



**TARTESSO  
COMMUNITY MASTER PLAN  
AMENDMENT #2**

**SUMMARY INFORMATION**

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Revised Submittal  
February 22, 2006

## ***PURPOSE OF REQUEST***

Stardust Companies (“Stardust”) is proposing a second amendment the Tartesso Community Master Plan (“CMP”) for the following three reasons:

- Stardust has acquired additional parcels, a total of approximately 50 acres, in what is now Village 3 and seeks to add this property to the CMP and designate the property for single family and high density development. Adding contiguous property to a master plan is consistent with Town goals and objectives.
- Stardust has acquired 1,121 additional acres that was part of the approved Sun Valley South CMP, and seeks to develop this property as an integral part of the Tartesso community in Village 9.
- Stardust has assembled 312 acres at the southeast corner of Sun Valley Parkway and Van Buren, and likewise seeks to combine this property with approximately 168 acres already in the Tartesso Community Master Plan. The additional property is a significant and critical portion of the proposed Tartesso Town Center, a major new mixed use commercial center to be located immediately north of the I-10/Sun Valley Parkway freeway interchange.

## ***SECTION 1 – ADDITIONAL PARCELS***

### Village 3

The two additional parcels that Stardust is proposing to add to Village 3 have been designated Medium Density Residential and High Density Residential in accordance with the existing adjacent land uses.

### Village 9

The 1,121 acres that Stardust is proposing to add to Village 9, which was previously a part of Sun Valley South, is planned for Low Density Residential, Medium/Low Density Residential, Medium Density Residential, and Medium High Density Residential together with an elementary school site, parks and open space. A significant number of acres have been designed as Medium Density Residential/Open Space, pending final drainage design.

The 1,121 acres will be subject to the same quality development standards and design criteria.

### Tartesso Town Center (Village 4)

Stardust has assembled an additional 312 acres at the southeast corner of Sun Valley Parkway and Van Buren as a large part of the proposed Tartesso Town Center, a major regional commercial center. Village 4 has been planned as Commercial/Business Center.

In addition to the three specific additions to the Tartesso CMP listed above, other refinements to the plan are proposed. For example, the circulation pattern has been revised in Villages 3 and 4 to accommodate Tartesso Town Center and in Village 9 to accommodate the additional 1,121 acres. Other refinements to the design and theme of the project are shown in the CMP Notebook.

## ***SECTION 2 – SUMMARY OF REVISIONS TO THE TARTESSO CMP***

### ***Street Alignments***

In order to add the subject properties to the CMP, some adjustments in the streets alignments were necessary. McDowell Road has been added, due to plans by Maricopa County to have McDowell Road serve as a freeway reliever road for I-10.

### ***Land Use***

Some changes to the land plan have resulted from the addition of the property, but the changes are consistent with the planning philosophy behind the Tartesso master plan. Some higher density housing has been moved down to the McDowell Road alignment now that it has been designated as a regional arterial street.

### ***Town Center***

The 312 acres of property are proposed to be added to the CMP to develop a retail and commercial Town Center, including but not limited to, a variety of shopping areas, restaurants, hotels and motels, amusement areas and theatres, new and used automobile dealerships, office space, residential use, hospital and medical care facilities, and related uses. The land uses around the Town Center have been revised somewhat to add more housing and transition uses to ensure success and compatibility.

### ***Relationship to the Sun Valley South CMP Amendment***

This CMP amendment is proposed to be processed concurrently with the proposed CMP amendment for Sun Valley South. The purpose of linking the two amendments is to assure the Town that approval of this regional center will not affect the viability, and balance of land uses, in the regional center in Sun Valley South.

## ***SECTION 3 – SUPPORTING INFORMATION***

### ***Historical Data***

The Buckeye Town Council approved the Tartesso CMP on October 4, 2000 by Ordinance No. 71-00. The CMP was subsequently amended to add 2,593 contiguous acres, and Tartesso Amendment #1 was approved on October 15, 2002 by Ordinance No. 45-02.

## ***Engineering Report Addenda***

David Evans and Associates had prepared addenda to the *Conceptual Drainage Report and Water and Wastewater Master Plan*, and Kimley-Horn and Associates has prepared an updated *Traffic Analysis*. These documents are included in the CMP Notebook.

### ***Section 1 Exhibits***

The following revised exhibits are enclosed:

- Section 1 – Land Use Tables–Residential Units and Acreage*
- Section 2 – Development Standards*
- Exhibit A – Composite Master Plan Structure Pre-Amendment #2*
- Exhibit B – Composite Master Plan Structure Amendment #2*
- Exhibit C – Composite Master Plan Structure Post-Amendment #2*
- Exhibit D – Aerial Photograph*
- Exhibit E – Vicinity Map*
- Exhibit G – Master Plan*
- Exhibit K – Open Space Master Plan*
- Exhibit S – Landscape Master Plan*

[Note: The exhibits have been labeled to correspond with the Tartesso Amendment No. #2 CMP Notebook.]

TARTESSO-AMENDMENT #2  
 LAND USE TABLE--OVERALL  
 ACREAGE  
 2.11.06

Land Use	Village 1	Village 2	Village 3	Village 4	Village 5	Village 6	Village 7	Village 8	Village 9	Total	Total %
High Density Residential	16.1	-	108.8	-	-	-	88.1	-	-	213.0	2.9%
Medium/High Density Residential	34.0	-	261.4	-	-	99.7	171.2	48.5	154.9	769.7	10.6%
Medium/High Density Residential/Open Space	-	-	-	-	-	2.1	-	-	9.6	11.7	0.2%
Medium Density Residential	169.6	-	668.0	-	57.4	194.3	534.7	49.5	452.1	2,125.6	29.3%
Medium Density Residential/Open Space	7.1	-	-	-	-	10.4	24.5	5.8	238.5	286.3	3.9%
Medium/Low Density Residential	-	-	-	-	-	95.2	-	-	382.6	477.8	6.6%
Medium/Low Density Residential/Open Space	-	-	-	-	-	3.8	-	-	3.8	7.6	0.1%
Low Density Residential	-	-	-	-	141.3	130.5	-	-	284.5	556.3	7.7%
Low Density Residential/Open Space	-	-	-	-	12.8	-	-	-	-	12.8	0.2%
Elementary School	-	-	22.0	-	-	22.0	22.0	11.0	22.0	99.0	1.4%
High School	-	45.0	-	-	-	-	-	-	-	45.0	0.6%
Park	-	-	52.7	-	4.7	10.0	33.9	-	43.9	145.2	2.0%
Open Space	45.1	37.2	199.9	29.6	71.8	199.9	127.3	46.6	469.3	1,226.7	16.9%
Utility/Open Space	-	-	-	-	16.9	8.9	45.1	-	19.9	90.8	1.3%
Public Facility	-	-	5.9	-	-	-	-	-	-	5.9	0.1%
Commercial/Business Center	-	-	-	414.6	-	-	-	-	-	414.6	5.7%
Commercial	18.3	8.4	21.6	-	-	15.7	52.8	12.6	-	129.4	1.8%
Commercial/Open Space	1.6	-	-	-	-	2.0	-	-	-	3.6	0.0%
Mixed Use	-	132.6	55.3	-	-	-	30.5	-	-	218.4	3.0%
Wastewater Treatment Facility/Mixed Use	-	-	57.0	-	-	-	-	-	-	57.0	0.8%
Right-Of-Way	27.6	21.9	90.4	36.0	18.3	29.8	74.0	6.0	61.0	365.0	5.0%
Total	319.4	245.1	1,543.0	480.2	323.2	824.3	1,204.1	180.0	2,138.3	7,257.6	100.0%

