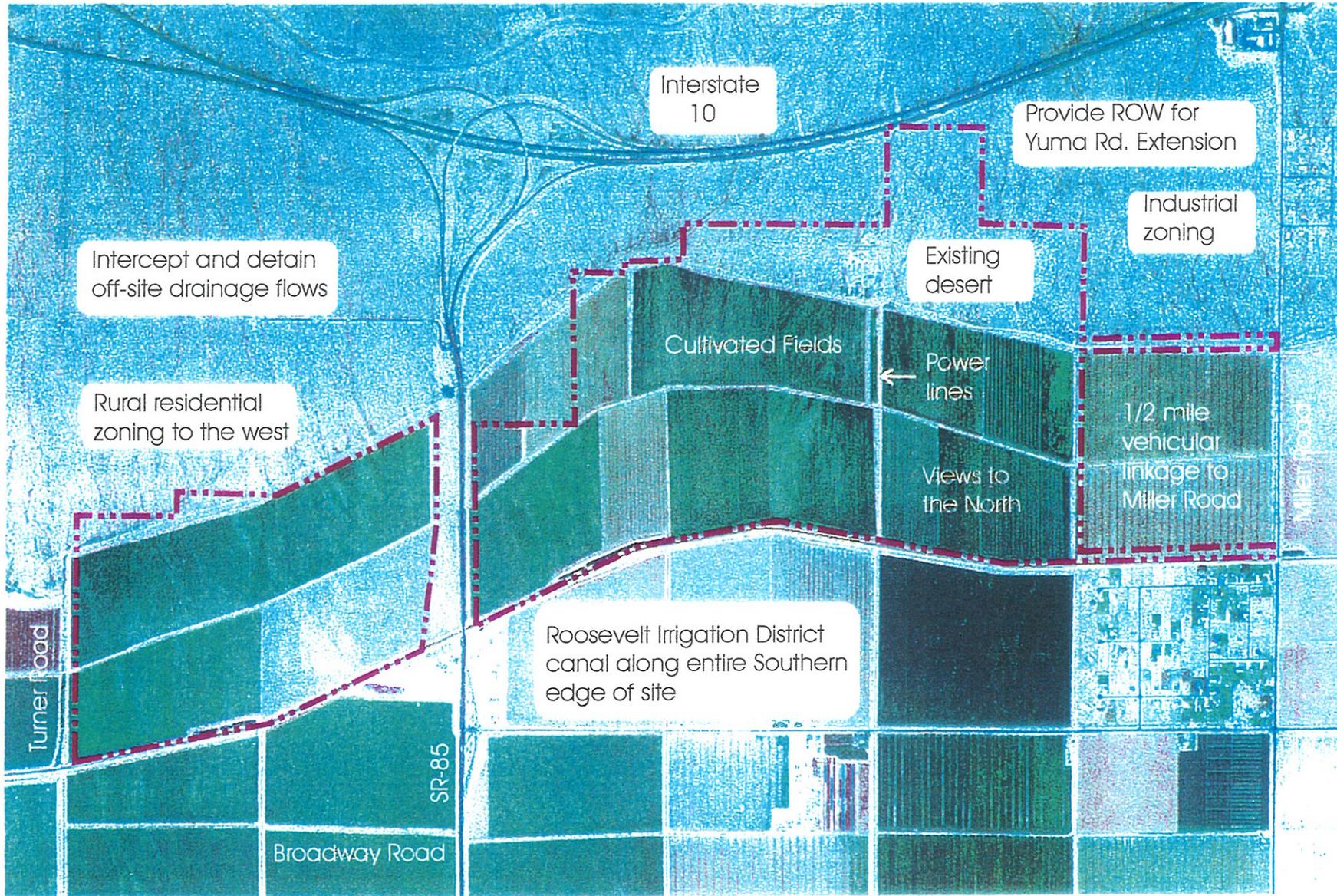
The other key ingredient for a successful community is the provision of convenient schools, retail, service, emergency medical facilities, and employment opportunities.

Roston/Buckeye has designated a 15 acre school/park site located in the center of each of the two residential clusters. A significant percentage of students will be able to walk to their school without crossing major streets.

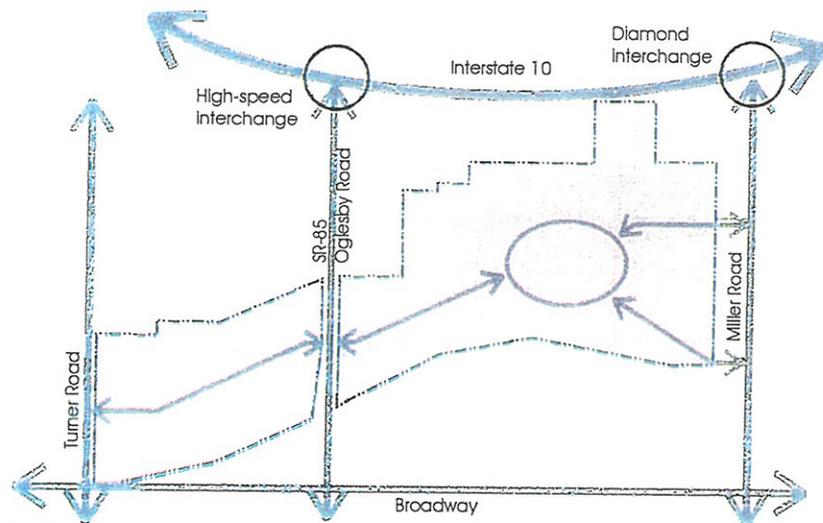
195 acres which straddle SR-85 have been designated as a Community Center, 30 acres of which is a planned Regional Sports Center. Due to the present uncertainty surrounding the ultimate disposition of land uses within the Community Center, three of the eight parcels that comprise the Center are zoned as commercial land uses with an overlay zone that permits a conversion to residential uses after a stipulated period of time, should the demand for commercial uses fall short of expectations. Detailed information of this concept is outlined in Paragraph 3.B.4.

The Roston Company has pledged to work with the Town of Buckeye and nearby landowners to strive for a coordinated, regional response to the full potential that may materialize at this "gateway" to the Town, and has designated a permanent commercial edge to property along SR-85 in keeping with this concept.

Figure 2.2
Site Features

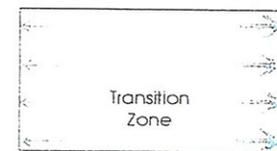


**Figure 2.3
Site Organization**



Regional access is provided by SR-85, Miller Road, and Turner Road
Circulation within the Community is by an internal arterial system

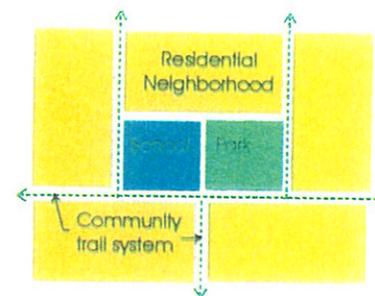
Provide a buffer to rural residential zone to the west through:
reduction in density
patterns of development
treatment of streetscape
site and subdivision design



Rural Development Suburban Development

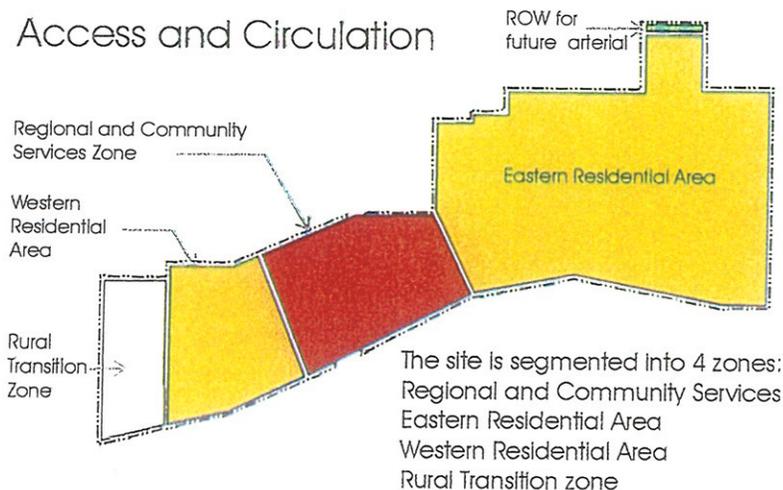
Rural Transition Zone Concept

The School/Park is the focal point of the cluster. A community-wide trail system provides safe pedestrian access to the School/Park as well as to the community services center.



Residential Area Concept

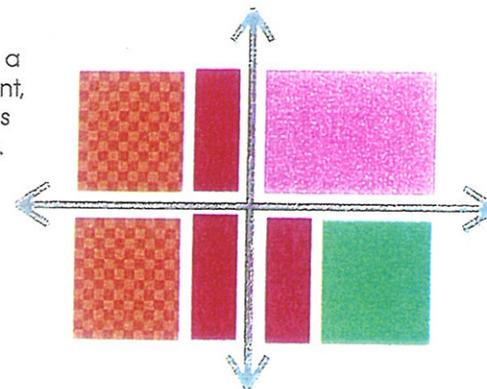
Access and Circulation



The site is segmented into 4 zones:
Regional and Community Services
Eastern Residential Area
Western Residential Area
Rural Transition zone

The Services Zone will provide a full range of retail, employment, civic and recreational services to the community and region.

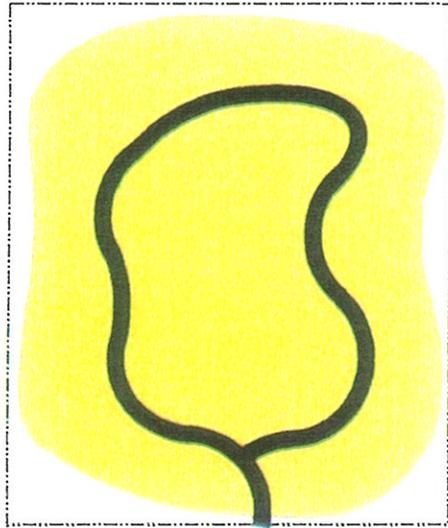
- Regional Services
- Community Services
- Commercial Expansion
- Regional Recreation



Regional and Community Services Zone Concept

Conceptual Land Use

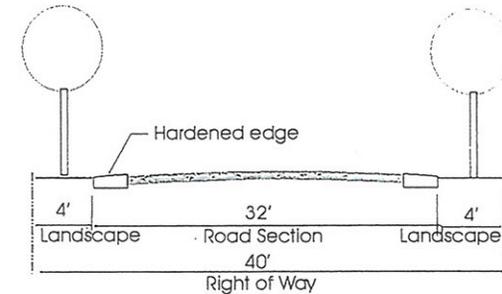
Figure 2.5
Rural Transition Zone



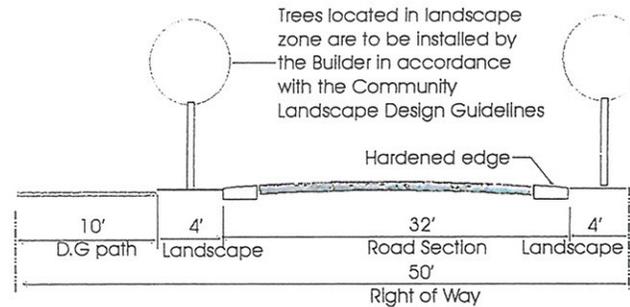
Define the visual character through employment of Enhanced Desert landscape concepts, augmented by split rail fencing, and dedication of common areas and spaces to equestrian uses or themes.

Incorporate the following concepts into subdivision design layout:

- curvilinear streets
- irregular edge condition
- variable lot widths
- "wide & shallow" lots

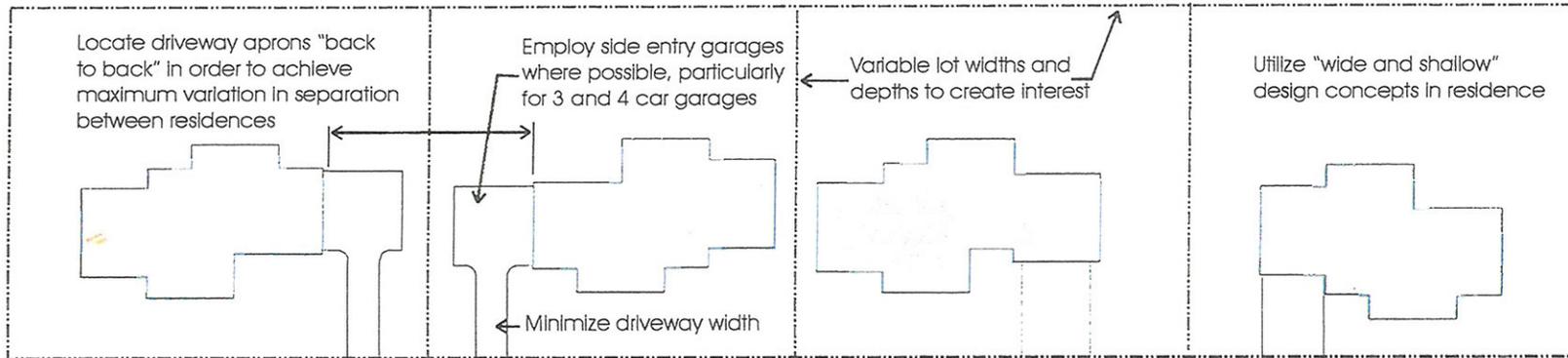


Typical Residential Street



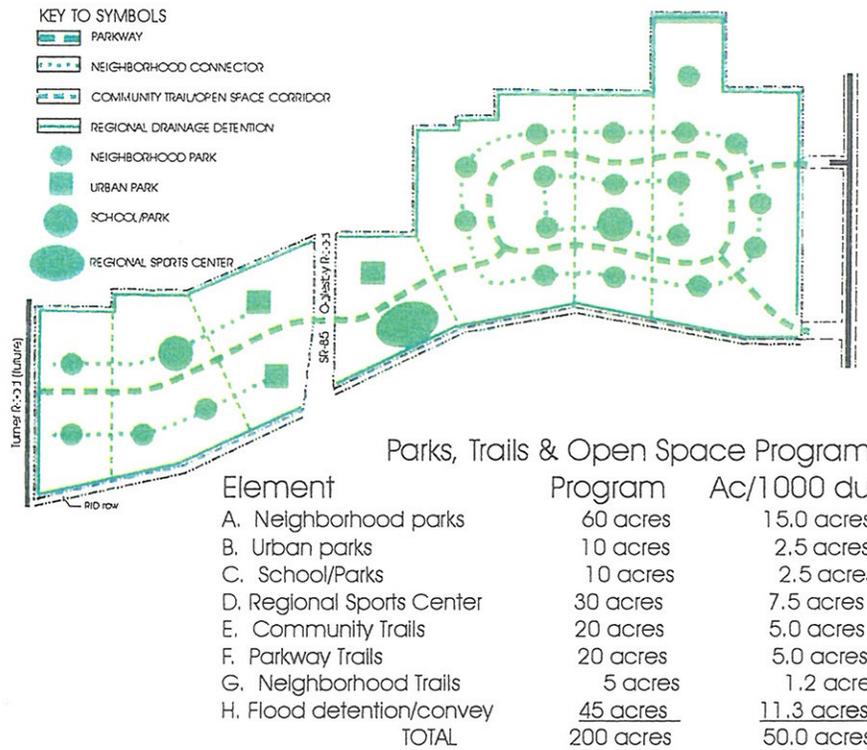
Residential Street with Community Trail
Street Standards

Subdivision Planning Criteria



Site Planning Criteria

Figure 2.6
Parks Criteria



Note: a portion of the parks and trails has been assigned to the Community Center to serve its potential residential element and to establish an overall ratio for parks, trails and open space to potential number of dwelling units.

The Parks, Trails and Open Space System is the focal point of the Community, fulfilling a variety of social and recreational needs as well as serving as a unifying linkage between neighborhoods and the Community Center.

Parks Criteria

A. Regional Sports Complex

- Multi-sport capabilities - all field sports
- Sports fields - change with seasons
- Lighted fields, food and restroom facilities
- Potential for commercial/other sponsorship & operation
- Regional draw; tournament level capability/capacity
- Initial component Community Center

B. School/Park Sites

- Recreational joint use facilities
- Sports fields, hard courts
- Not lighted

C. Neighborhood Parks

- "Informal", low activity, play areas, seating areas, shade
- Oriented for visual relief, immediate neighborhood usage
- Primary amenities provided - play areas
- Nicely landscaped
- Place to "have a cup of coffee and watch the children play"
- Unique design configuration for each neighborhood
- Small in scale - 1/4 to 3 acres in size
- Configured for interest/variety

KEY TO SYMBOLS

-  Community, Region Trail
-  Neighborhood Trail
-  Community Trail
-  Potential Regional Trail

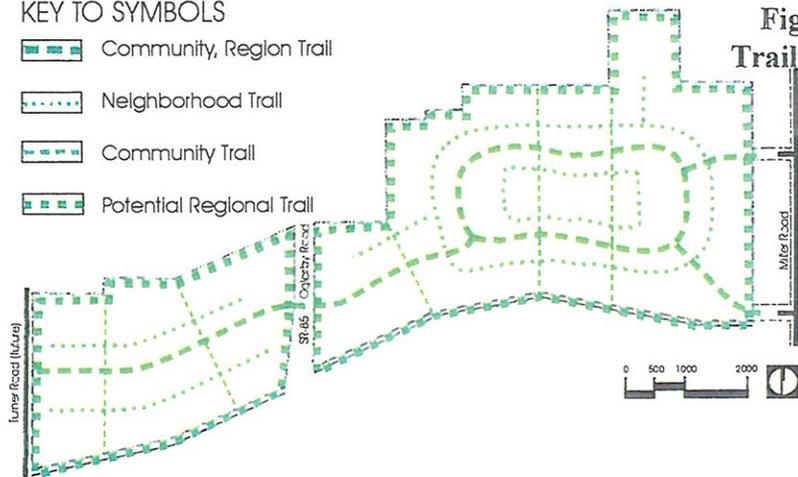
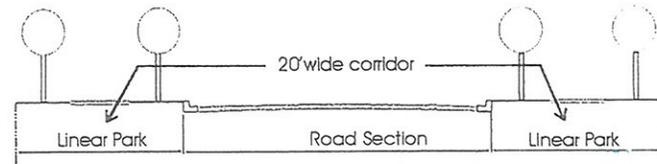
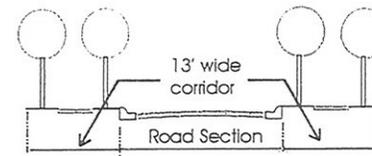