TARTESSO-AMENDMENT #2  
 LAND USE TABLE-OVERALL  
 RESIDENTIAL UNITS  
 2.11.06

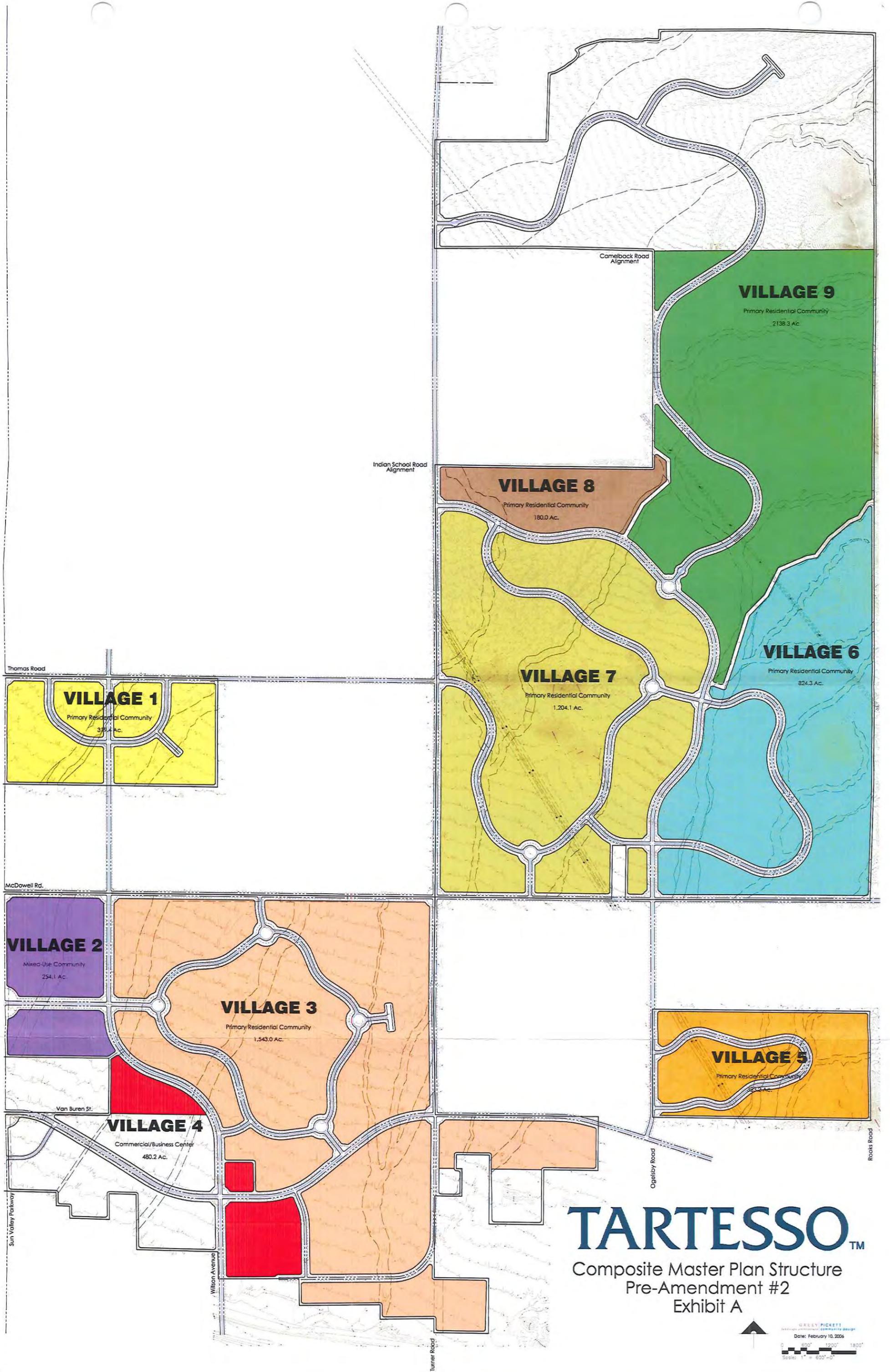
Land Use	Village 1	Village 2	Village 3	Village 4	Village 5	Village 6	Village 7	Village 8	Village 9	Total	Total %
High Density Residential	403	-	2,722	-	-	-	2,204	-	-	5,329	20.3%
Medium/High Density Residential	340	-	2,614	-	-	997	1,712	485	1,549	7,697	29.3%
Medium/High Density Residential/Open Space	-	-	-	-	263	894	2,459	228	2,080	9,778	37.2%
Medium Density Residential	781	-	3,073	-	-	-	-	-	-	-	0.0%
Medium Density Residential/Open Space	-	-	-	-	-	333	-	-	1,339	1,672	6.4%
Medium/Low Density Residential	-	-	-	-	283	261	-	-	568	1,112	4.2%
Low Density Residential	-	-	-	-	-	-	-	-	-	-	0.0%
High School	-	-	-	-	-	-	-	-	-	-	0.0%
Elementary School	-	-	-	-	-	-	-	-	-	-	0.0%
Mixed Use	-	332	138	-	-	-	76	-	-	546	2.1%
Wastewater Treatment Facility/Mixed Use	-	-	143	-	-	-	-	-	-	143	0.5%
Total	1,524	332	8,690	-	546	2,485	6,451	713	5,536	26,277	100.0%



Tartesso  
A Master Planned Community

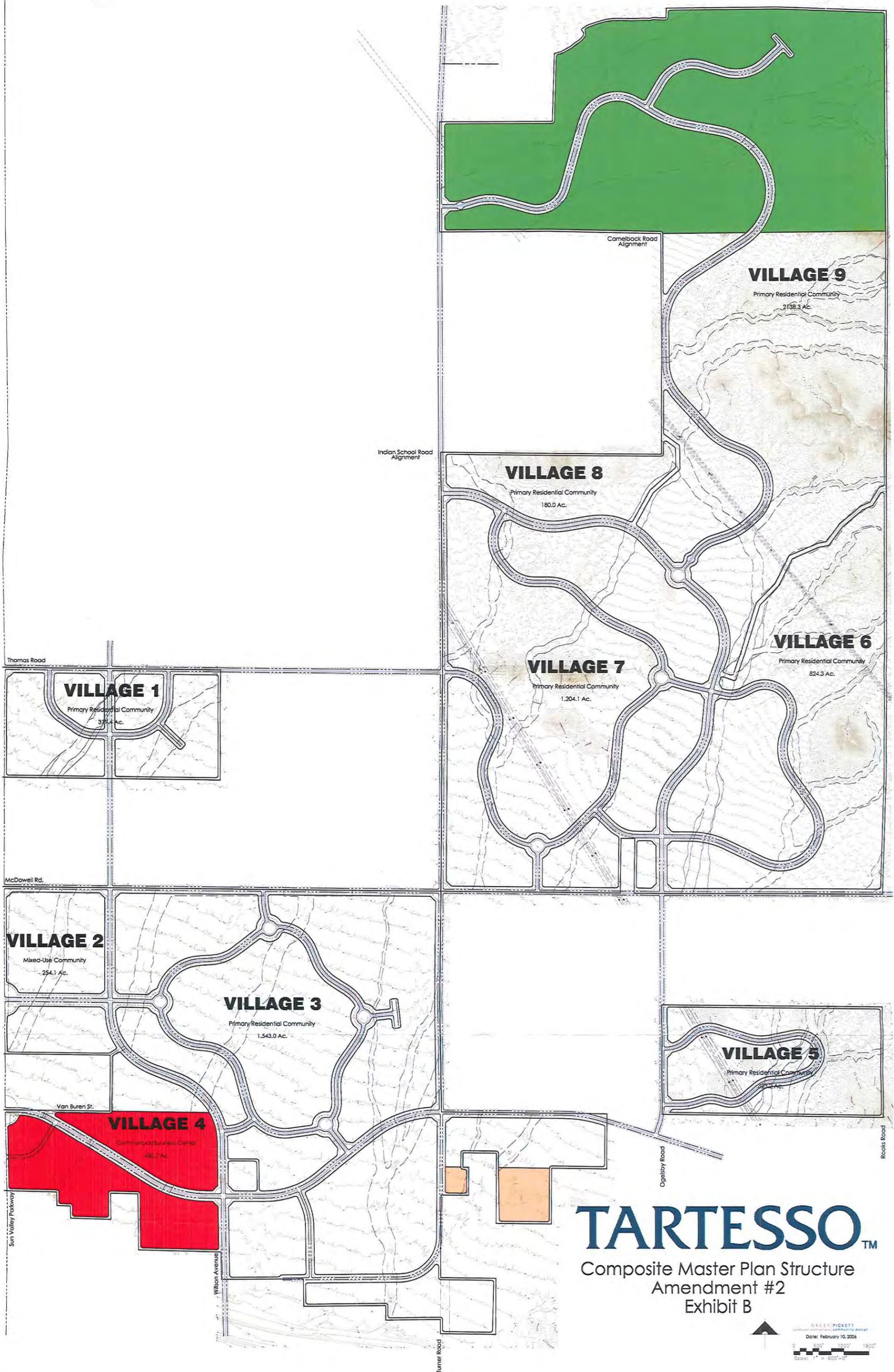
VICINITY MAP

-  TARTESSO - AMENDMENT #2
-  TARTESSO - AMENDMENT #1
-  TARTESSO



# TARTESSO™

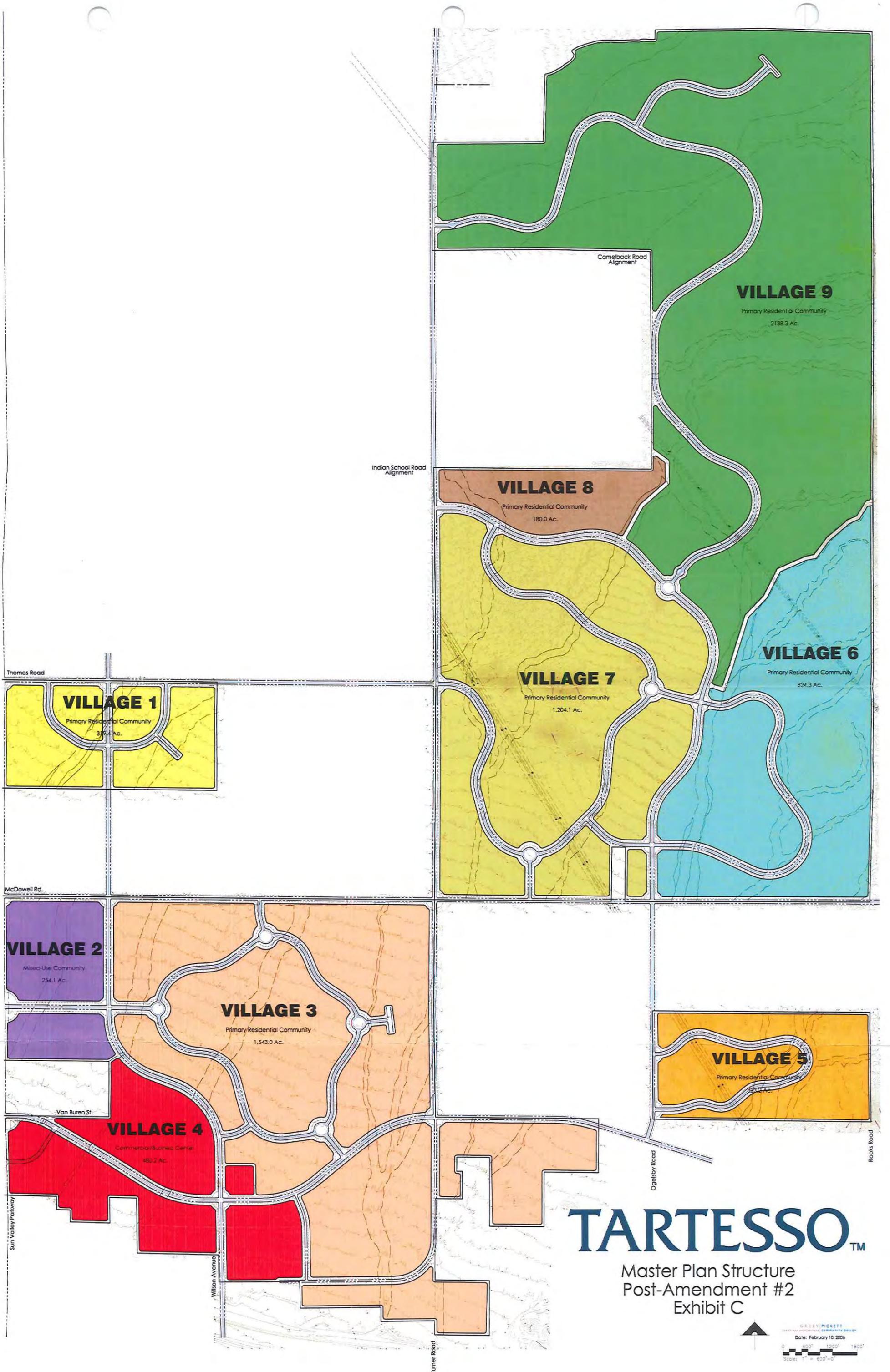
Composite Master Plan Structure  
Pre-Amendment #2  
Exhibit A



# TARTESSO™

Composite Master Plan Structure  
Amendment #2  
Exhibit B

GREY PICKETT  
landscape architecture community design  
Date: February 10, 2006  
Scale: 1" = 600'-0"