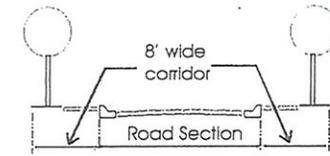
Figure 2.7
Trails Criteria



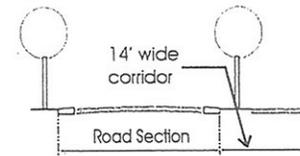
Section A:
Community Parkway



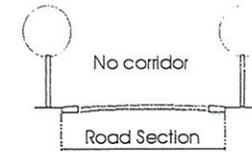
Section B:
Residential Street with Neighborhood Trail



Section C:
Typical Residential Street



Section B:
Rural Transition Residential Street with Trail



Section C:
Rural Transition Residential Street

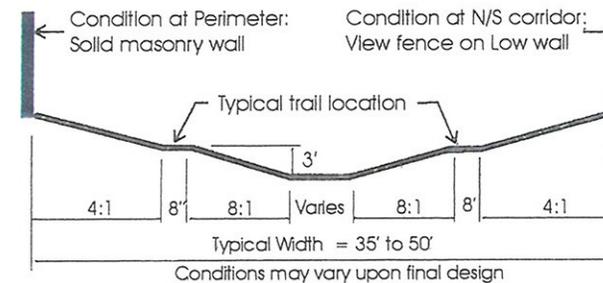
Trail Criteria

Type	Width	Corridor	Section	Linkage	Destination
Residential Street	4'	8'	C	Neighborhood Trail	School, local park
Residential Trail	5'	13'	B	Community Trail	Neighborhood facilities
Community Trail	8'	20'	A, D	Regional Trail	Community facilities
Regional Trail	8'	20'	A, D	Regional network	Regional facilities

Discussion

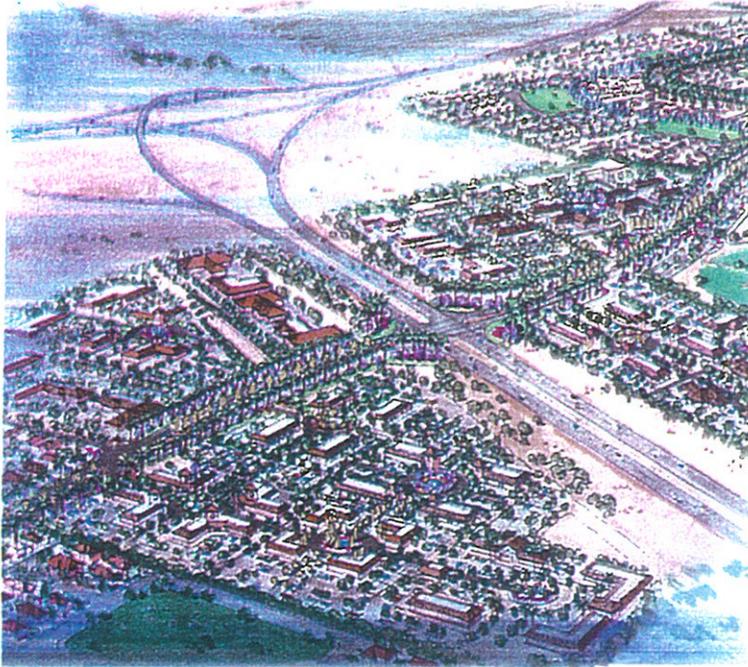
The trail network includes four types of trails, located within a designated corridor that is interconnected with the overall trails network. The criteria noted above represent minimum standards, and assume that, over time, a regional trail system will be created.

Each type of trail and the corridor within which it is located is sized for the anticipated level and type of use, and its impact on adjacent uses,

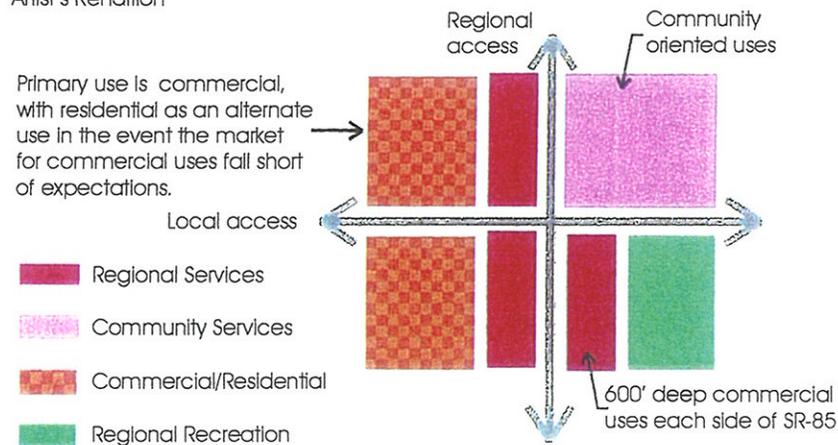


Section D:
Perimeter Buffer and North/South Trail Corridors

Figure 2.8
Community Services and Facilities



Artist's Rendition



Planning Criteria

A. Planning considerations

- "Gateway" to the Town of Buckeye
- Create common design vocabulary on each side of SR-85
- Regional visibility is superior, but vehicular access is restricted
- Regional role shared with others, is yet to be defined
- Community services center role can be defined

B. Land allocation: 195 acres

- 35 acres of community oriented retail, civic, entertainment uses
- 55 acres of regionally oriented retail, employment, services uses
- 75 acres of commercial expansion area
- 30 acres recreation-Regional Sports Center

C. Potential land uses for Center

- Community Retail and Services:
 - 1) Grocery, Drugs, Miscellaneous services, fast food
 - 2) Fire, Police, Library
 - 3) Worship, meeting/recreational, youth services
 - 4) Day care, Senior Center
- Local/regional medical facilities/offices
- Regional Sport Center proposal by Roston Company
- Entertainment and theaters
- Highway serving facilities
- Regional Retail and Services
 - 1) Large Box retailers
 - 2) Office/Industrial park, Employment
 - 3) Auto Dealerships

Community
Master Plan

3. COMMUNITY MASTER PLAN

3.A CONFORMANCE AND RELATIONSHIP

3.A.1 Conformance With General Plan

The CMP reflects the goals and objectives of the Town of Buckeye's General Development Plan ("General Plan") and is consistent with its purpose and intent. Specifically, the CMP will achieve the following goals:

- Actively promote Buckeye as a regional location for a mix of economic uses, job creating enterprises, large planned area community development, and tourism
- Encourage the application of sound, modern, design principles and design standards in all forms of development.
- Provide recreational amenities that are accessible to all and are appropriately placed within walking distance of residential and employment areas.
- Provide a safe, efficient, attractive, and economic transportation system that reflects regional and local needs.
- Provide a broad mix of housing opportunities necessary for a sustainable community.
- Ensure compatibility between urban land uses, existing agriculture, and the natural environment.

3.A.2 Relationship with the Development Code.

The regulations and provisions for land use and property development standards contained in the CMP take precedence over regulations covering land use and property development standards in the Development Code. In the event of a conflict between the provisions of the CMP and the Development Code, the provisions of the CMP shall prevail.

3.B LAND USE

3.B.1 Land Use Program

The Land Use Program, as outlined in Table 1, calls for 3,235 dwelling units on 1,060 acres. 165 acres are reserved for commercial uses, and 200 acres are devoted to parks and open space, including a Sports Center. Finally, 30 acres are designated for use as combined school/park sites, while 50 acres are allocated for public right-of-way.

The land use program is based on preliminary information. For that reason, all land use allocations have been rounded off to the nearest 5 acres. It is expected that, as preliminary plats are developed, minor variations to the program will occur.

The overall number of dwellings could increase by as many as 765 units in the event that the land that has been designated as "Commercial Expansion Parcels" are ultimately used for residential purposes. See the discussion below. However, the ratio of parks and trails to dwellings will remain essentially constant under either condition.

**TABLE 1
LAND USE PROGRAM**

PARCEL	LAND USE	DENSITY	PHASE	ACRES	DWELLINGS
1	Residential	SFD-2	1	35	175
2	Residential	SFD-1	1	25	140
3	Residential	SFD-3	1	40	175
4	Residential	SFD-4	1	60	240
5	Residential	SFD-2	2	30	150
6	Residential	SFD-1	2	25	140
7	Residential	SFD-3	2	40	175
8	Residential	SFD-4	2	30	120
9	Commercial	N/A	4	35	N/A
10	Commercial	N/A	4	15	N/A
11	Sports Center	N/A	2	30	N/A
12	Residential	SFD-6	2	20	160
13	Residential	SFD-3	2	30	130
14	Residential	SFD-2	2	25	125
15	Residential	SFD-3	1	40	175
16	Residential	SFD-1	1	25	140
17	Residential	SFD-2	1	25	125
18	Residential	SFD-1	2	25	140
19	Residential	SFD-2	2	25	125
20	Residential	SFD-3	2	25	110
21	School/Park	N/A	2	15	N/A
22	Commercial	N/A	4	20	N/A
23	Commercial	N/A	4	20	N/A
24	Commercial	N/A	4	25	N/A
25	Residential	SFD-4	3	30	120
26	School/Park	N/A	3	15	N/A
27	Residential	SFD-5	3	40	110
28	Residential	SFD-5	3	55	150
29	Residential	SFD-3	3	30	135
30	Residential	SFD-2	3	35	175
31	Commercial	N/A	4	30	N/A
32	Commercial	N/A	4	20	N/A
	Subtotal			940	3235
	Trails, open space			70	
	Right-of-way			50	
	Subtotal			120	
	GRAND TOTAL			1060	3235

Up to 15% of the dwelling units in any parcel may be transferred to any other parcel, provided (1) the total number of dwelling units in the receiving parcel does not exceed 110% of the number of units listed in the land use table, (2) the total number of dwelling units is not exceeded for the project, (3) the minimum lot size in the receiving parcel is maintained, and (4) open space is provided in proportion to the number of units transferred in addition to current units in receiving parcel.

3.B.2 Land Use Plan

The Land Use Plan, depicted on Figure 3.1 includes 32 parcels to be developed in four general phases. Each phase will offer a mix of housing options and supporting park and trail facilities designed with the future residents in mind. There are six choices of lot sizes which range from approximately 4,900 square feet to 10,000 square feet, which are organized into neighborhoods, each of which features a local park that serves as a focal point for interaction among neighbors.

3.B.3 Exceptional Quality Certification

The property development standards contained in the CMP meet or exceed the requirements set forth in the Exceptional Quality Certification section of the Development Code, and justify a grant of increased density in accordance with the Development Code to that authorized by the CMP.

- Lot width—the project meets the minimum lot width requirements and provides 6 different lot widths, which exceeds the minimum number of lot widths required for certification. See Table 2 of the CMP.

- **Setbacks**—the project meets the majority of the setback requirements. The goal of the setback requirements is to encourage diversity and ensure privacy; the CMP accomplishes this through a variety of setback options, creating interest and diversity, particularly when the setback options are combined with the design criteria. The variety of setbacks also ensures the quality and quantity of common area provided in the Land Use Plan. See Table 2 and the Development Standards in the CMP.
- **General layout**—the project meets these requirements. The lot arrangement will be such that there will be no foreseeable difficulties in obtaining a building permit or in providing driveway access to buildings on such lots from an approved street. Double frontage, reversed frontage, flag, and other odd shaped lots will be avoided. To add street scene interest and diversity, the CMP introduces courtyards in some locations, subject to Development Review Board approval. Corner lots will be 5 feet wider than other lots in the same area to provide additional buffering area. Lots will be configured to provide positive drainage away from all buildings and to face north/south when possible. Lot widths on cul-de-sacs shall be measured as the distance in a straight line, between the side lot lines at the points of intersection with the front setback line. See Development Standards in the CMP.
- **Streets**—the project meets the design features and goals. The arterial streets incorporate visual interest through greenbelt vistas and view corridors. The circulation system is designed to use the minimum street widths possible to accommodate the project and regional traffic safely and

efficiently. Parkways, connecting trails, and greenbelts all are incorporated into the CMP, promoting and encouraging safe pedestrian travel. The CMP accommodates the privacy of residences by the use of cul-de-sacs, traffic circles, and shorter residential streets. These design features also will discourage excessive speeds. The street system design is curvilinear with safe traffic sight visibility, particularly at intersections.

- **Easement Design**—the project meets these requirements. Utility easements will be located to the front of lots where practicable. Drainage easements, with landscaped amenities, will be provided to retain drainage from subdivision streets, and drainage will not be shed to the adjoining right-of-way. A community association will be established to maintain the drainage easement areas, including the easement landscaping.
- **Common Area Design**—the project exceeds the common area design requirements. The Land Use Plan provides approximately 200 acres of common area. Common areas will range from passive landscaped areas to active tot lots and adult recreational areas to the Regional Sports Center, with its 30 acres of ball fields and associated amenities. Common areas will be linked with a pedestrian-friendly trail system, and common areas will be maintained by the community association or, in the case of the Regional Sports Center, possibly the corporate owner of the Center.
- **Single Family Architecture**—the project will meet or exceed these requirements. The roof material for the residential subdivisions, excluding homes with flat roofs, will be either

all tile or all composition shingles, and a combination of the two within the same subdivision will be prohibited in the CC&Rs. Wood shake shingles will be prohibited. Each single-family house will include at least a two-car garage, and carports will not be permitted. Home builders will provide at least 6 house colors and 3 roof colors per subdivision, and shall upgrade rear or side elevations along arterial or collector streets and open space areas. A minimum of 3 front elevations for each house plan will be required, and the same house plan with the same or similar elevation will not be placed on adjacent lots or directly across the street from one another. Home builders will de-emphasize garage fronts by incorporating side-access garages, in-line garages, L-shape floor plans, etc., into their product mix (see CMP, Section 3.I, Design Guidelines). Home builders will emphasize distinctive architectural details in the front elevations. Air conditioning/mechanical equipment will be ground-mounted and will not be nearer than 5 feet to the property line within a required side yard. Roof mounted air conditioning units may be permitted with the approval of the Town's Land Use Administrator provided they are architecturally screened with a parapet and are perceived as an integral part of the building. See the Design Guidelines in the CMP.

- **Building Arrangement and Site Design**—Pad sites will be identified and located to minimize disruption of light and views as well as ensure privacy of the surrounding lots. The Design Guidelines (Section 3.I of the CMP) require offsets in frontages, building mass, facades and other building features to create individualized spaces in residential areas. Multiple family buildings, if constructed, will be in

accordance with the Town Development Code, and placed in small clusters designed as neighborhood units. A cluster will not include more than 30 units, and the number of units in a row will be limited to 8. Parking will be interior to multiple family projects, and no more than 12 parking spaces will be permitted in a continuous row; while double rows of parking will be separated by a minimum 6-foot landscaped area. If building lots are less than three thousand square feet, a minimum of 15% of the required parking spaces will be provided as common guest or overflow parking. Single family garages placed to the side or rear of the main structure will be encouraged to create visual interest at the neighborhood level.

3.B.4 Commercial Expansion Zone

It is intended that the frontage along State Route 85 will be developed for commercial usage as a "Commercial Corridor." Parcels 9, 10, 22 and 32 are planned exclusively for commercial purposes. Residential development in these parcels will not be permitted. Parcels 23, 24 and 31 comprise 75 acres, and are designated as "commercial/residential overlay." They represent an opportunity to expand the commercial uses on the property.

While it is both the Town's and the developer's preference to utilize Parcels 23, 24 and 31 for commercial purposes, there may not be a market for commercial development on these parcels, given the proximity of other commercially planned property. In addition, the planned location of an entrance/exit ramp just south of the project as part of the ultimate build-out of State Route 85 may be conducive to the location of major commercial development south of Roston/Buckeye as opposed to at Roston/Buckeye.

Parcels 23, 24 and 31 will be reserved for commercial uses until 60% (1,941) of the authorized residential building permits within the project have been issued, at which time they may be "converted" to the following residential uses at the discretion of the Town of Buckeye.

- Parcel 23 = Multifamily, 400 dwelling units
- Parcel 24 = SFD-1, 110 dwelling units
- Parcel 31 = SFD-2, 150 dwelling units

After 80% (2,588) of the authorized residential permits have been issued, Parcels 23, 24 and 31 may be "converted" at the discretion of the Developer. In addition, the Developer may utilize the eastern 1/2 of Parcel 31 for multifamily residential as a transition from the commercial use on Parcel 32.

If Parcels 24 and 31 are developed as residential uses, the distribution of residential types for the project would be:

Lot Type	Width	Du/ac	Number	Percent
SFD-1	45'	5.5 du/ac	670	19.2 %
SFD-2	50'	5.0 du/ac	1,025	29.3 %
SFD-3	55'	4.5 du/ac	900	25.8 %
SFD-4	60'	4.0 du/ac	480	13.7 %
SFD-5	80'	3.0 du/ac	260	7.4 %
SFD-6	n/a	8.0 du/ac	160	4.6 %

Average Residential Density = 3,495 du/900 acres = 3.88 du/ac

If Parcel 23 (multifamily residential) is included, the total number of dwellings is 3,895 on 920 acres resulting in an average density of 4.23 dwelling units per acre.

3.C PARKS, TRAILS AND OPEN SPACE

The Parks and Trails Plan, Figure 3.2, illustrates the hierarchy of park facilities, and the concept for linking them together with a community-wide trail system..

The Open Space Plan, Figure 3.3, illustrates land areas that have been reserved for buffers, storm water detention or conveyance, or a combination of these functions. The exact nature and configuration of these land areas will be defined during the Preliminary Plat Phase.

Portions of the open space may be suitable for inclusion in the Community trail system, depending upon actions taken by adjacent land owners or the Town of Buckeye. At the direction of the Town, The Roston Company will implement trail expansions within the open space.

3.D CIRCULATION

The project's impact on the local and regional circulation system has been analyzed, and is contained in the Traffic Report. Initial access to the site will be from Miller Road via landscaped and monumented parkways, and later, from an intersection at Oglesby/SR#85 (prior to future freeway improvements). The project accommodates regional east-west circulation through its backbone road system, the improvement to Turner Road to the west, and a reservation of land along the northern boundary for a future Yuma Road collector system paralleling I-10. In addition, collector road access will be provided through Planning Areas 9 and 22 or 23 to the properties north of the site and south of I-10.

Circulation within Roston/Buckeye is achieved by a hierarchy of roads and landscaped parkways, as indicated on Figures 3.6 - 3.8. A neighborhood connector street, which includes a detached sidewalk under a canopy of shade trees, provides safe, pedestrian-friendly access between neighborhoods and near-by community facilities. See Figure 3.9.

3.E UTILITIES AND INFRASTRUCTURE

3.E.1 Water

Water services will be furnished by two providers: Valencia Water Co. and the Town of Buckeye. An analysis of service requirements, project improvements and backbone delivery systems is contained in the Water Master Plan report. Ultimate water delivery will include development of wells either within the project area, or from a remote source, which would be subject to the approval of the Town.