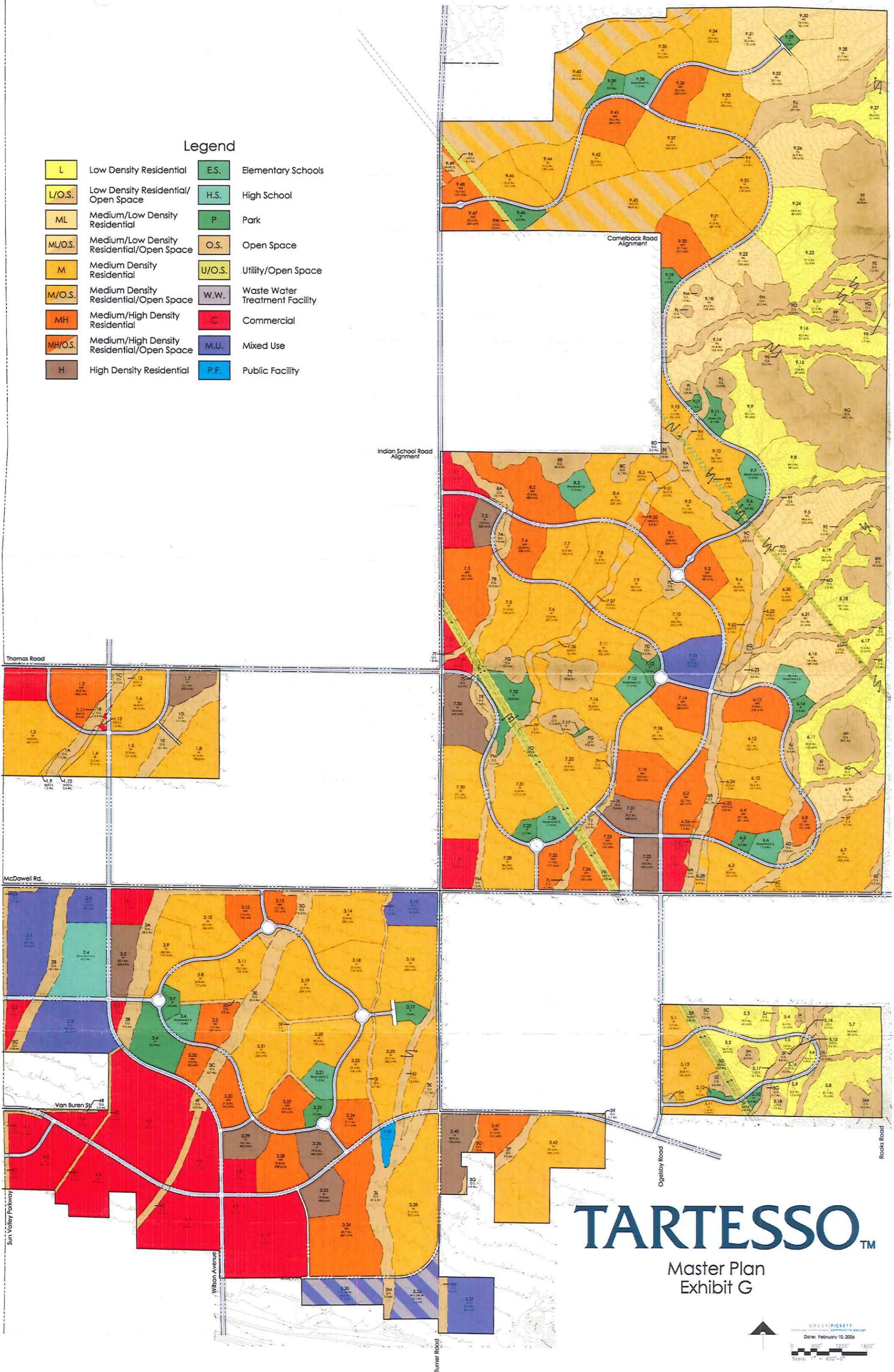
# TARTESSO™

Master Plan Structure  
Post-Amendment #2  
Exhibit C


  
GREENPICKETT  
LANDSCAPE ARCHITECTURE COMMUNITY DESIGN  
 Date: February 10, 2006  
 0 600' 1200' 1800'  
 Scale: 1" = 600'-0"