3.E.2 Sewer

A Sewer Master Plan, including development of on and off-site sewer trunk lines and contemplated expansions of the Town's Wastewater Treatment Plant (WWTP), are contained in the Sewer Master Plan.

The project will sponsor expansion of the Town's sewer system by implementation of trunk lines, and the incremental expansion of the WWTP, as outlined in the Sewer Master Plan.

3.E.3 Utilities

The project will be served by the following utility providers, all of whom (and respective plans) are contained in the Project Utilities Report:

- gas - Southwest Gas
- electricity - A.P.S.
- telephone - U.S. West or Cox Communications
- cable - Cox Communications

3.E.4 Drainage

The project implements a series of local and regional drainage retention systems which are identified in the Master Drainage Plan along with supporting calculations of drainage flows and requirements. Typically, retention facilities have been incorporated into the project design as landscaped amenities.

3.E.5 Supporting Reports

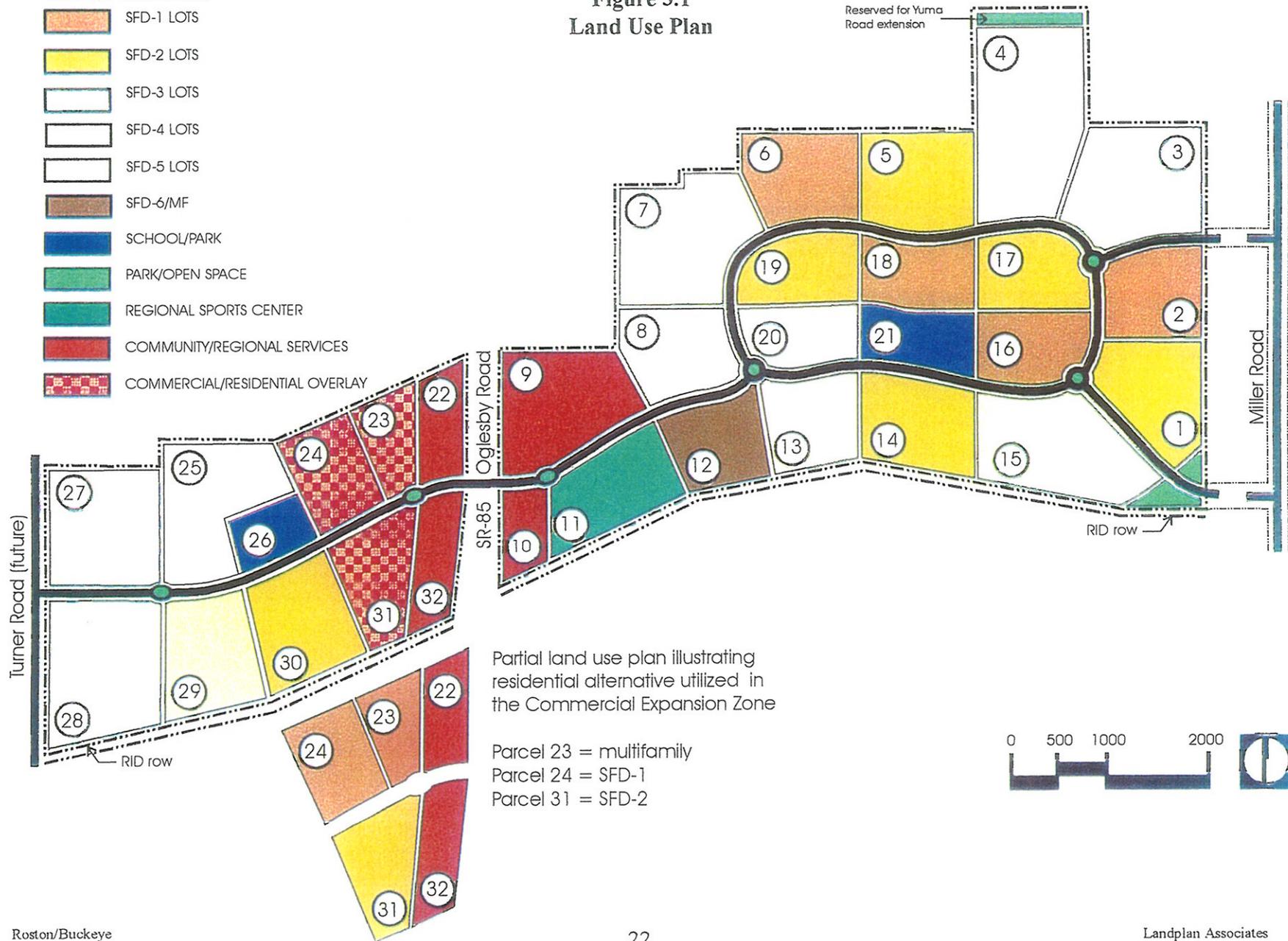
The following reports have been prepared and bound under separate covers as a part of this Community Master Plan.

- Master Drainage Plan, by RBF Associates
- Traffic Report, by Kimley-Horn Associates
- Water Master Plan, by RBF Associates
- Sewer Master Plan, by RBF Associates
- Utilities Master Plan, by Dry Utilities Services
- Biological Survey, by SWCA, Inc.
- Archaeological Survey, by SWCA, Inc.

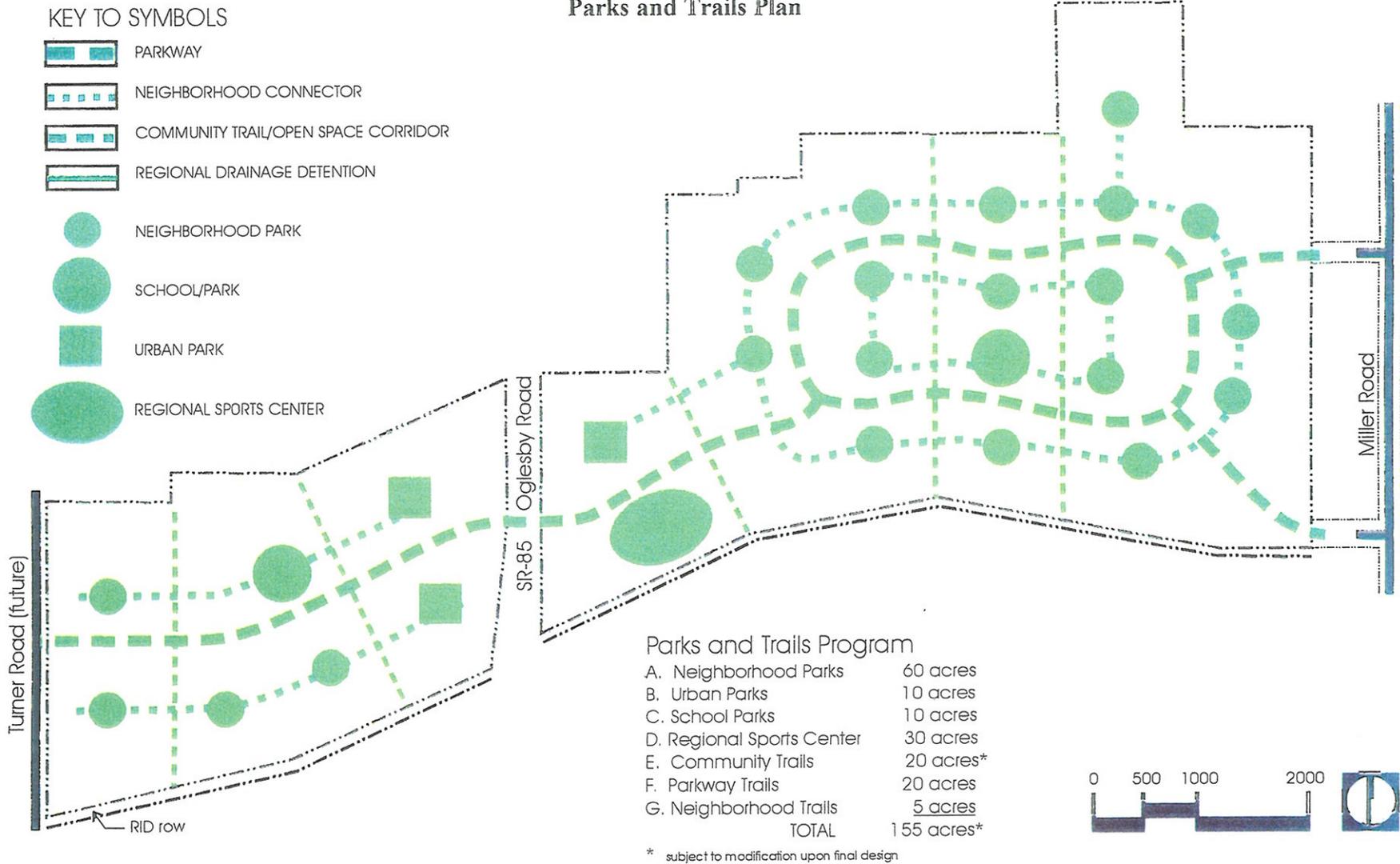
KEY TO SYMBOLS

-  SFD-1 LOTS
-  SFD-2 LOTS
-  SFD-3 LOTS
-  SFD-4 LOTS
-  SFD-5 LOTS
-  SFD-6/MF
-  SCHOOL/PARK
-  PARK/OPEN SPACE
-  REGIONAL SPORTS CENTER
-  COMMUNITY/REGIONAL SERVICES
-  COMMERCIAL/RESIDENTIAL OVERLAY

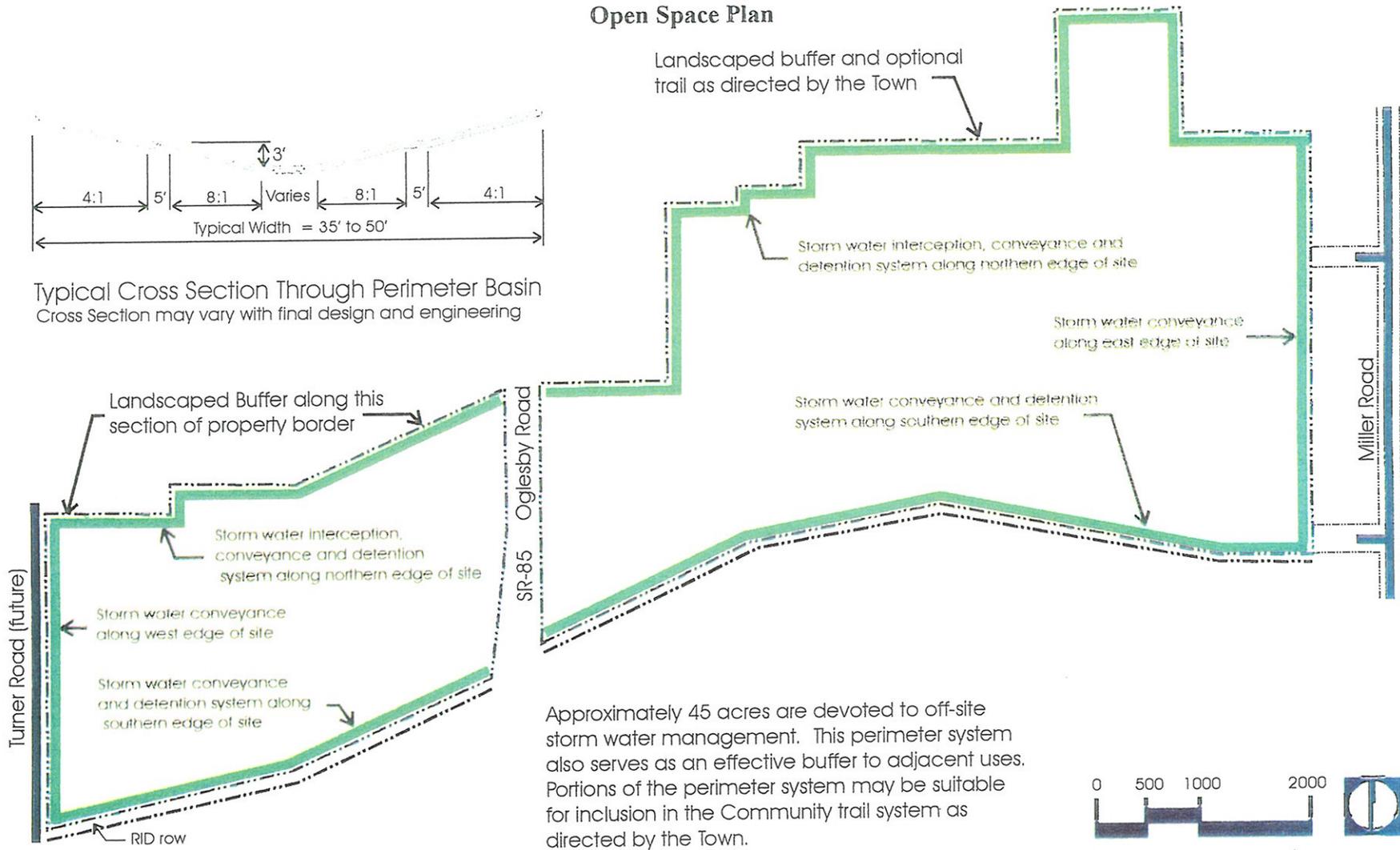
Figure 3.1
Land Use Plan



**Figure 3.2
Parks and Trails Plan**



**Figure 3.3
Open Space Plan**



3.F MASTER PUBLIC FACILITIES PLAN

3.F.1 Schools

Roston/Buckeye lies within the boundaries of the Buckeye Elementary and Palo Verde Elementary School Districts and the Buckeye Union High School District.

The land plan specifies two school/park sites which meet the facilities needs of the districts. These sites will be released to the respective districts, as demand warrants and subject to the approval of the districts.

3.F.2 Police, Fire and Emergency Services

With each phase as depicted in Figure 3.4, the project will identify the need for additional fire, police and emergency services. Roston/Buckeye will identify a police/fire station site within the Community Center, and do so in a manner consistent with the needs of the Town of Buckeye.

3.F.3 Parks, Trails and Open Space

The parks, trails and open space system is an important recreational and design component of Roston/Buckeye. It links all of the project neighborhoods and amenities/services together, and provides visual relief to the project.

Roston/Buckeye will create a strong sense of community through a system of parks designed to meet a variety of active and passive recreational needs. Each park will be programmed individually in terms of size, amenities and landscaping.

Maintenance of common areas, greenbelts, parks and open space areas, whether in public or private ownership, will be borne by the project and in one or more of the following forms:

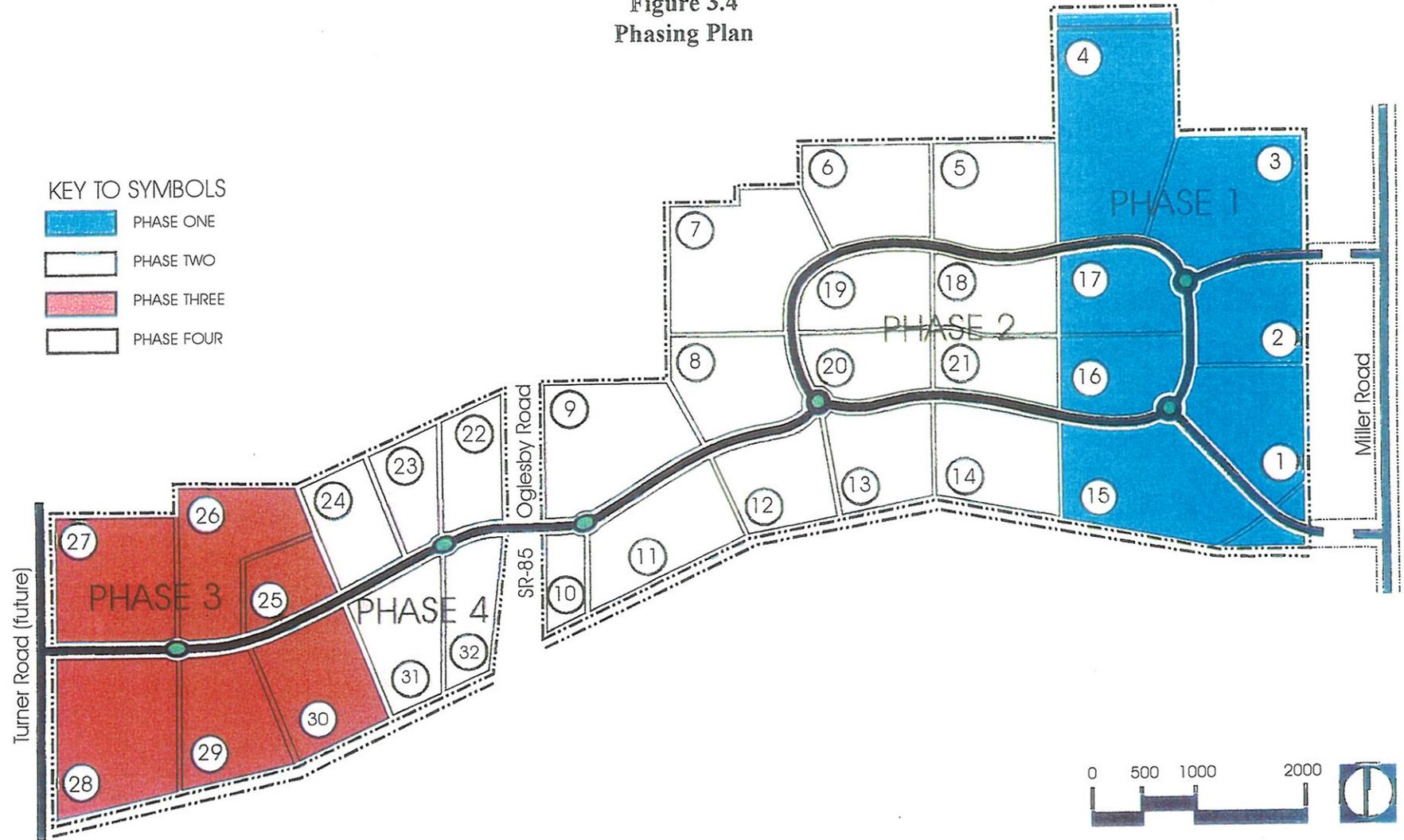
- Community Association maintenance
- C.F.D. maintained
- Parks/Open Space Maintenance District

Due to its scale, the Regional Sports Center will have the potential for sponsorship. A management/maintenance structure will be devised as part of the detailed planning process, and be subject to Town approval.

3.G PROJECT PHASING

As illustrated on Figure 3.4, Roston/Buckeye is planned to be developed in four phases over a period of ten years, starting from the east at Miller Road, and progressing towards the west. Each phase includes a mix of housing opportunities with supporting infrastructure designed to adequately serve the needs of the community. A parks and trails program will be developed to complement each phase.