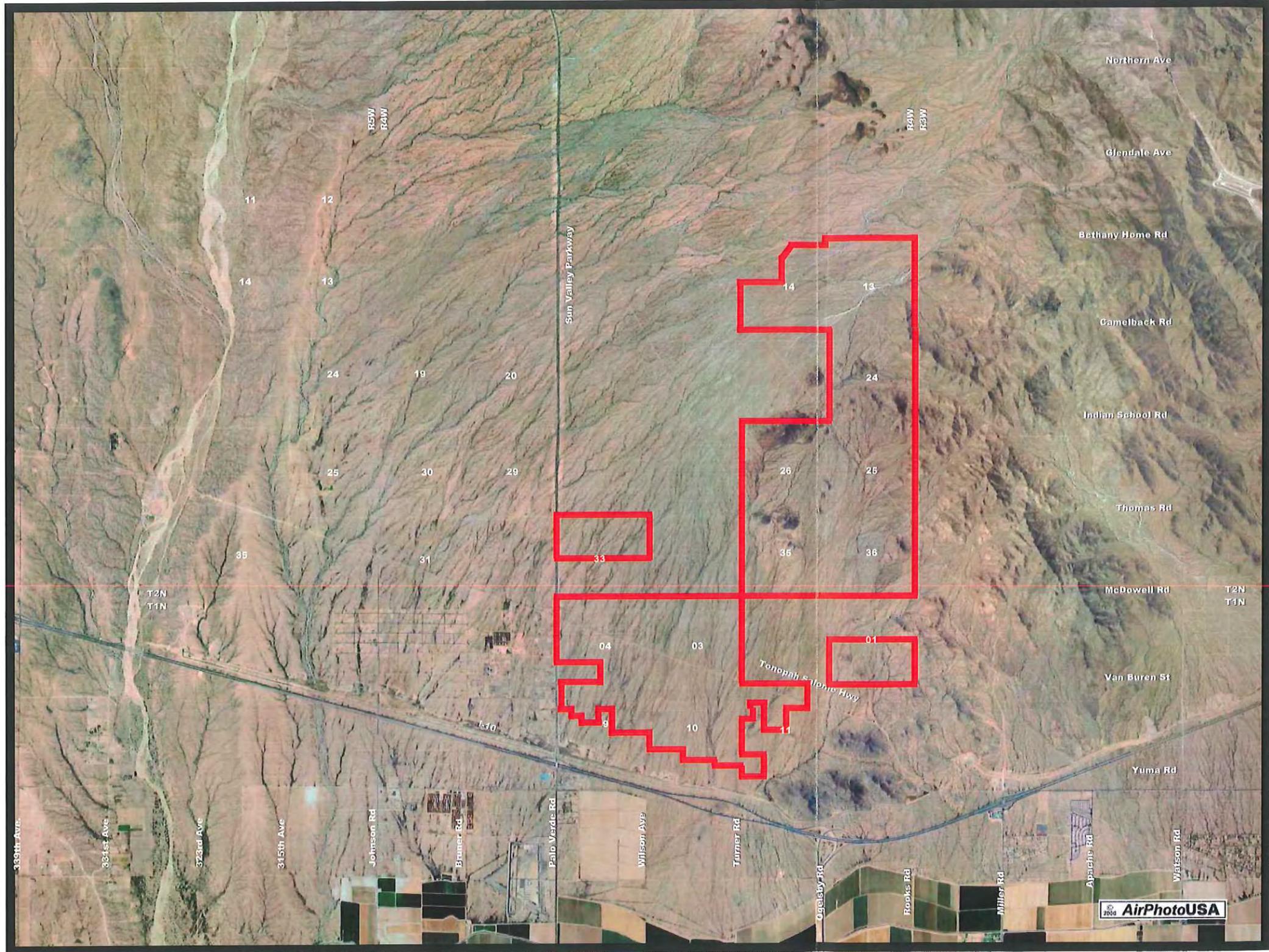
**Legend**

<b>L</b> Low Density Residential	<b>E.S.</b> Elementary Schools
<b>L/O.S.</b> Low Density Residential/Open Space	<b>H.S.</b> High School
<b>ML</b> Medium/Low Density Residential	<b>P</b> Park
<b>ML/O.S.</b> Medium/Low Density Residential/Open Space	<b>O.S.</b> Open Space
<b>M</b> Medium Density Residential	<b>U/O.S.</b> Utility/Open Space
<b>M/O.S.</b> Medium Density Residential/Open Space	<b>W.W.</b> Waste Water Treatment Facility
<b>MH</b> Medium/High Density Residential	<b>C</b> Commercial
<b>MH/O.S.</b> Medium/High Density Residential/Open Space	<b>M.U.</b> Mixed Use
<b>H</b> High Density Residential	<b>P.F.</b> Public Facility



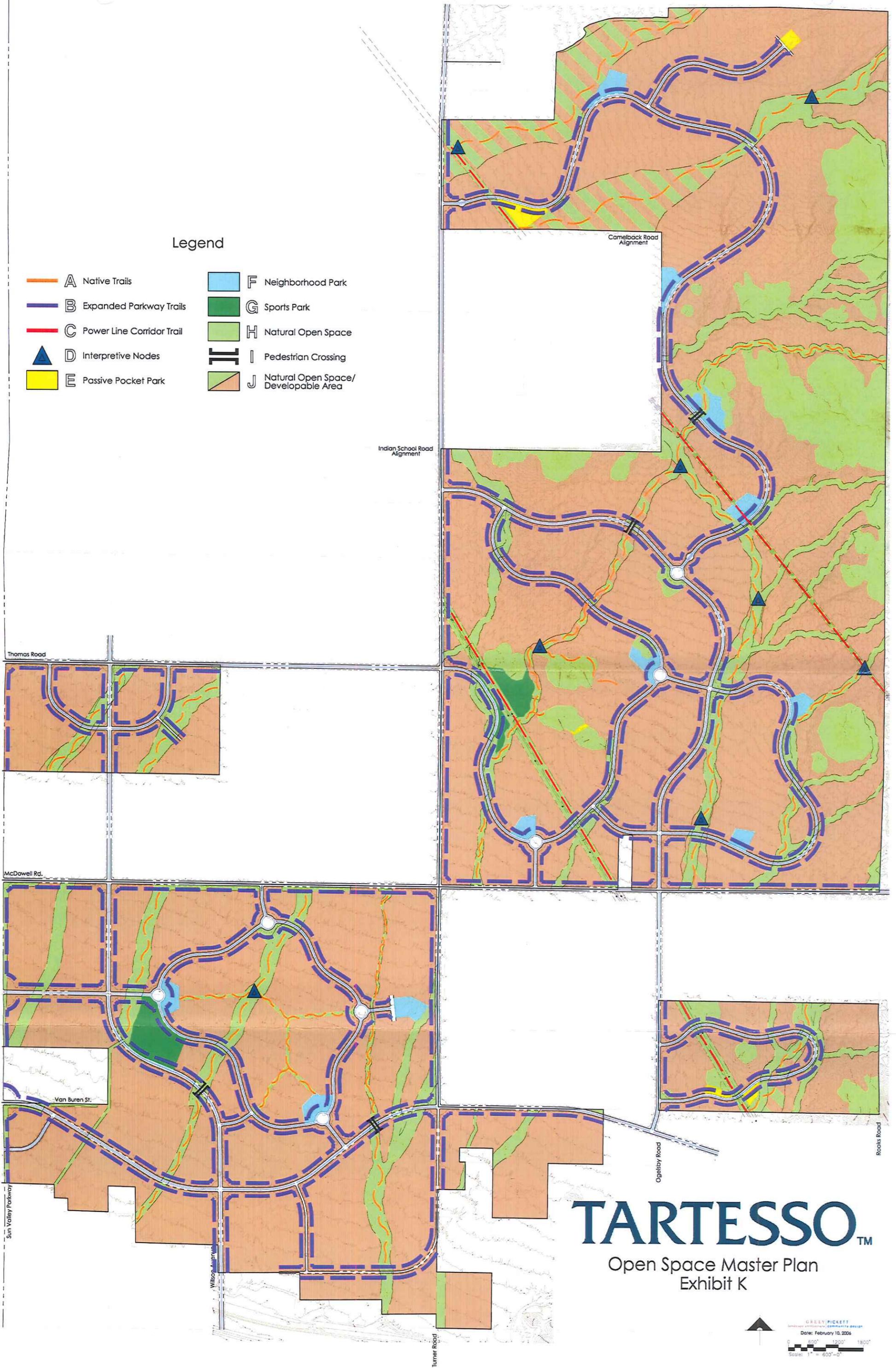
# TARTESSO™

Master Plan  
Exhibit G



Legend

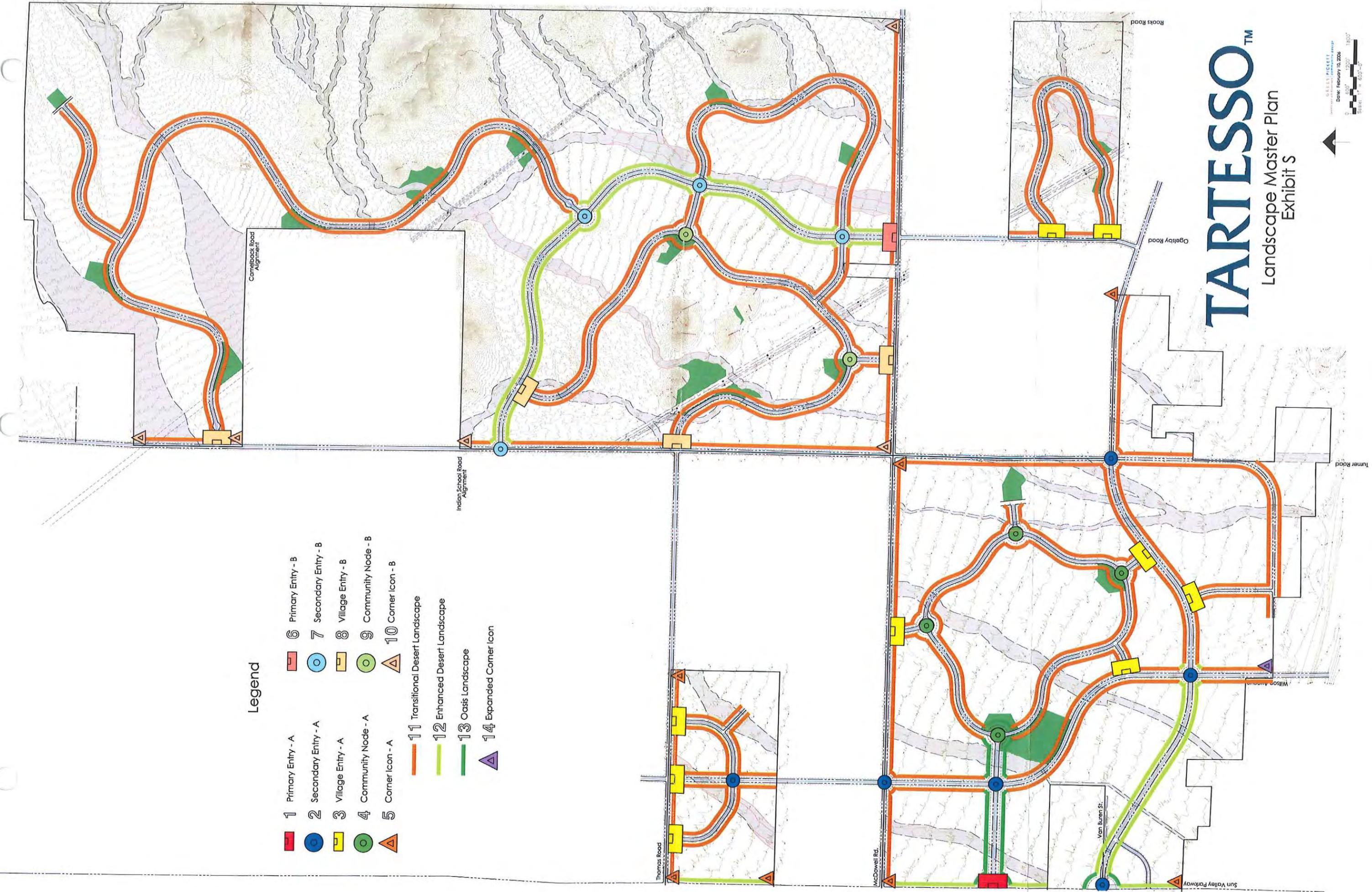
- |  |   |
|--|---|
|  A Native Trails             |  F Neighborhood Park                   |
|  B Expanded Parkway Trails   |  G Sports Park                         |
|  C Power Line Corridor Trail |  H Natural Open Space                  |
|  D Interpretive Nodes        |  I Pedestrian Crossing                 |
|  E Passive Pocket Park       |  J Natural Open Space/Developable Area |



# TARTESSO™

Open Space Master Plan  
Exhibit K

GREY PICKETT  
landscape architecture community design  
Date: February 10, 2006  
Scale: 1" = 600'-0"



Legend

- |                       |                                  |
|-----------------------|----------------------------------|
| 1 Primary Entry - A   | 6 Primary Entry - B              |
| 2 Secondary Entry - A | 7 Secondary Entry - B            |
| 3 Village Entry - A   | 8 Village Entry - B              |
| 4 Community Node - A  | 9 Community Node - B             |
| 5 Corner Icon - A     | 10 Corner Icon - B               |
|                       | 11 Transitional Desert Landscape |
|                       | 12 Enhanced Desert Landscape     |
|                       | 13 Oasis Landscape               |
|                       | 14 Expanded Corner Icon          |

# TARTESSO™

Landscape Master Plan  
Exhibit S



# TARTESSO

**COMMUNITY MASTER PLAN  
ZONING SUBMITTAL  
TOWN OF BUCKEYE, ARIZONA**

**FINAL DOCUMENT: AUGUST 31, 2000**

**STARDUST CHARITABLE FUND  
6730 N. SCOTTSDALE ROAD, SUITE 230  
SCOTTSDALE, ARIZONA 85253  
TELEPHONE: 480.607.5800  
FAX: 480.607.5801**

**TARTESSO  
COMMUNITY MASTER PLAN  
LEVEL 2  
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Note: The exhibits in the CMP booklet are conceptual illustrations reflecting the intent of the master plan rather than the final design.

**TARTESSO  
COMMUNITY MASTER PLAN**

**Project Introduction & Overview**

Tartesso is a proposed 3,186-acre master-planned community located immediately west of the White Tank Mountains in the Phoenix Metropolitan Area. The official application to annex portions of the site that were within an unincorporated area of Maricopa County has been completed. All of Tartesso is now within the Town of Buckeye.

Interstate 10 and the Sun Valley Parkway, which includes a major freeway interchange, will provide primary access to Tartesso from the west. Interstate 10 and Miller Road will provide secondary access to Tartesso through the White Tank Mountain Foothills by the proposed realignment of the Tonopah-Salome Highway (to be renamed the "Tartesso Parkway"). Driving time from downtown Phoenix is approximately 40 minutes.

The Primary Entry to Tartesso will be located on the east side of the Sun Valley Parkway, approximately 1¼ miles north of Interstate 10. This major entry amenity will serve as the community gateway. Secondary, Village and Neighborhood Entries will create a cohesive sense of community.

The Tartesso Recreation System features a hierarchy of amenities. The 33.3 acre major Recreational Center is located immediately east of the Primary Entry within the Round-A-Bout. The 16.9 acre Sports Park is located south of the Recreational Center. Neighborhood and Pocket Parks are located throughout the community, connected by Neighborhood and Open Space Paseos. Well-designed Street Sections with pedestrian

and cyclist underpasses complete the community trail system and provide safe access under major roadways.

The design team visited many of the prominent master-planned communities in the Southwest. The Tartesso traffic circulation system, which is the heart of the Tartesso community design, relies on two Round-A-Bouts which have been used successfully as a means to convey traffic without the traditional traffic signal grid system. The proposed street section design complements the Round-A-Bout system with medians and enhanced landscape parkways. Both design concepts combine to soften the circulation system, creating a very livable community. The land uses flow naturally from the circulation pattern.

The infrastructure support system for Tartesso will provide the necessary levels of service to accommodate the Tartesso community. The drainage system will conserve all of the significant drainage corridors with minimal physical containment to create a natural, open drainage system. The water supply will come from wells located on property located closer to the Hassayampa River, which sits over a very large, high quality aquifer. A treatment plant will be used for wastewater. This plant will be located at the south end of Village 3 close to the Interstate 10 corridor. The plant will effectively treat the community wastewater, and provide a source of effluent water for recreational amenities and lakes.

The design team includes the following key people:

- Wendell Pickett and Russ Greey with Greey/Pickett. Mr. Pickett, Mr. Greey and their staff are providing high quality land planning, development standards, and landscape architecture design.
  
- Chuck Wright with Kimley-Horn & Associates. Mr. Wright and his staff are providing traffic engineering services, helping to design the Round-A-Bout

concept and ensure that the proposed design provides adequate traffic capacity and circulation now and in the future.

- David George, Teri Mintz and Greg Barry with David Evans and Associates. Mr. George, Ms. Mintz and Mr. Barry and their staff are providing civil engineering services, and will design the drainage, water and wastewater systems.