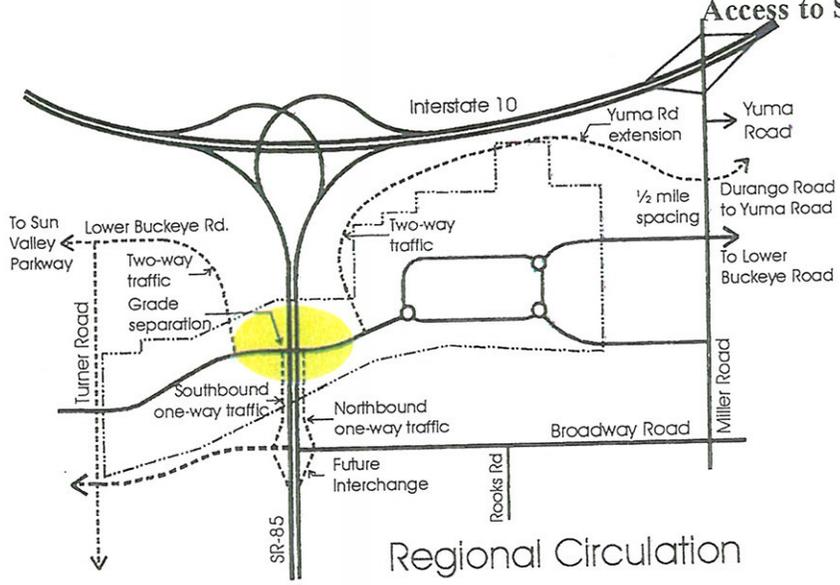
Figure 3.4
Phasing Plan



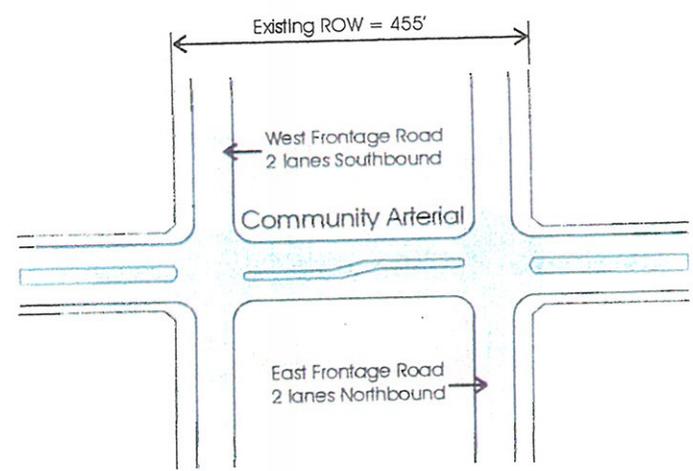
KEY TO SYMBOLS

- PHASE ONE
- PHASE TWO
- PHASE THREE
- PHASE FOUR

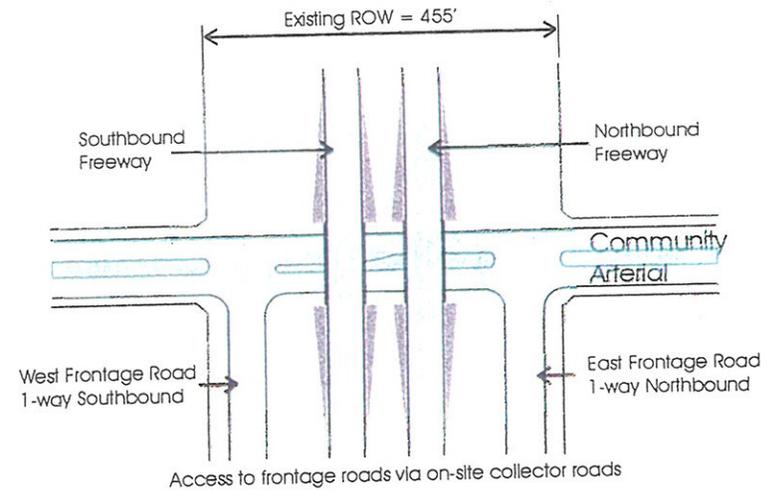
Figure 3.5
Access to SR-85



1. Access to Existing SR-85
2 travel lanes



2. Interim SR-85 Access
4 travel lanes



3. Ultimate SR-85 Access
4 travel lanes, 2 frontage roads

3.H DEVELOPMENT STANDARDS

3.H.1 Residential Standards

All single family detached residential development and uses will comply with the applicable Town of Buckeye Development Code provisions except as they are noted herein. The intent of the Standards is, in concert with the Planning Criteria and Design Guidelines, to insure distinction and variety among the residential categories, and result in a visually appealing community.

TABLE 2

Land Use	No. Lots	% Tot.	Lot Width	Min. Lot Depth	Minimum Yard Setbacks				
					Front (F-1)	Front (F-2)	Front (F-3)	Rear (R-1)	Side
SFD-1	560	17.3	45-49	95	12	18	10	15	5/5
SFD-2	875	27.0	50-54	100	12	18	10	20	5/8
SFD-3	900	27.8	55-59	100	12	18	10	20	5/8
SFD-4	480	14.9	60-65	105	15	18	10	20	5/10
SFD-5	260	8.1	80-85	110	20	20	15	20	5/10
SFD-6	160	4.9	note 2						

F-1 is front yard setback to occupied space or an enclosed patio
 F-2 is front yard setback to front loaded garage
 F-3 is front yard setback to side loaded garage
 R-1 Patio covers may encroach to within 10' of rear property line

Notes

- See Figure 3.6 for an illustration of setbacks, offsets and separation of structures
- A density of 8 du's/ac is permitted for Residential land use SFD-6. Minimum lot sizes and setback shall be established at the site plan review stage.

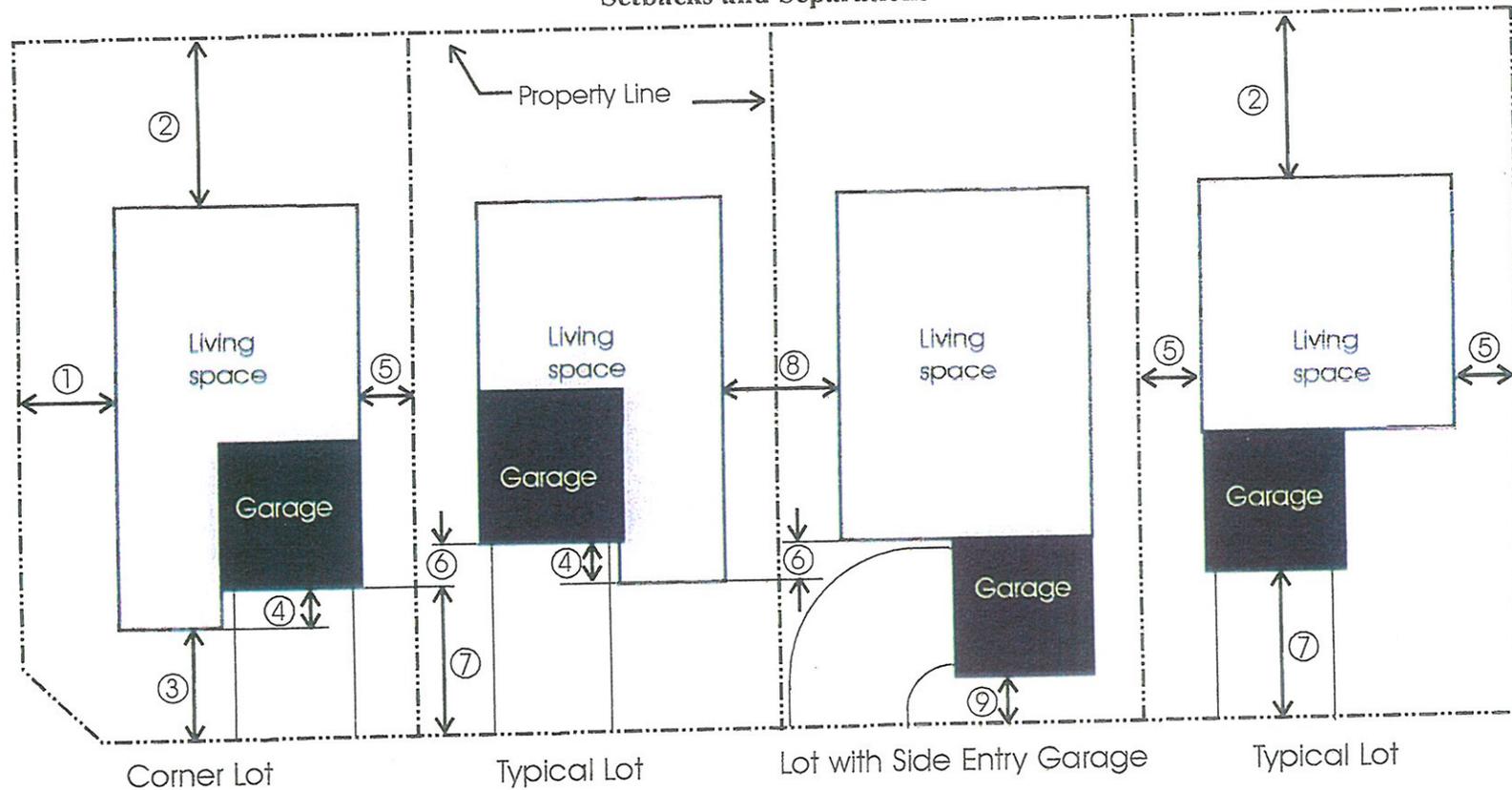
3.H.2 Commercial Standards

All commercial development and uses shall comply with the requirements delineated in the Town of Buckeye Development Code.

Specific site planning and architectural criteria will be provided at the preliminary site plan review stage. The criteria will address the following topics

- Site Planning
 - Establish appropriate site planning concepts and standards
 - Access to, and placement of, service and outdoor storage
 - Devise methods to break up large expanses of pavement
 - Address security fencing, walls, pylons and antenna
- Architecture
 - Address unbroken facades, large building mass
 - Establish standards for materials that resist vandalism
 - Address treatment of blank walls at pedestrian level
 - Address roof mounted equipment, reflective glass,
- Landscaping
 - Define level of landscaping to de-emphasize surface parking
 - Establish landscape pallet, levels of intensity
 - Establish irrigation standards
- Exterior Lighting
 - Establish standards for exterior lighting
 - Address security lighting
- Graphics and Signage
 - Create graphics standards to regulate signage.
 - Address exceptions for national/franchise organizations

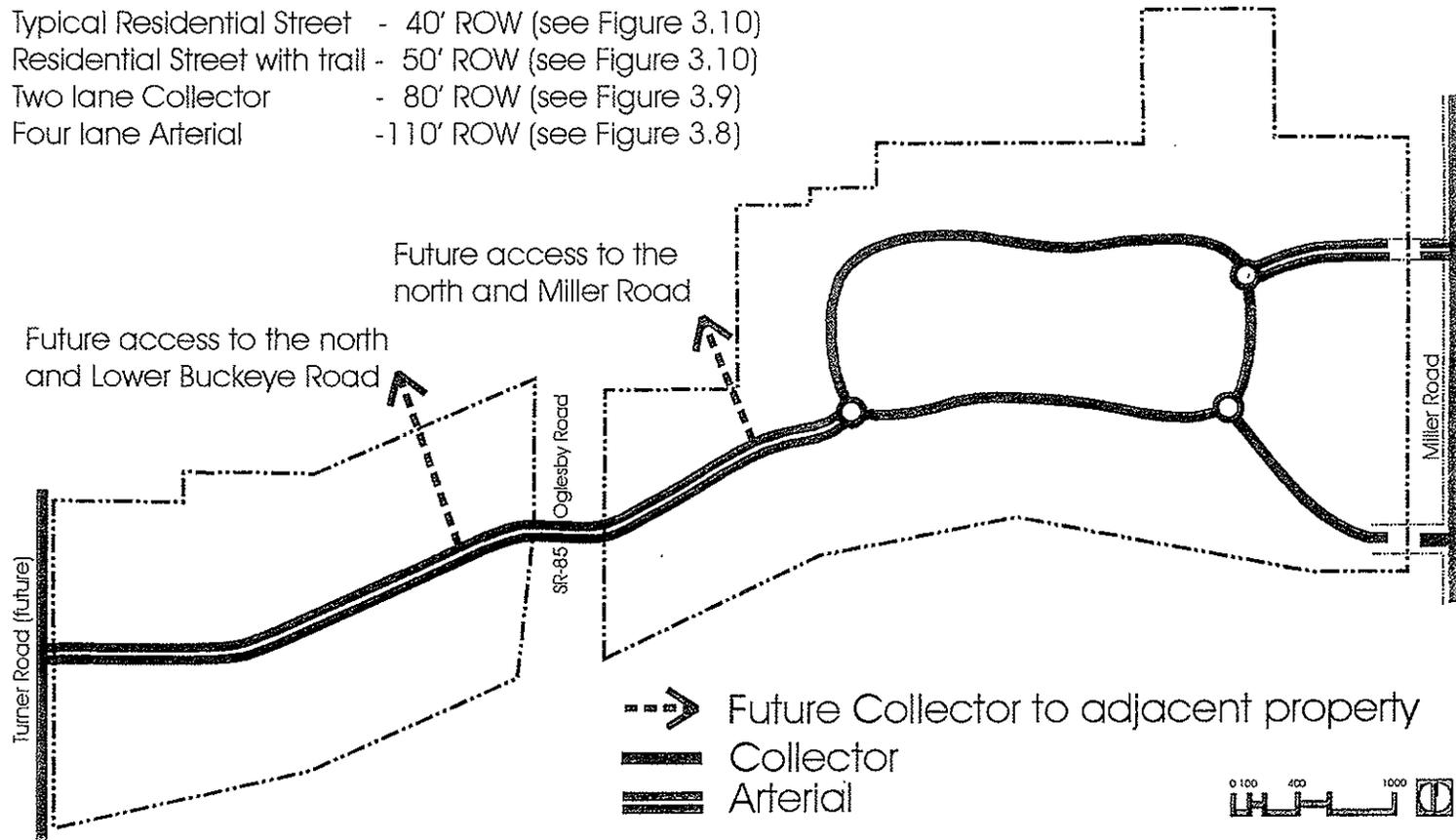
Figure 3.6
Setbacks and Separations



- ① Corner side yard setback = 10' for SFD-1, SFD-2 & SFD-3; 12' for SFD-4; and 15' for SFD-5
- ② Rear yard setback = 15' for SFD-1; 20' for SFD-2, SFD-3, SFD-4, & SFD-5
- ③ Front yard setback = 12' for SFD-1, SFD-2 & SFD-3; 15' for SFD-4; and 20' for SFD-5
- ④ Offset between living space and garage: minimum of 3 feet
- ⑤ Side yard setback = varies: 5' minimum. Exception: it may be 0' if zero lot line concepts are used
- ⑥ Minimum offset between adjacent units = 3'
- ⑦ Minimum front yard setback for front entry garage = 18' for SFD-1, SFD-2, SFD-3 & SFD-4; and 20' for SFD-5
- ⑧ Resulting separations = 10' for SFD-1, 10', 13', 16' for SFD-2 & SFD-3; and 10', 15', 20' for SFD-4 & SFD-5
- ⑨ Front yard setback for side entry garage = 10' for SFD-1, SFD-2, SFD-3 & SFD-4; and 15' for SFD-5

**Figure 3.7
Road Classifications**

- Typical Residential Street - 40' ROW (see Figure 3.10)
- Residential Street with trail - 50' ROW (see Figure 3.10)
- Two lane Collector - 80' ROW (see Figure 3.9)
- Four lane Arterial - 110' ROW (see Figure 3.8)

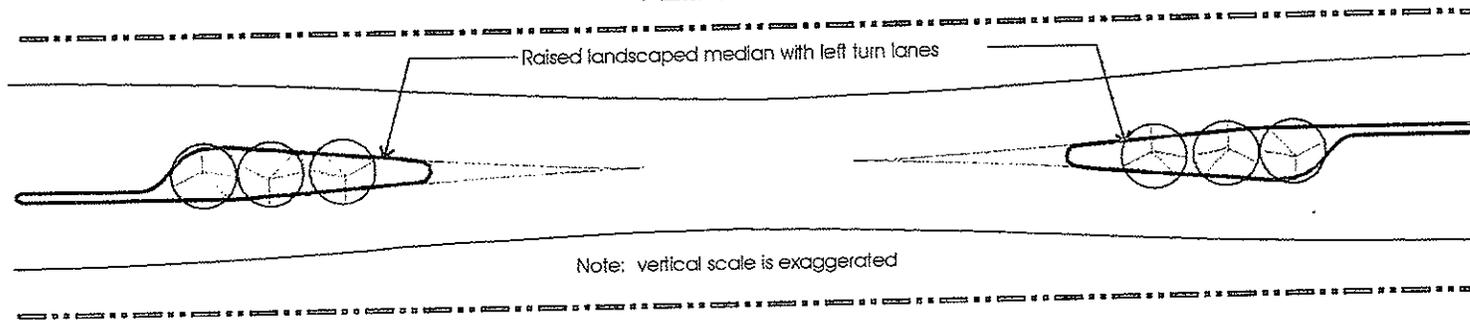


- - - -> Future Collector to adjacent property
- == Collector
- === Arterial

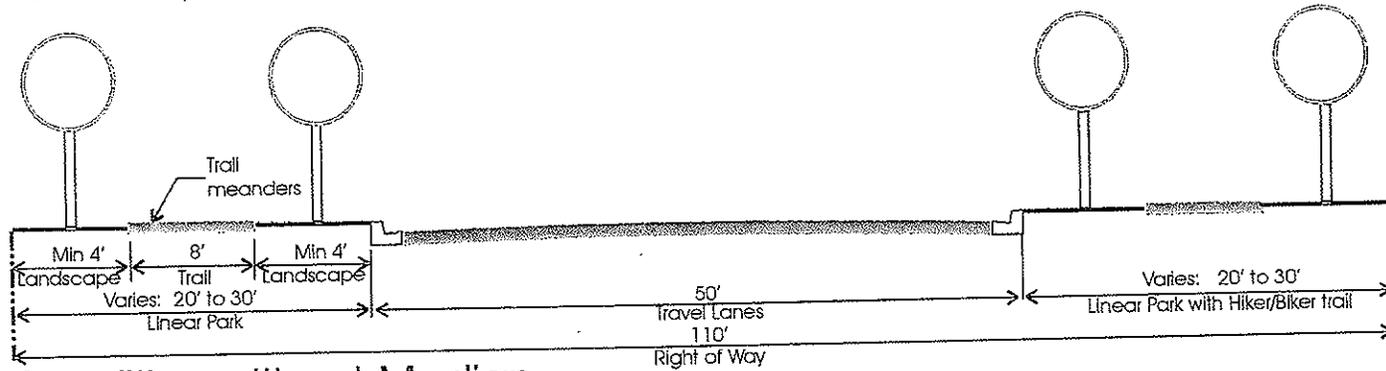


Note: Roadway improvements which benefit other properties and regional circulation beyond the demands of the project will be considered in devising fair-share contributions to fees and/or improvements, as further outlined in the project Development Agreement.