- Allan Converse with Diamond Engineering. Mr. Converse will design a modern wastewater treatment plant to meet the expanding needs of the Tartesso community. Mr. Converse will also help design the effluent water system.

- Stephen Noel with Southwest Ground-water Consultants. Mr. Noel, a leading groundwater consultant, will conduct the studies necessary to provide the water supply for the Tartesso community. Mr. Noel has already done extensive work in this area.

These key people, together with the owners, are committed to provide the Town of Buckeye with a state-of-the art master planned community.

It is important to note the Arizona State Land Department owns the large tracts of land that creates separation between several of the Tartesso Villages. Although Arizona State Statutes currently prohibit land exchanges without an affirming public vote, the owner may pursue the land planning permits at a later date, after completing the Tartesso entitlement process.

**TARTESSO  
COMMUNITY MASTER PLAN**

**Project Site Description**

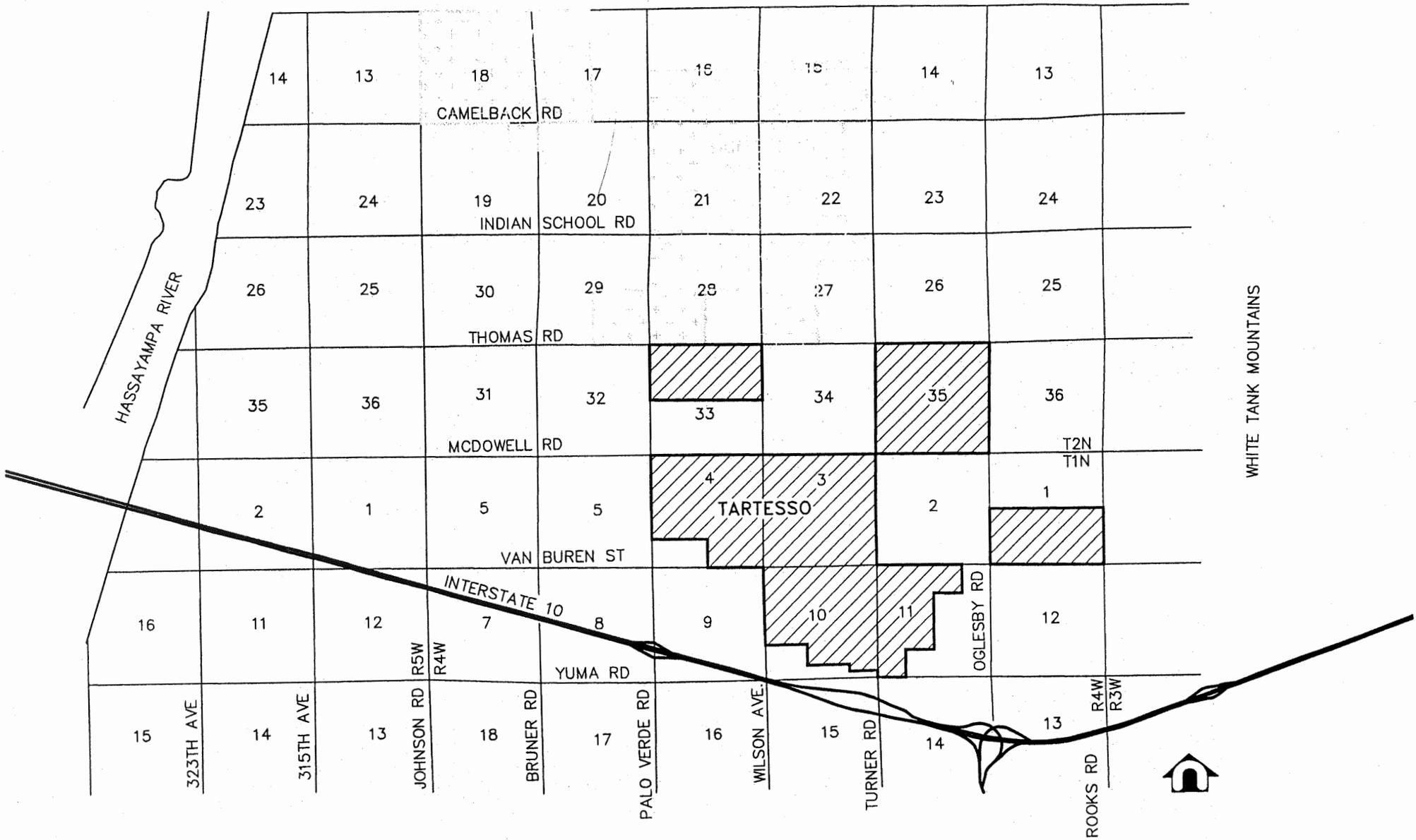
The project site is an irregularly shaped grouping of parcels situated between the White Tank Mountains and the Hassayampa River. The site includes portions of Sections 1, 3, 4, 10 and 11, Township 1 North, Range 4 West and Sections 33 and 35, Township 2 North, Range 4 West. The northern boundary is the Thomas Road alignment, southern boundary is Interstate 10, eastern boundary is the White Tank Mountains and western boundary is the Sun Valley Parkway. All but two of the parcels are contiguous.

***Existing Conditions***

The project site is currently undeveloped desert land consisting primarily of creosotebush and white bursage. Several north-south drainage corridors pass through the site. The property slope ranges from less than one percent to greater than 25 percent at the base of the White Tank Mountains.

The Tonopah-Salome Highway traverses the site from Miller Road to the Sun Valley Parkway. The highway is unpaved but maintained by Maricopa County.





# Tartesso

A Master Planned Community

## VICINITY MAP

**TARTESSO  
COMMUNITY MASTER PLAN**

**Land Use**

The Project Introduction and Overview presented the general design concepts for Tartesso. This section will explain the land uses in more detail. Land use charts for each Village, as well as acreage and residential unit summaries, are presented at the end of the section. Densities of individual residential projects/subdivisions will vary from 0-2 dwelling units per acre up to 25 dwelling units per acre. Overall density is specifically permitted as shown in the CMP due to the extensive amount of community open space and facilities provided.

As mentioned previously, Tartesso is primarily a residential community, with supporting non-residential uses and an extensive recreational and open space system most of which are designated herein. Four (4) elementary school sites are conceptually shown in Villages 1, 2, 4 and 6 and a high school site in Village 1. Additional elementary school sites will be incorporated into the Villages as the need arises, in accordance with formal agreements to be executed with the Buckeye Union High School, Palo Verde, and Ruth Fisher Districts. The circulation system is integrated with the land use plan through the use of two major traffic Round-A-Bouts.

***Village Character:***

Tartesso is planned as a series of seven Villages. After entering the community at the Primary Entry off of Sun Valley Parkway, residents drive east on the landscaped Entry Collector road to the Recreational Center Round-A-Bout and are then dispersed to the first four villages:

□ Village 1, a Primary Residential Community, is located immediately east of the Sun Valley Parkway. The main focal point is the Recreational Center, located within the Round-A-Bout. The Sports Park is located south of the Recreational Center. Medium Density Residential is the predominant land use, with an appropriate mix of Medium/High and High Density Residential parcels. There is a small commercial site at the entry. Uses at this location are envisioned to include neighborhood level retail and services uses that meet the day-to-day or weekly needs of nearby residents. An elementary school site is shown just west of the Round-A-Bout. The combined open space categories equal 44% of the land area. The approximate size of the village is 324 acres.