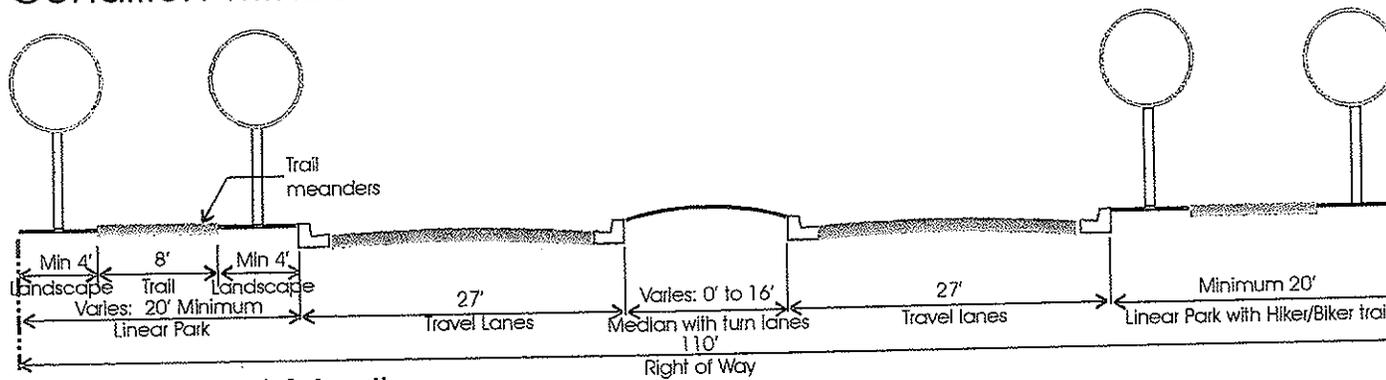
Figure 3.8
4-Lane Arterial



Plan View of Arterial

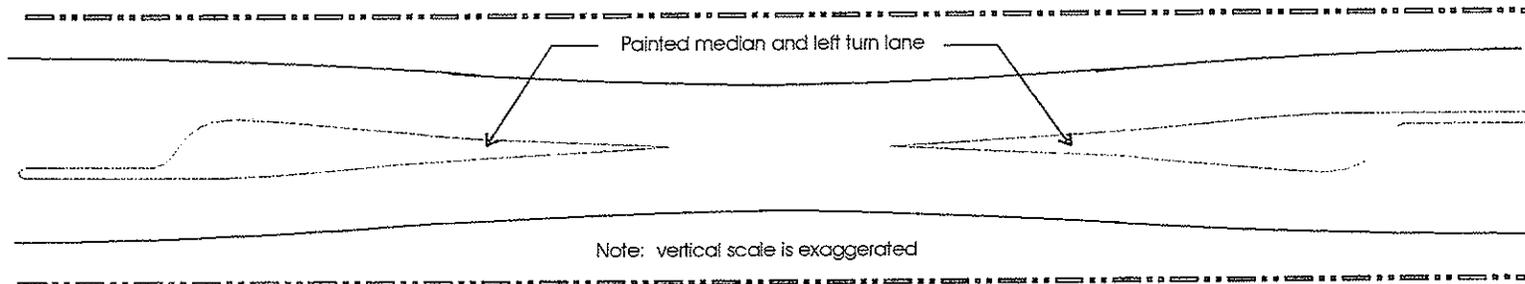


Condition without Median

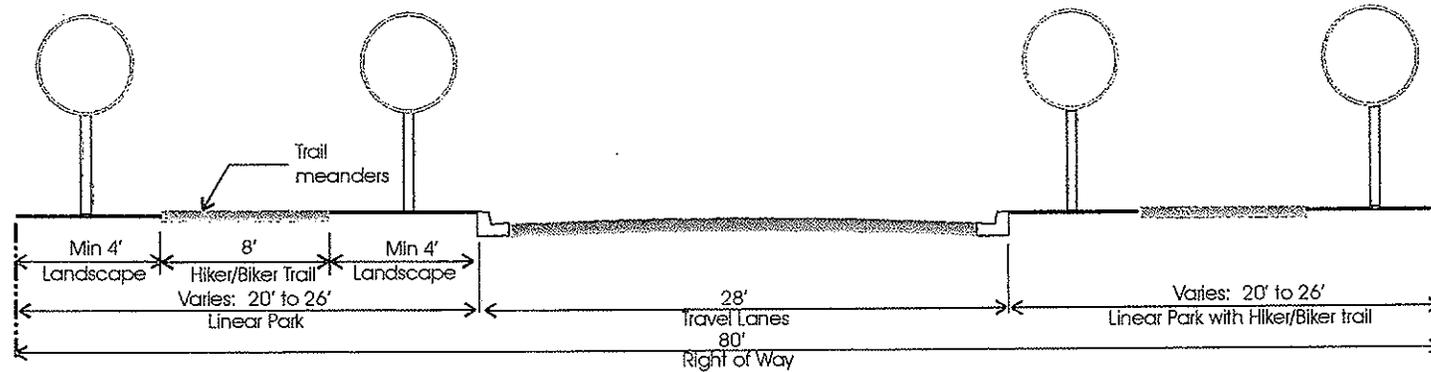


Condition at Median

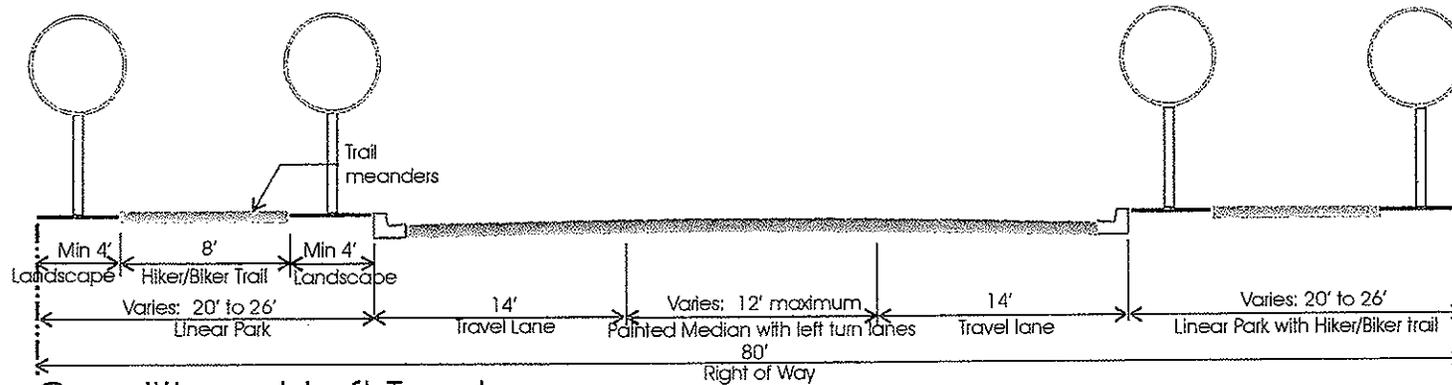
Figure 3.9
2-Lane Collector



Plan View of Collector

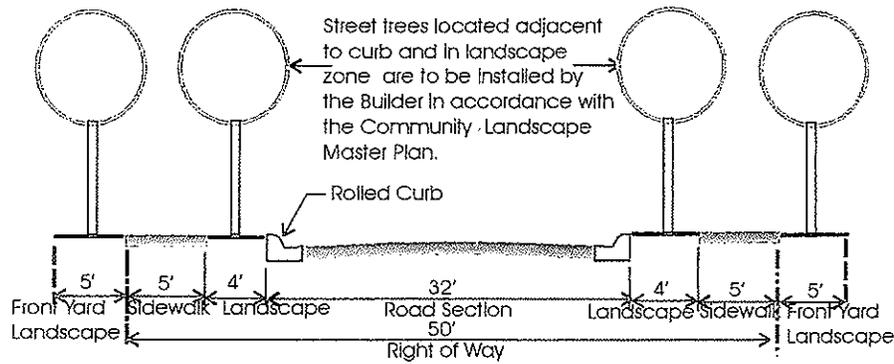


Typical Cross Section

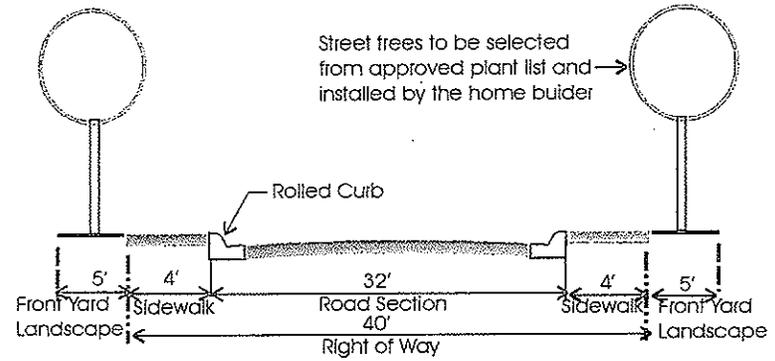


Condition at Left Turn Lane

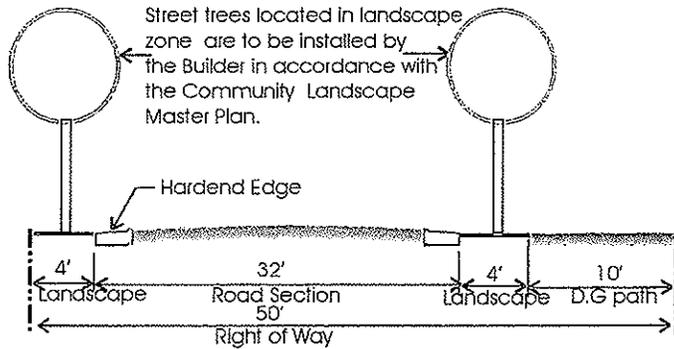
**Figure 3.10
Residential Streets**



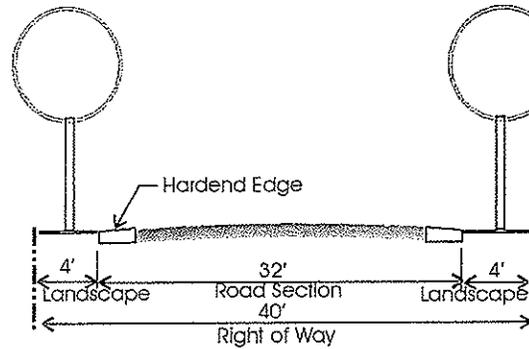
Residential Street with Community Trail



Typical Residential Street



Rural Transition Residential Street with Trail



Rural Transition Residential Street

3.H.3 Landscaping Standards

Site landscaping shall comply with the Town of Buckeye Development Code and with the criteria contained in Figure 3.11 and Section 3.H.3.a below..

3.H.3.a Landscape Irrigation Design Criteria

The following standards, details, and specifications are provided to maintain a consistent minimum standard throughout the design within the Roston Buckeye Community.

- All plant material sizes must meet ANA standards (see details for planting and staking).
- Trees planted in all public areas are to be from the plant list in the CMP.
- Trees planted are to be a minimum 30' 0" o.c. average of which 50% are to be 24" box and 50% to be 15 gal. size.
- Minimum organic growth (shrubs and/or groundcover) to be 75% coverage within two year period of substantial completion for landscape installation.
- Top Dressing to be decomposed granite a minimum 2" depth ½ size screened with color to be consistent with the overall development and approved by the Town of Buckeye prior to installation.
- Turf grass will not be allowed in public right of way areas.
- Irrigation to be a full automatic system (see irrigation details to be used in Public R.O.W. areas and landscape tracts to meet minimum standards).

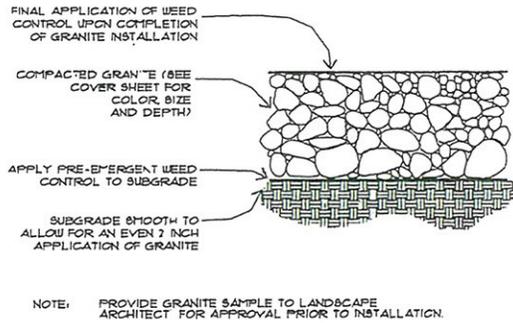
- The following irrigation materials, or equal, are to be used in public R.O.W. areas and/or landscape tracts:
 - 1) Rainbird Controller ESP
 - 2) Rainbird Brass Series Electric Master Valves
 - 3) Febco Back-flow Prevention Assembly
 - 4) NIBCO Gate Valve
 - 5) Turf Valve Assembly
 - Rainbird EFB-CP-PRS-B pressure regulation
 - Electric scrubber valves size per manufacturer's instructions
 - 6) Drip Valve Assembly
 - Hardy 700 series electric valves size per manufacturer's recommendation, with Rainbird pressure regulator assembly with WYE filter
 - 7) Emitters to be Bowsmith multiport (trees to be on separate valve then shrubs and groundcover).
 - 8) Rainbird pressure compensation bubblers for Palm trees and annual beds

- Irrigation emitter sizing shall be as follows

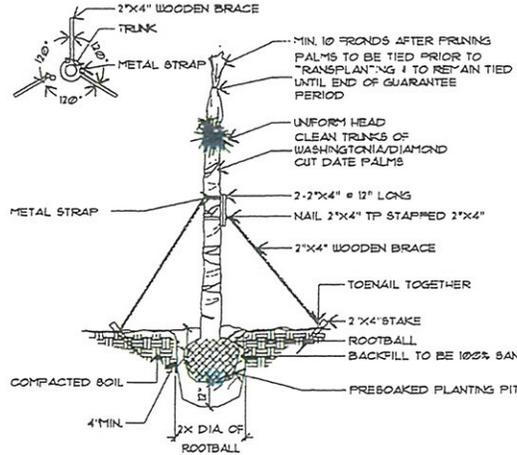
plant size	flow/plant	emitter	quantity
1 Gal	1 Gph	Bowsmith MI-210	4-5 Shrubs
5 Gal	1 Gph	Bowsmith MI-210	4-5 Shrubs
15 Gal	4 Gph	Bowsmith MI-210	1
24" Box	6 Gph	Bowsmith MI-210	2
36" Box	8 Gph	Bowsmith MI-210	2
48" Box	12 Gph	Bowsmith MI-220	2
54"-72" Box	16 Gph	Bowsmith MI-220	3
Palms	5 Gph	Pressure Comp. Bub'r	2

1. Provide irrigation to 4-5 shrubs max per multiport emitters
2. All emitters to be Bowsmith model only
3. Do not provide irrigation to cactus

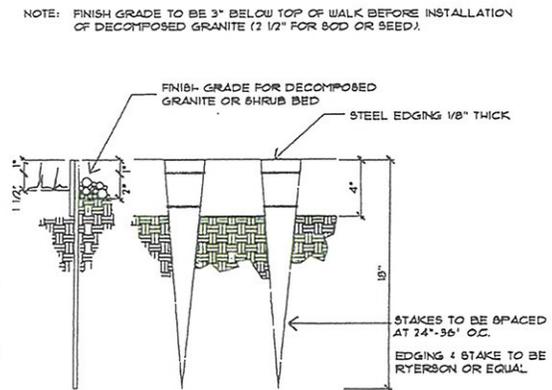
Figure 3.11
Landscape Standards



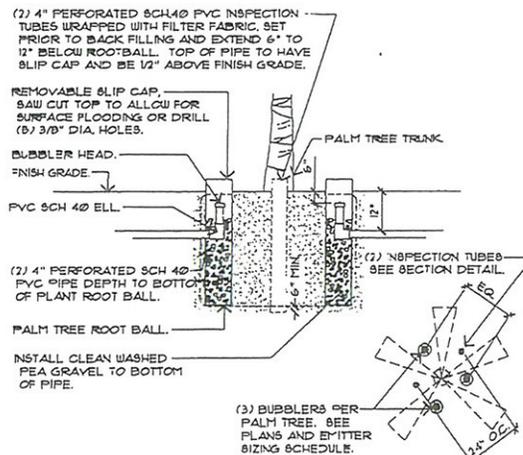
2 Decomposed Granite
L4.1 SCALE: N.T.S.



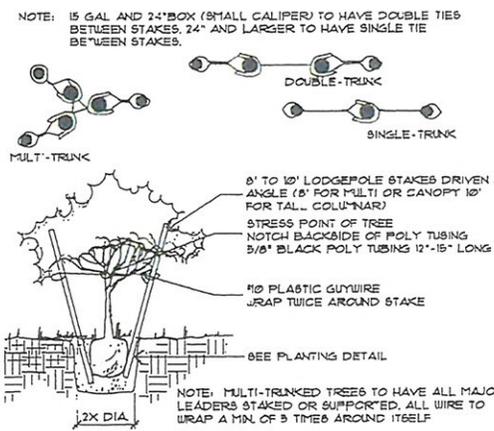
1 PALM STAKING DETAIL
L4.1 SCALE: N.T.S.



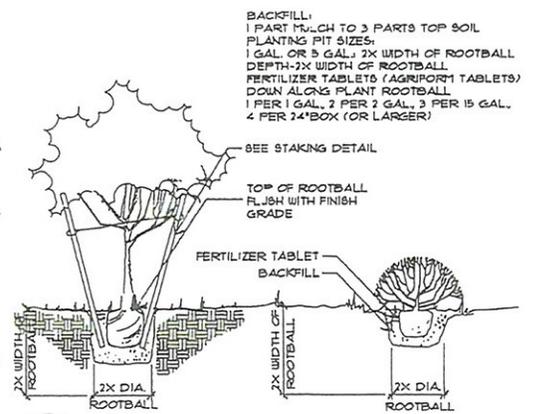
Steel Edging
L4.1 SCALE: N.T.S.



1 Deep Root Substrate Detail
SCALE: N.T.S.



TYPICAL STAKING DETAIL
L4.1 SCALE: N.T.S.



TREE AND SHRUB PLANTING
L4.1 SCALE: N.T.S.

3.I DESIGN GUIDELINES

3.I.1 Overview

The purpose of Design Guidelines is to provide criteria and guidance for the design and development of Roston/Buckeye. They establish a high level of design quality for the uses proposed for the property and are intended to assure both variety and compatibility between various land uses, and help to establish the overall character for the property.

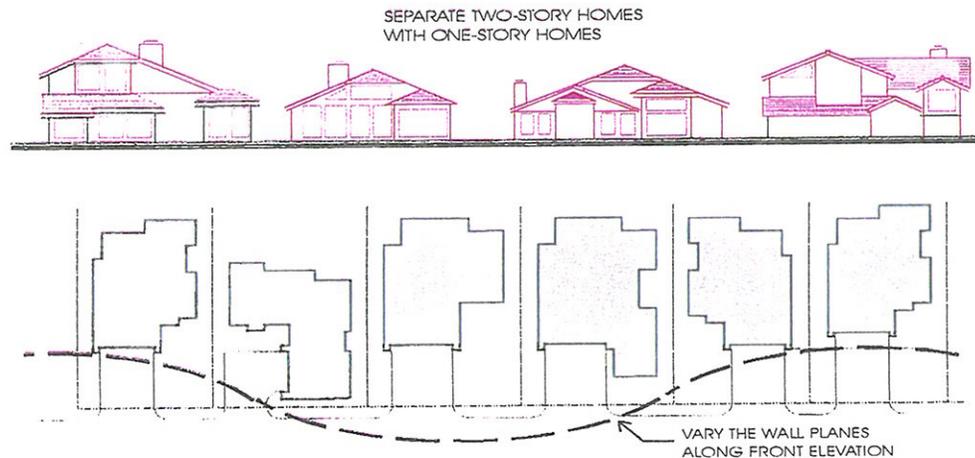
3.I.2 Residential Design Guidelines

The graphic examples on the following pages demonstrate how site planning and architectural treatments can be designed into the homes to create variety in the overall residential community.

3.I.2.a Street Scene Conditions

The height, bulk, and appearances of residential units should be varied to provide visual interest to the street scene.

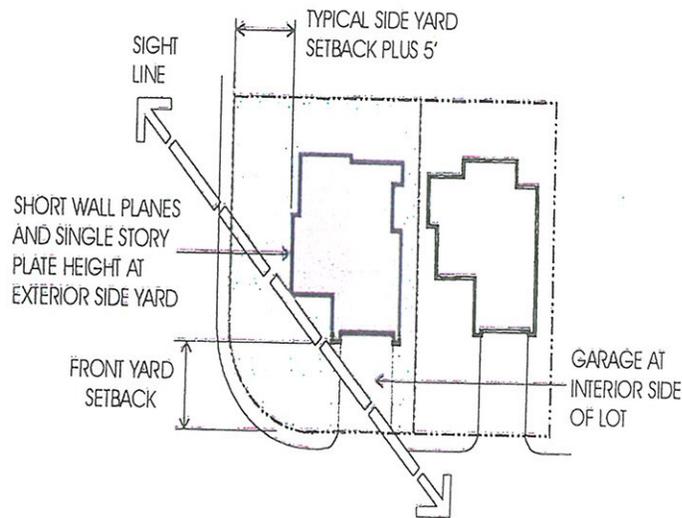
- One-story units should be paired and situated between two-story units to minimize the effect on the street scene. Not more than three consecutive two-story dwellings are permitted.
- Floor plans should provide varying exterior elevations to provide interest to the street scene.
- Wall planes along the front elevation should be staggered to provide visual interest.



3.I.2.b Corner Lot Conditions

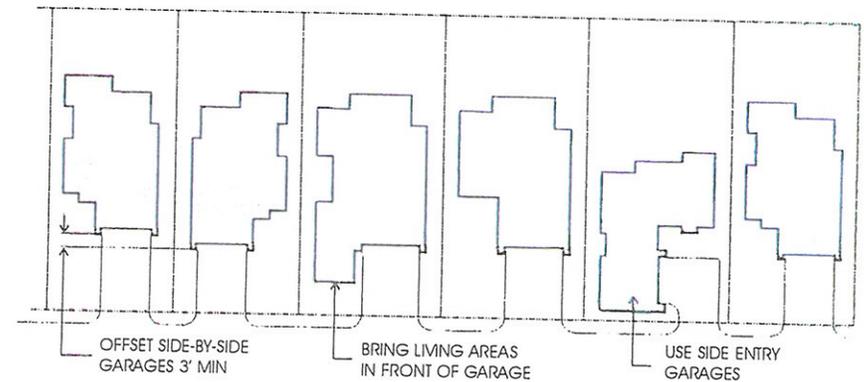
The treatment of corner lots should incorporate the following:

- One story plate height at exterior side yard.
- Garage should be located adjacent to the interior side yard.
- Wall plane adjacent to the exterior side yard should be as short as possible.
- A clear line of sight across the corner of the lot should be maintained.



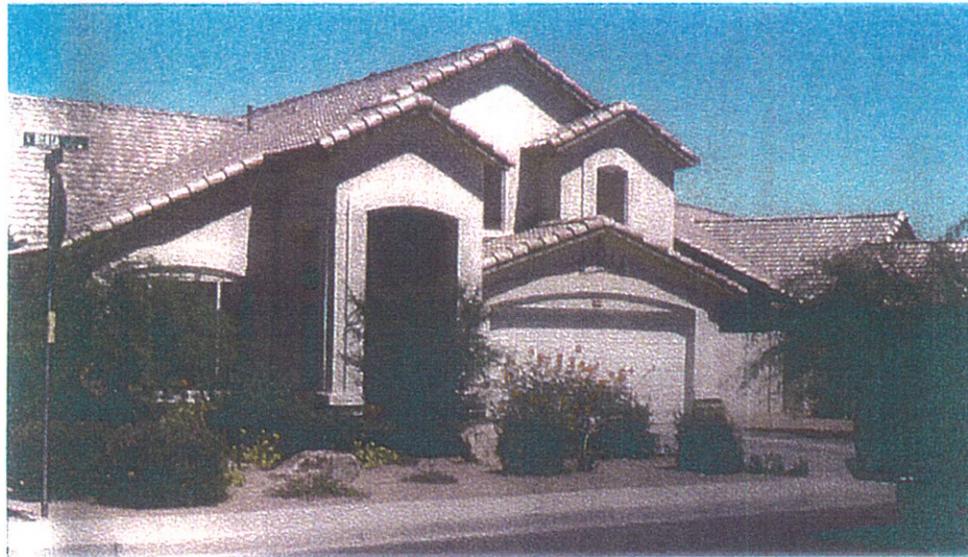
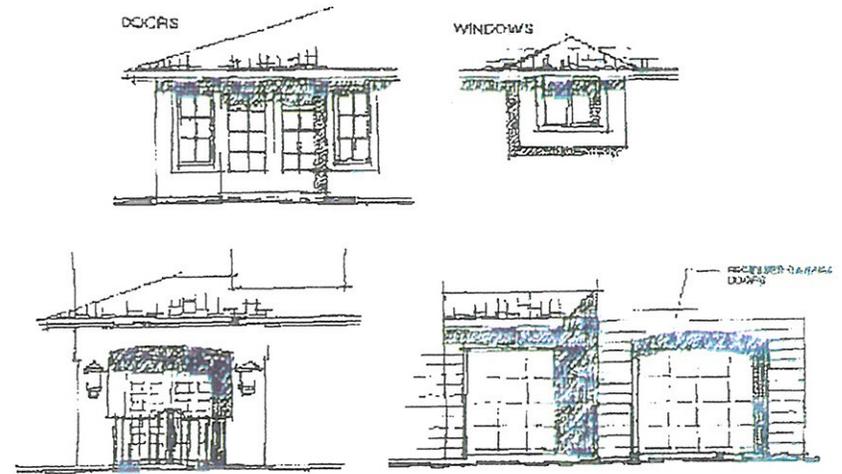
3.I.2.c Garage Conditions

- Garages which are set back further from the street than adjoining living areas should be used.
- Recess garage doors a minimum of 12" from adjacent walls to create a strong shadow.
- Two story units should incorporate second story architectural elements above the garage.
- Where they are adjacent to each other, garages shall be offset three (3) feet minimum.



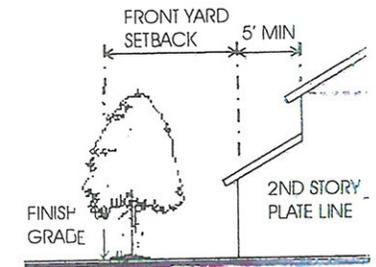
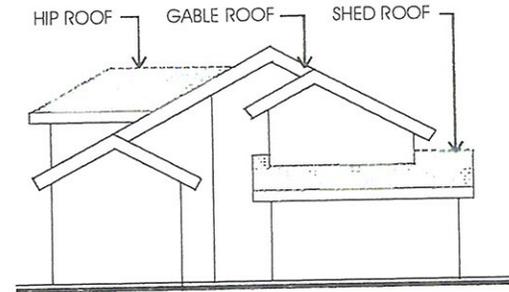
3.I.2.d Architectural Elements

- Architectural elements shall be incorporated into the design of houses through the treatment of windows, doors, entries, porches, balconies, railings, columns and chimneys.
- Deep-set or pop-out windows and doors along with other architectural projections and recesses shall be used to provide individuality of units.
- The entry should be a focal point through the use of roof elements, columns, porticos, recesses or pop-outs, windows or other architectural feature.



3.I.2.e Roof Conditions

- Variation in roof design shall be utilized to create diversity
- Individual units may incorporate more than one roof design.
- Extended roof overhangs may be used in conjunction with porches, balconies and recesses.
- Second story roof plane lines should be set back from first story elevations to help reduce building mass.



3.I.2.f Materials and Colors

- Stucco, brick and stone are acceptable exterior materials. On any single unit or within a neighborhood, a combination of materials is encouraged to provide variety.
- Clay tile, flat concrete tile and concrete shake roof materials are acceptable.
- Roof colors should relate to the exterior color of the unit and/or the fascia color of the unit.
- Each elevation shall have alternative color schemes. Subdued colors not specifically limited to earth tones shall be used. Use of bright colors and primary colors is not permitted except as limited accent or focal elements.

3.I.2.g Architectural Variety

- In order to insure a vibrant street scene, each residential neighborhood must include a minimum of three different floor plans, each with a minimum of three elevations per floor plan which employ different materials and roof lines, and offer six choices of color and two choices of roof material, each of which have three choices of color.
- Not more than three residential neighborhoods in any phase may employ the same combination of floor plans, elevations, materials and colors, and no two similar combinations may be located adjacent to each other.
- The same elevation or floor plan for a residential unit shall not be placed side by side or across the street from each other.

3.I.2.h Walls and Fences

As a component of the first preliminary plat, a walls and fences program will be submitted that defines the types and locations of walls, fences, view fences, and similar elements that typically occur along property boundaries.

Guidelines will be provided to insure visual compatibility along and adjacent to common open spaces, adjacent to community arterials and collectors, and external property borders.

3.I.2.i Graphics and Signage

As a component of the first preliminary plat, a graphics and signage program will be submitted that establishes criteria that will govern the size, appearance and permitted locations for signs and graphic communications.

3.I.3 Commercial Design Guidelines

The developers of the Community Center sites shall provide a set of guidelines addressing the topics outlined in Paragraph 3.H.2 as a part of the site plan submittal process.

3.I.4. Landscape Guidelines

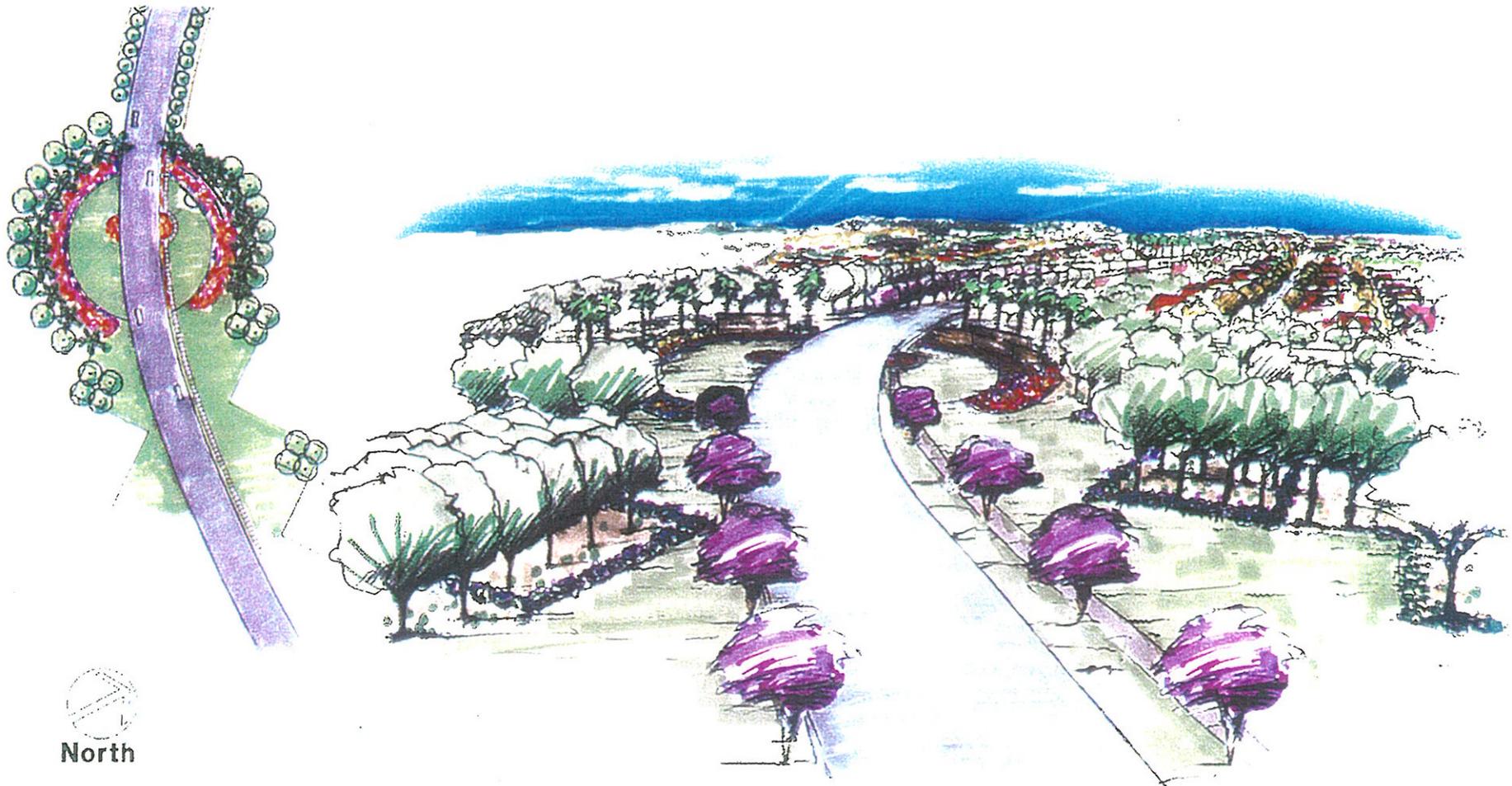
3.I.4.a Landscape concept: The landscape concept for Roston/Buckeye is based on the use of the following zones:

- **Enhanced Desert** - The Enhanced Desert landscape consists of the natural vegetation patterns typical of the local desert environment, enhanced by increasing the density of the plantings. The ground plane in Enhanced Desert landscape areas is primarily gravel mulch with dispersed ground cover or shrubbery. This landscape zone is used along areas of natural open space by adding native plant materials to accent the natural desert landscape. Irrigation is very limited. With minor exceptions, turf will not occur in this zone.
- **Desert Garden** - The Desert Garden landscape is made up of plant materials commonly found in desert environments that are particularly rich with color and texture. The Desert Garden ground plane consists of mulches or aggregate with a high percentage of ground cover and shrubbery. Up to 30% of the area may be planted in turf. This landscape zone is used to create aesthetically pleasing environments appropriate for residential development, with a reduced irrigation requirement.
- **Oasis** - The Oasis landscape is made up of lush green plant materials that typically are not drought tolerant. Oasis zones typically have up to 75% of the total area planted in irrigated turf and/or evergreen ground covers and shrubs, and are associated with areas of high pedestrian use and neighborhood or community activities. The rich colors and

cool, inviting character created by the plant materials in this zone provide a pleasant contrast to the surrounding desert environment. Oasis landscape shall be used to entice residents to maximize use of pedestrian and park areas.

Each zone is utilized where appropriate, and reflects the degree of importance placed on the area or the nature of its intended use. The following illustrations demonstrate the application of the Roston/Buckeye Landscape Concept to typical conditions within the Community.

Figure 3.12
Community Entrance



North

Figure 3.13
Community Arterial

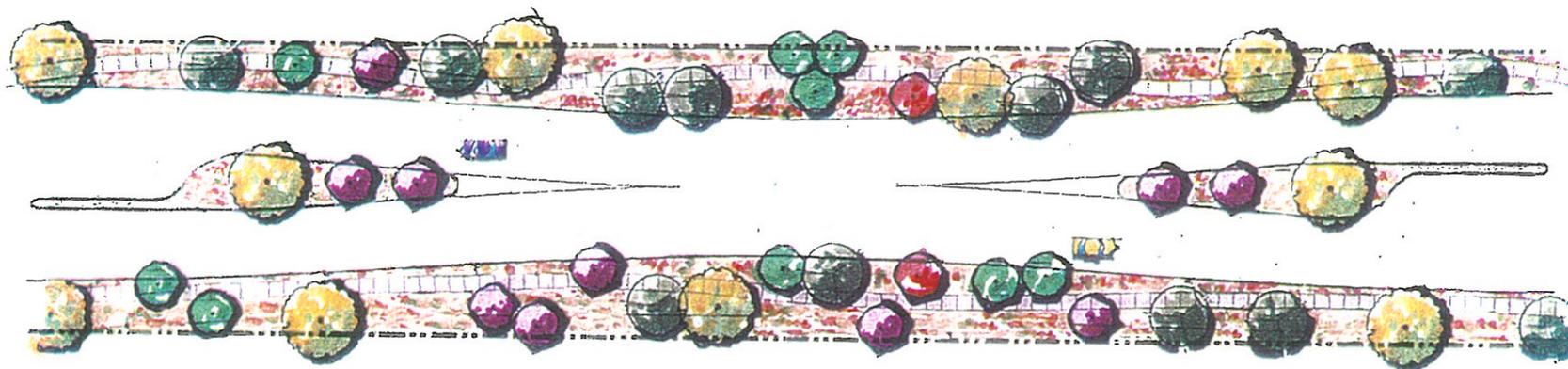


Figure 3.14
Traffic Circle

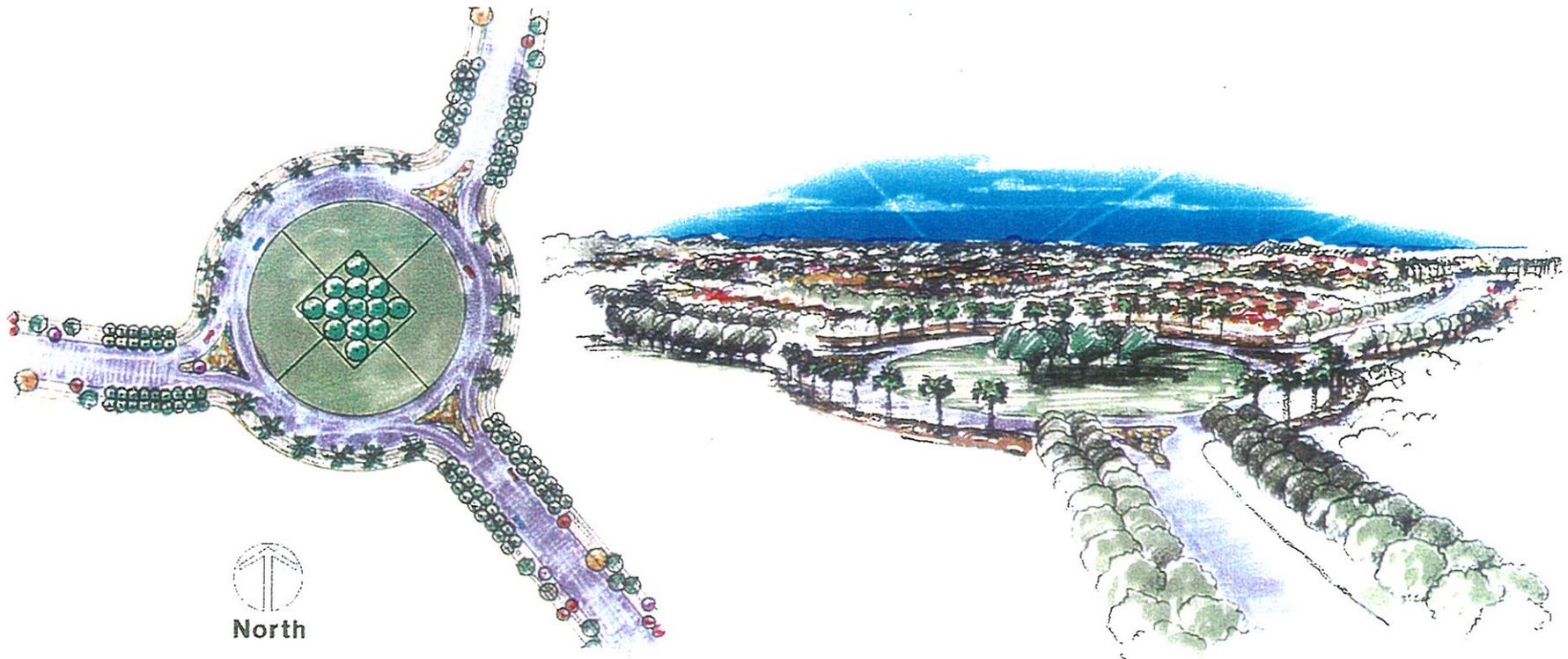


Figure 3.15
Residential Street with trail

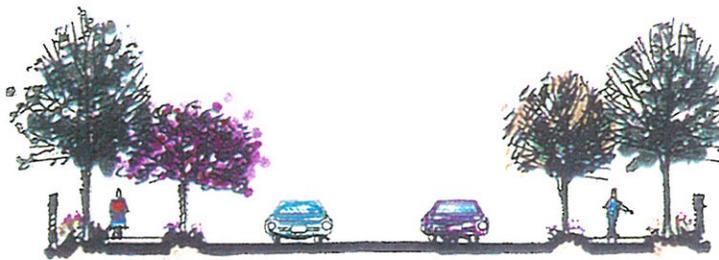
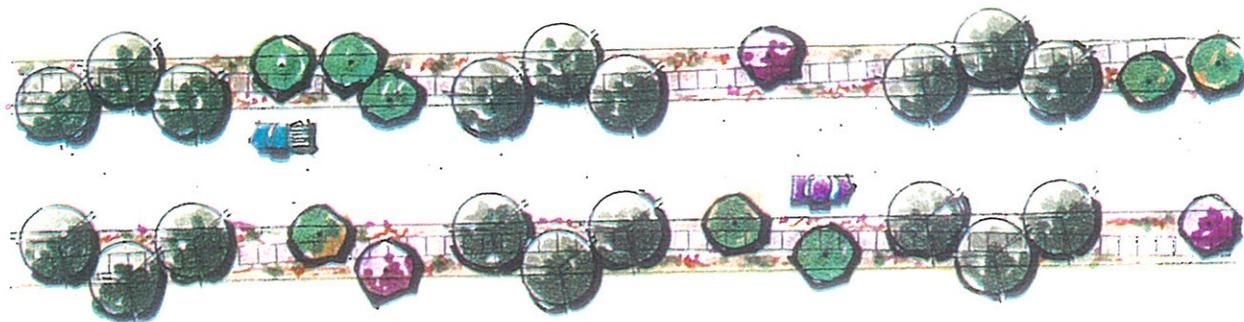


Figure 3.16
Typical Residential Street

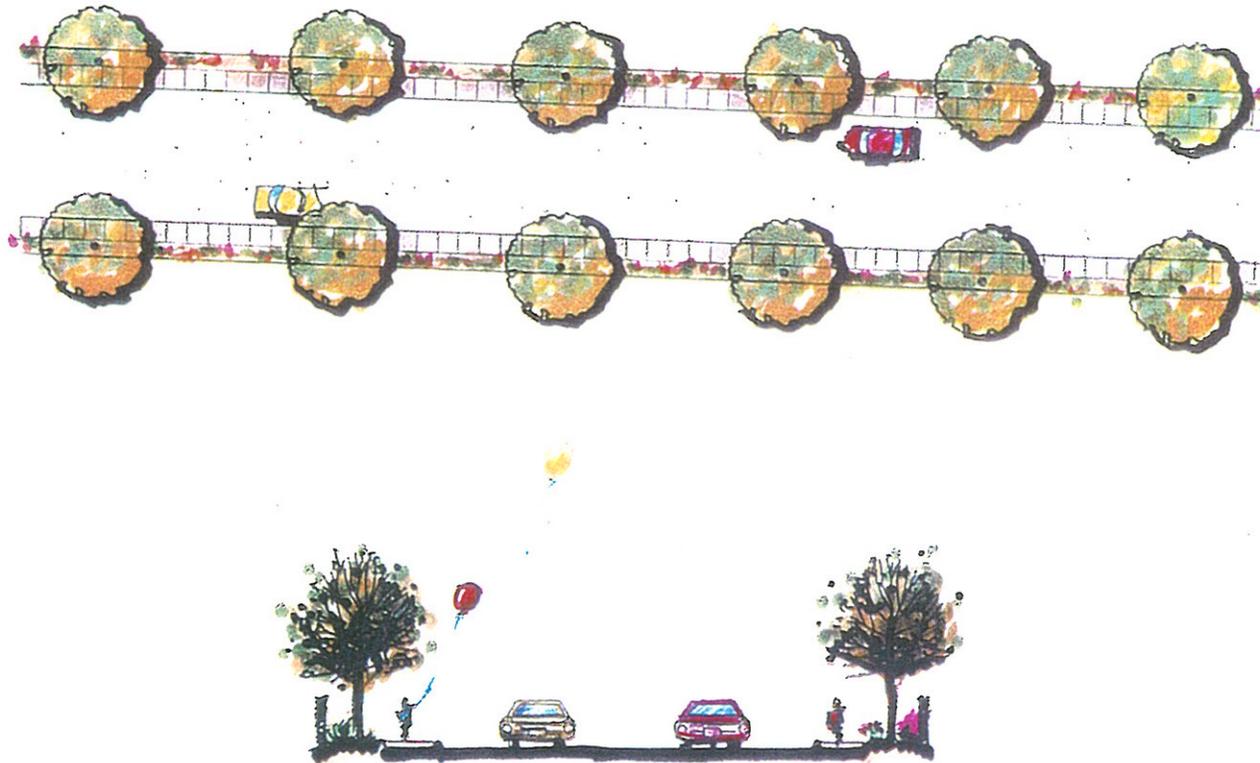
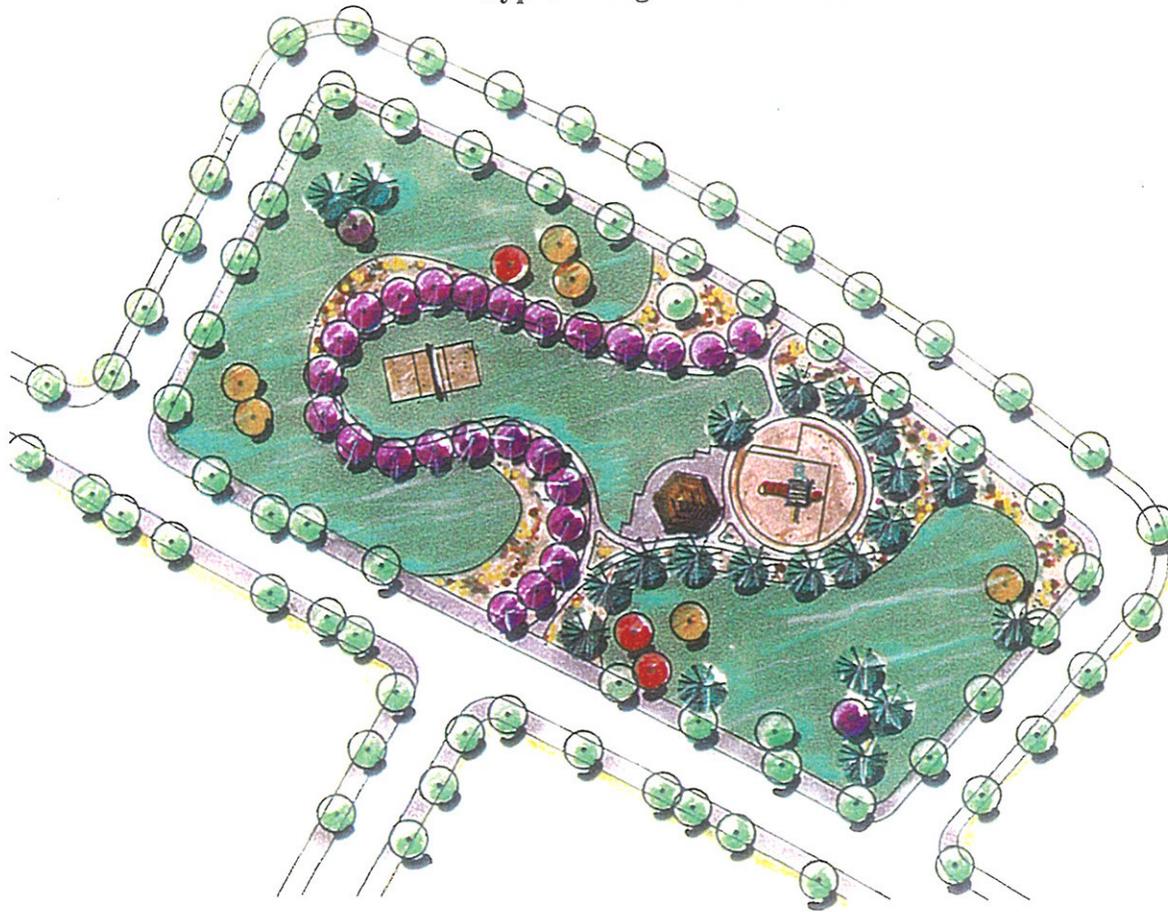


Figure 3.17
Typical Neighborhood Park



3.I.4.b All plant materials will be selected from the following palette for use in Roston/Buckeye.

Accent/Specimen Trees/Palms

<i>Acacia smallii</i>	<i>Desert Sweet</i>
<i>AcaciaCercidium floridum</i>	<i>Blue Palo Verde</i>
<i>Quercus virginiana</i>	<i>Southern Live Oak</i>
<i>Olneya tesota</i>	<i>Ironwood</i>
<i>Phoenix dactylifera</i>	<i>Date Palm</i>
<i>Prosopis velintina</i>	<i>Velvet Mesquite</i>

Background Trees

<i>Acacia stenophylla</i>	<i>Shoestring Acacia</i>
<i>Cercidiium Microphyllum</i>	<i>Foothills Palo Verde</i>
<i>Pinus eldarica 'Mondel'</i>	<i>Mondel Pine</i>
<i>Lysiloma candida</i>	<i>Palo Blanco</i>
<i>Lysiloma thornberi</i>	<i>Feather Bush</i>
<i>Rhus lancia</i>	<i>African Sumac</i>

Street Trees

<i>Acacia smallii</i>	<i>Sweet Acacia</i>
<i>Cercidium floridum</i>	<i>Blue Palo Verde</i>
<i>Fraxinus velutina 'Rio Grande'</i>	<i>Fan-Tex Ash</i>
<i>Fraxinus velutina</i>	<i>Arizona Ash</i>
<i>Olea europea 'Swan Hill'</i>	<i>Swan Hill Olive</i>
<i>Phoenix dactylifera</i>	<i>Date Palm</i>
<i>Pistacia chinensis</i>	<i>Chinese Pistache</i>
<i>Prosopis chilensis</i>	<i>Chilean Mesquite</i>
<i>Prunus 'Krauter Vesuvius'</i>	<i>Purple Leaf Plum</i>
<i>Quercus virginiana</i>	<i>Southern Live Oak</i>
<i>Quercus virginiana 'Heritage'</i>	<i>Heritage Oak</i>

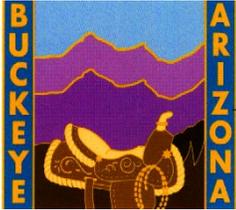
<i>Rhus lancea</i>	<i>African Sumac</i>
<i>Salix matsudana 'Umbraculifera'</i>	<i>Globe Willow</i>
<i>Schinus terebinthefolius</i>	<i>Brazilian pepper</i>
<i>Ulmus parvifolia 'Brea'</i>	<i>Chinese Evergreen</i>
<i>ElmUlmus parvifolia 'True Green'</i>	<i>Chinese Elm</i>
<i>Washingtonia robusta</i>	<i>Mexican Fan Palm</i>

Large Shrubs

<i>Dodonea viscosa</i>	<i>Hopseed Bush</i>
<i>Justicia californica</i>	<i>Chuparosa</i>
<i>Larrea tridentata</i>	<i>Creosote Bush</i>
<i>Leucophyllum spp</i>	<i>Texas Sage</i>
<i>Ligustrum spp</i>	<i>Privot</i>
<i>Nerium oleander</i>	<i>Oleander</i>
<i>Rosa spp</i>	
<i>Tecoma stans</i>	<i>Arizona Yellowbells</i>

Medium Shrubs

<i>Agave spp.</i>	<i>Agave</i>
<i>Atriplex canescens</i>	<i>Fourwing Saltbush</i>
<i>Ambrosia deltoidea</i>	<i>Bursage</i>
<i>Caesalpinia pulcherrima</i>	<i>Red Bird-of-Paradise</i>
<i>Caisalpinia mexicana</i>	<i>Mex. Bird-of-Paradise</i>
<i>Carissa grandiflora</i>	<i>Natal Plum</i>
<i>Calliandra californica</i>	<i>Baja Red Fairy Duster</i>
<i>Dasyilirion spp</i>	<i>Desert Spoon</i>
<i>Euonymus spp.</i>	
<i>Encelia farinosa</i>	<i>Brittle Bush</i>
<i>Hesperaloe parvifolia</i>	<i>Red Yucca</i>
<i>Leucophyllum spp</i>	<i>Texas Sage</i>
<i>Muhlenbergia capillaris</i>	<i>Red Tip Deer Grass</i>



Town of Buckeye

January 26, 2005

Jim Fergus
AZPropertyco Holding, LLC
300 Carlsbad Village Drive, Suite 223
Carlsbad, California 92008

RE: WestPark Sports Park/Community Master Plan Amendment (Case Number CMPA04-374)

Jim:

The Town of Buckeye Development Review Team has reviewed your request for an amendment to section 2.C of the WestPark Community Master Plan.

Section 2.C figure 2.6, Parks Criteria, indicates a Regional Sports center of 30 acres. Your request to reallocate the 30 acres is interpreted as follows:

- 1) 25 acre Regional Sports Center;
- 2) Two acre Fire Station Site to be dedicated to the Town of Buckeye at no cost;
- 3) Three Acre Water Storage facility sized to provide centralized storage for WestPark and development to the north (up to I-10) and on either side of SR-85. The enlarged facility will provide storage for a total of 8200 edus, WestPark represents 3500 edus of storage.

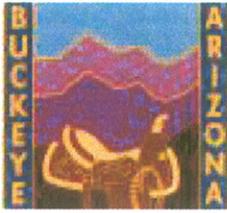
The Development Review Team believes that this amendment will result in a benefit to the surrounding developments and overall community. Therefore, the requested amendment to section 2.C, figure 2.6, Parks Criteria, Regional Sports Center, from 30 acre Regional Sports Park to a 25 acre park site, two acre fire station site, and three acre water storage facility, is hereby approved.

Sincerely,

Dennis Zwagerman, AICP
Interim Community Development Director

A handwritten signature in black ink that reads "Denise Lacey". The signature is written in a cursive, flowing style with a long horizontal stroke at the end.

Denise Lacey
Planner II



RECEIVED
APR 26 2007
BY: *[Signature]*

Town of Buckeye Project Application

OFFICIAL USE ONLY

Date: 4-26-07

Project Coordinator: Alan Como

Case No: CMPA07-05

Project Name: Westpark Associated Cases: _____

Project Address/Location: South of Interstate 10, north of the RID canal, between Miller & Turner Roads

Current Zoning District: PC Parcel Number(s): see attached Quarter Section: see attached

Request: _____

Case Type:

- | | | |
|--|--|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> General Plan Amendment(major/Minor) | <input type="checkbox"/> Site Plan |
| <input type="checkbox"/> Area Plan | <input type="checkbox"/> Land Division/Lot Split | <input type="checkbox"/> Temporary Use Permit |
| <input type="checkbox"/> Community Master Plan | <input type="checkbox"/> Map of Dedication | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Development Review | <input type="checkbox"/> Preliminary Plat | <input checked="" type="checkbox"/> Other: <u>minor CMP amendment</u> |
| <input type="checkbox"/> Final Plat | <input type="checkbox"/> Rezoning | |

The property owner shall designate an agent as the coordinator for the project. This person (the applicant) shall attend pre-application conferences and public hearings, will receive the agenda, recommendations, and case reports, and will communicate all case information to other parties as required.

All contact for this project will be made through the applicant listed below.

Owner Contact: Jim Fergus
 Company: Turner Road Land Investments, LLC
 Phone: 760-720-4600 Fax: 760-720-4667
 E-mail: jfergus@rostonco.com
 Address: 300 Carlsbad Village Dr., #223
 City: Carlsbad State: CA Zip: 92008

Developer Contact: Jim Fergus
 Company: Roston Company Southwest, LLC
 Phone: 760-720-4600 Fax: 760-720-4667
 E-mail: jfergus@rostonco.com
 Address: 300 Carlsbad Village Dr., #223
 City: Carlsbad State: CA Zip: 92008

Architect Contact: _____
 Company: _____
 Phone: _____ Fax: _____
 E-mail: _____
 Address: _____
 City: _____ State: _____ Zip: _____

Engineer Contact: Mo Iacueli, P.E.
 Company: RBF Consulting
 Phone: 602-467-2200 Fax: 602-467-2201
 E-mail: miacuelli@rbf.com
 Address: 16605 North 26th Avenue, Suite 100
 City: Phoenix State: AZ Zip: 85053

Applicant Contact: Karen Williamson
 E-mail: karen@rostonaz.coxatwork.com
 Address: 6929 North Hayden Rd., #C-4 City: Scottsdale State: AZ Zip: 85250

Company: The Roston Company
 Phone: 480-951-4233 Fax: 480-951-4435

[Signature]
Owner Signature

4/25/07
Date

[Signature]
Applicant Signature

4/25/07
Date

Community Development Department

90 North Apache Road, Buckeye AZ 85326 Phone 623.349.6200 Fax 623.349.6222



Town of Buckeye

Project Narrative

OFFICIAL USE ONLY

Date: _____

Project Coordinator: _____

Case No: _____

Project Name: _____

Project

Location: South of Interstate 10, north of the RID Canal, between Miller & Turner Roads

Proposed Property Details:

Single-Family Residential Multi-Family Residential Commercial Industrial

Other: _____

Current Zoning: PC Proposed Zoning: PC

Number of Buildings: _____ Parcel Size: _____

Gross Floor Area/Total Units: _____ Floor Area Ratio/Density: _____

Parking Required: _____ Parking Provided: _____

Setbacks: Front- _____ Rear- _____ Side- _____ Side- _____

Historical Site: YES NO Lot Coverage(%) _____ Landscaping(%) _____ Open Space(%) _____

Existing Condition: _____

General Plan Designation: PC

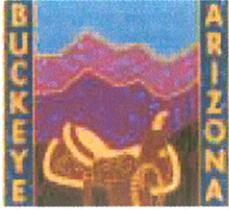
Description of Request:

See attached.

Community Development Department

90 North Apache Road, Buckeye AZ 85326 Phone 623.349.6200 Fax 623.349.6222

RECEIVED
 APR 26 2007
 BY: *[Signature]*



Town of Buckeye

Project Data Sheet

OFFICIAL USE ONLY

Case ID: _____

Project Coordinator: _____

Project Address/Location: South of Interstate 10, north of the RID canal, between Miller & Turner Roads Date: 4/25/07
 Proposed Use: Master Planned Community Zoning District: PC

TO BE COMPLETED BY APPLICANT		CALCULATIONS	TO BE COMPLETED BY TOWN
COMMERCIAL	RESIDENTIAL		
		Net Lot Area	
		Gross Lot Area	
		Gross Floor Area Allowed	
		Gross Floor Area Provided	
		Building Volume Allowed	
		Building Volume Provided	
		Number of Units or Lots	
		Density Allowed	
		Density Provided	
		Minimum Lot Size Allowed	
		Minimum Lot Size Provided	
		Building Height Allowed	
		Building Height Provided	
		Net Floor Area	
		Parking Spaces Required	
		Parking Provided On-Site	
		Parking Provided Off-Site	
		Total Parking Provided	
		Open Space Required	
		Open Space Provided	
		Front Open Space Required	
		Front Open Space Provided	
		Parking Lot Landscaping Required	
		Parking Lot Landscaping Provided	

SET BACKS & PARKING REQUIREMENTS

REQUIRED	PROVIDED	CALCULATIONS	N, S, E, W	REQUIRED	PROVIDED
		Front			
		Rear			
		Left Side			
		Right Side			
		Parking			

Community Development Department

90 North Apache Road, Buckeye AZ 85326 Phone 623.349.6200 Fax 623.349.6222

Description of Request

This request is for a minor amendment to the approved CMP for Westpark to address small shifts in the location of certain land uses and roadway locations within Phase 3 of Westpark. This request is a minor amendment because, while land uses have shifted slightly, the mixture and balance of uses, as well as the infrastructure required to accommodate such land uses, has not changed. The existing CMP calls for 90 acres of commercial uses; the proposed minor amendment provides for 93 acres of commercial uses. Open space within the CMP is maintained at twenty percent, and the number of residential units has not changed.

First, the Community Park was shifted, with the Town's approval, to Phase 2 of Westpark. The Town has located a fire station and water campus adjacent to the Community Park. Second, the freeway-oriented commercial parcels are proposed to be expanded and reconfigured to provide more depth from the freeway, which was suggested by a market analysis of the property. Finally, the multi-family parcel now is proposed to shift slightly to be adjacent to the Community Park, and the residential parcels have been revised slightly to accommodate the reconfigured commercial parcels. The proposed land use plan for Phase 3 of Westpark, as modified by this request, is attached.

The proposed land plan also identifies minor realignments of certain roadways in Phase 3 of Westpark. First, with the approval of Town staff, adjacent property owners, and the Roosevelt Irrigation District ("RID"), Turner Road (110' right-of-way) is split at the RID Canal and well to maintain the existing pump station. Second, in coordination with Town staff and with the approval of the Town Council, adjacent property owners, and the Arizona Department of Transportation, collector roads on either side of State Route 85 have been located and set (110' right-of-way).

In sum, this request qualifies as a minor amendment to the CMP because: (1) permitted land uses and development standards will not change; (2) the number of residential units permitted by the CMP does not increase; (3) open space required in the CMP does not decrease; (4) the minor shift in residential density from one parcel to another does not exceed ten percent of the total number of residential units permitted by the CMP; (5) there is not a change proposed to the housing floor plan mix; (6) there are no substantial changes to the streets and transportation circulation patterns and regional connectivity contained in the CMP; and (7) there are no fundamental changes to the CMP.

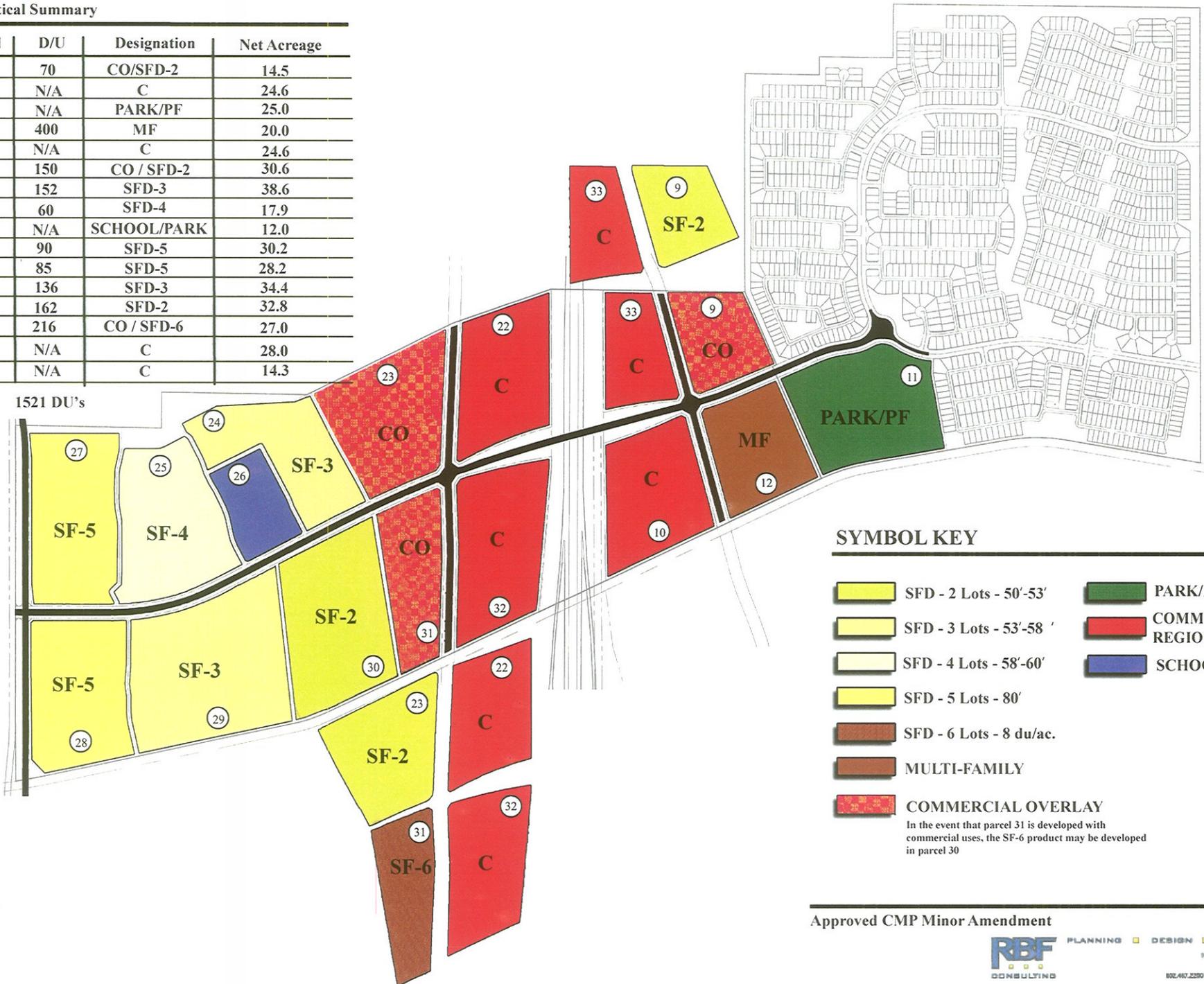


WESTPARK PHASE 3 LAND USE PLAN

Statistical Summary

Parcel	D/U	Designation	Net Acreage
9	70	CO/SFD-2	14.5
10	N/A	C	24.6
11	N/A	PARK/PF	25.0
12	400	MF	20.0
22	N/A	C	24.6
23	150	CO / SFD-2	30.6
24	152	SFD-3	38.6
25	60	SFD-4	17.9
26	N/A	SCHOOL/PARK	12.0
27	90	SFD-5	30.2
28	85	SFD-5	28.2
29	136	SFD-3	34.4
30	162	SFD-2	32.8
31	216	CO / SFD-6	27.0
32	N/A	C	28.0
33	N/A	C	14.3

Total 1521 DU's



SYMBOL KEY

- SFD - 2 Lots - 50'-53'
- SFD - 3 Lots - 53'-58'
- SFD - 4 Lots - 58'-60'
- SFD - 5 Lots - 80'
- SFD - 6 Lots - 8 du/ac.
- MULTI-FAMILY
- COMMERCIAL OVERLAY
In the event that parcel 31 is developed with commercial uses, the SF-6 product may be developed in parcel 30
- PARK/PF
- COMMUNITY/REGIONAL SERVICES
- SCHOOL/PARK

Approved CMP Minor Amendment

Date

WESTPARK CMP RECAP-PHASE 3 AREA

CMP Minor Amendment				CMP 10/3/2000			
Parcel	DU's	Description	Acres	Parcel	DU's	Description	Acres
9	70	CO/SFD-2	14.5	9	-	C	35
10	-	C	24.6	10	-	C	15
11	-	PARK/PF	25.0	11	-	PARK	30
			5.0				
			park				
			public				
12	400	MF	20.0	12	160	SF-6	20
22	-	C	24.6	22	-	C	20
23	150	CO/SFD-2	30.6	23	400	CO/PARK	20
24	152	SFD-3	38.6	24	110	CO/SF-1	25
25	60	SFD-4	17.9	25	120	SFD-1	30
26	-	SCHOOL/PARK	12.0	26	-	SCHOOL/PARK	15
27	90	SFD-5	30.2	27	110	SFD-5	40
28	85	SFD-5	28.2	28	150	SFD-5	55
29	136	SFD-3	34.4	29	135	SFD-3	30
30	162	SFD-2	32.8	30	175	SFD-2	35
31	216	CO/SFD-6	27.0	31	150	CO/SF-2	30
32	-	C	28.0	32	-	C	20
33	-	C	14.3	33	-	-	
1,521				1,510			

Actual	Total	CMP	Total
Phase 1 (actual)	1,086	Phase 1 (CMP)	1,170
Phase 2 (actual)	1,288	Phase 2 (CMP)	1,215
Phase 3	<u>1,521</u>	Phase 3 (CMP)	<u>1,510</u>
	<u>3,895</u>		<u>3,895</u>

February 25, 2008
Westpark CMP-Phase 3
Recap Summary-Minor Amendment

The approved CMP provides for a minimum of 90 acres commercial

Proposed minor amendment in phase 3 provides for 93 acres commercial, with the potential for up to 163 acres of commercial

The approved CMP provides for 1,521 dwelling units (1,121 single family/400 multifamily), which when combined with Phases 1 and 2, equals 3,495 single family/400 multifamily—as per the original CMP (See Westpark CMP recap)

Phase 3 land use plan:

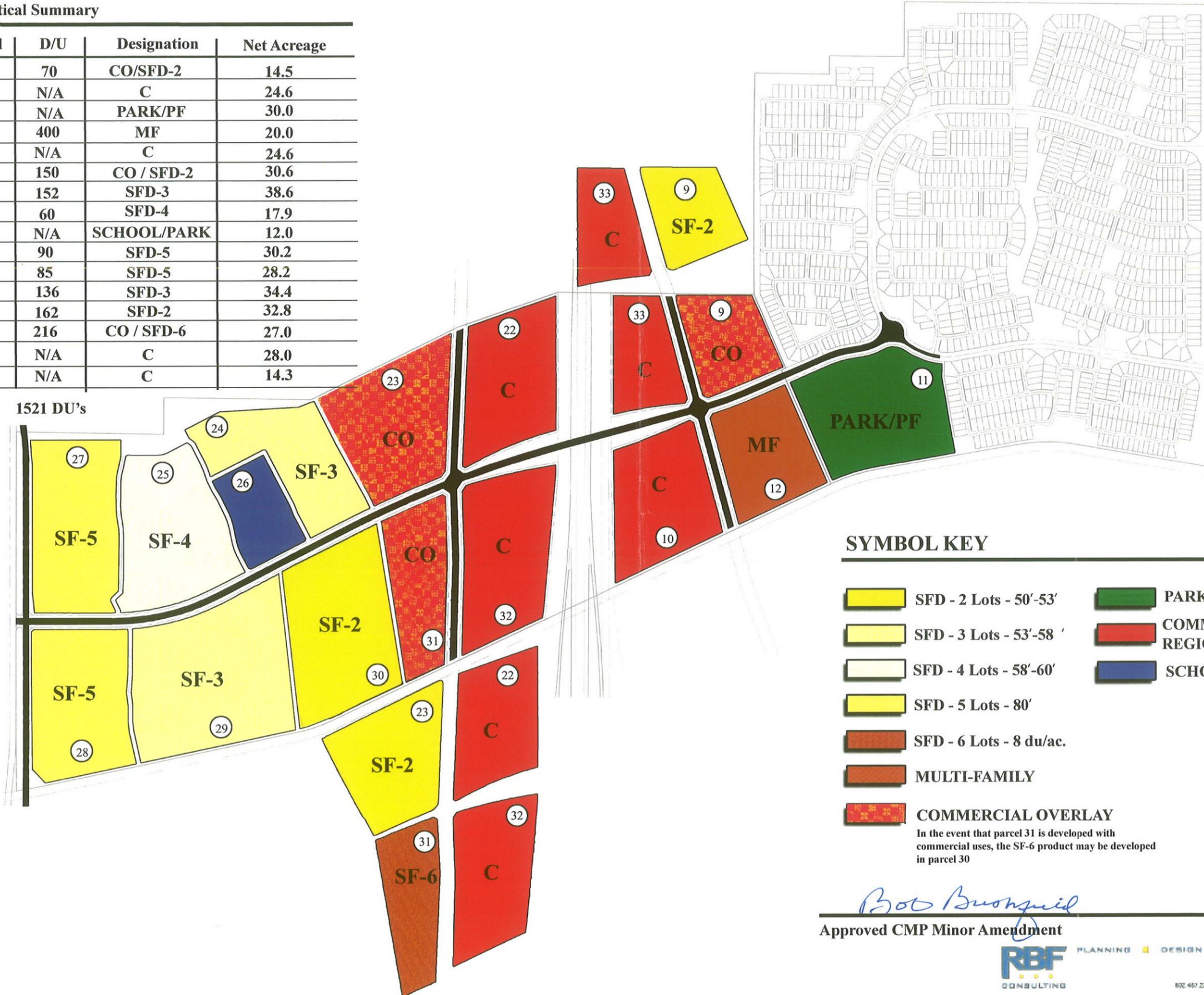
- More commercial property
- Land use shift reasons:
 - Park/public facilities previously relocated to east side of SR85—better accessibility through out CMP. 25 acres allocated to park, 5 acres allocated to public facilities (fire station and regional water campus)
 - Multifamily shifted to be adjacent to park
 - Freeway oriented commercial expanded and re-configured to provide better access and visibility
 - Added depth based upon updated commercial analysis
 - East side of parcel 9, east of collector road, designated as commercial overly/SF-2, residential—consistent with adjoining phase 2 residential area
- 8 dwelling units per acre shifted from east of SR85 to west, adjacent to commercial
- Collector roads (east and west) set at 110 feet, with alignments coordinated with the Town, ADOT and adjacent property owners
- Turner Road (110 feet right of way), split at RID canal/well, to maintain pump station—per town, RID and adjacent property owners approval

WESTPARK PHASE 3 LAND USE PLAN

Statistical Summary

Parcel	D/U	Designation	Net Acreage
9	70	CO/SFD-2	14.5
10	N/A	C	24.6
11	N/A	PARK/PF	30.0
12	400	MF	20.0
22	N/A	C	24.6
23	150	CO / SFD-2	30.6
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31	216	CO / SFD-6	27.0
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Total 1521 DU's



SYMBOL KEY

- SFD - 2 Lots - 50'-53'
- SFD - 3 Lots - 53'-58'
- SFD - 4 Lots - 58'-60'
- SFD - 5 Lots - 80'
- SFD - 6 Lots - 8 du/ac.
- MULTI-FAMILY
- COMMERCIAL OVERLAY
In the event that parcel 31 is developed with commercial uses, the SF-6 product may be developed in parcel 30
- PARK/PF
- COMMUNITY/REGIONAL SERVICES
- SCHOOL/PARK



Bob Brunquiel
Approved CMP Minor Amendment

3/18/08
Date



PLANNING ■ DESIGN ■ CONSTRUCTION

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