□ Village 2, planned as a more upscale Recreational Residential Community, is located east of Village 1, and is again comprised primarily of Medium Density Residential with an appropriate mix of Medium/High and High Density Residential parcels. Village 2 includes another elementary school site, and the combined open space categories equal 29% of the land area. The approximate size of the village is 849 acres.

□ Village 3, the Town Center, is located south of Village 2 in the south central portion of the community. The Promenade Arterial connects the Residential Center Round-A-Bout and the Town Center Round-A-Bout. The Promenade Arterial, with a widened median and expanded landscape parkways, will provide the central community thoroughfare and a very pleasant driving, cycling or pedestrian experience. The predominant land use is Mixed Use, with a large Commercial parcel and some High and Medium/High Residential. The higher density residential uses can include apartments, condominiums, and cluster housing neighborhoods. The higher intensity land uses are located closer to Interstate 10, to provide a buffer for the residential neighborhoods and to take advantage of the anticipated future freeway interchange at Wilson Road. The

approximate size of the Town Center is 437 acres. It is envisioned that the uses in this Village would include:

- Office/Business Parks
- Mid-Rise Offices
- Small Tenant Industrial Parks
- Large Tenant Industrial Parks
- Commercial
- Entertainment
- Parks/Plazas
- Civic/Philanthropic/Institutional
- Auto Sales Centers

□ Village 5, located north of Village 1, is another Primary Residential Community, with Medium Density Residential as the major land use. An Internal Arterial, with a median and landscape parkways, connects Village 5 to the Recreational Center Round-A-Bout. There are two Medium/High Density Residential parcels, and one High Density Residential parcel. A relatively small commercial site is planned adjacent to the arterial street. Uses at this location are envisioned to include neighborhood level retail and services uses that meet the day-to-day or weekly needs of nearby residents. The combined open space categories equal 22% of the land area. The approximate size of the village is 315 acres.

The Tartesso Parkway (the realigned Tonopah-Salome Highway), designated as an Internal Arterial, provides the connection from the Town Center Round-A-Bout east to the remaining three residential villages.

□ Village 4, located east of the Town Center, is the third Primary Residential Community. Once again, Medium Density Residential is the predominant land

use. The combined open space categories equal 24% of the land area. The approximate size of the village is 306 acres.

- Village 7 is the most eastern village, located just north of the Tartesso Parkway. Low Density Residential is the primary land use. This 323 acre village, located in the foothills of the White Tank Mountains, will be a more upscale neighborhood with larger hillside lots and views. There is a small commercial site at the entry. Uses at this location are envisioned to include neighborhood level retail and services uses. The combined open space categories equal 33% of the land area.

- Village 6 is connected to Village 7 by an Internal Arterial from Tartesso Parkway and is the second designated Recreational Residential Community. Due to its location and recreational component, this village would be the most likely location for age-restricted housing. Village 6 would also be accessible from Thomas Road once it is built. This village provides the best opportunity to maintain privacy for active retirees. Recreational amenities are planned, whether the ultimate choice is traditional or age-restricted neighborhoods. The primary land use is Medium Density Residential, with an appropriate mix and High and Medium/High Residential parcels. The commercial and mixed-use sites are located along the western boundary and are envisioned to provide neighborhood level uses including some offices. If Village 6 is developed as an age restricted community, the elementary school site will be shifted to Village 4 or 5. The combined open space categories equal 29% of the land area, and the approximate overall size is 631 acres.

In summary, Tartesso has been designed as a Residential Community, with the appropriate mix of supporting land uses. Medium Density Residential is the major land use category, comprising 40% of the land area. The remaining residential land uses—High, Medium/High and Low Density equal 16%. Mixed Use, Commercial and

Utility Land Uses equal 9%. Combined open space uses—Elementary Schools, Parks, Open Space and Utility/Open Space—comprise 27% of the land area. And rights-of-way provide the remaining 8%.

**TARTESSO  
COMMUNITY MASTER PLAN**

***Residential Permitted Uses***

- Age restricted housing
- Churches
- Golf course/resort and customary accessory uses
- Guest houses
- Home occupations subject to the following:
  - The number of employees shall be restricted to one non-family member or permanent resident in addition to the principal occupant;
  - No heavy machinery or outdoor storage;
  - No signage.
- Mixed Residential Uses
  - High Density Residential, >15 dwelling units per acre
    - Attached/Detached/Cluster/Apartments
  - Medium/High Density Residential, 5-15 dwelling units per acre
    - Attached/Detached/Cluster/Apartments
  - Medium Density Residential, 2-5 dwelling units per acre
    - Attached/Detached/Cluster
  - Low Density Residential, 0-2 dwelling units per acre
    - Detached
- Places of worship
- Parks, public and private
- Schools, public and private
- Timeshare units
- Temporary uses including sales/marketing facilities, model home complexes, construction trailers and related accessory uses.

- Public utility building and facilities

Accessory Uses:

Subordinate uses of a building, other structure or the land are allowed as accessory uses when the subordinate use is:

Clearly incidental to the use of the main building, other structure, or use of land.

**TARTESSO**  
**COMMUNITY MASTER PLAN**

*Commercial/Mixed Use Permitted Uses*

- All uses permitted in the Residential Land Use designation
- Automobile, boat or recreational vehicle sales, service and rental
- Automobile, boat or recreational vehicle storage
- Banks and others savings and lending institutions
- Bowling alley
- Building material sales (outdoor)
- Cabinet making/woodworking
- Cemetery
- Church and parish house
- Clinic/health care facility
- Club, private nonprofit
- Contractors storage yard
- Convenience storage/self-storage facilities
- Convenience uses including drive-in uses
- Day care centers
- Equipment and tool rental
- Funeral home
- Gas station/convenience store
- Golf course/resort and customary accessory uses
- Greenhouse
- Home improvement centers
- Home occupation
- Hospitals
- Hotels/motels

- Industrial, scientific or business research development and testing laboratories and offices
- Liquor stores
- Lumberyard
- Mini warehouse for storage purposes without retailing
- Machinery and equipment storage
- Machinery sales and services
- Manufacturing, fabrication and assembly
- Museum
- Nursing home
- Places of public assembly
- Places of worship
- Plant nurseries, retail
- Plant nurseries, wholesale
- Professional, business and administrative offices
- Residential, medium/high to high density
- Restaurants and bars
- Retail, convenience establishment
- Retail, general establishment
- Schools, public and private
- Service establishment
- Shopping center/plaza mall
- Sports facilities, including stadiums and customary accessory uses
- Veterinary clinic
- Veterinary hospital
- Warehousing and distribution, retail
- Warehousing and distribution, wholesale

Accessory Uses:

Subordinate uses of a building, other structure or the land are allowed as accessory uses when the subordinate use is:

Clearly incidental to the use of the main building, other structure, or use of land.

TARTESSO  
 LAND USE TABLE  
 ACREAGE

Land Use	Village 1	Village 2	Village 3	Village 4	Village 5	Village 6	Village 7	Total	Total %
High Density Residential	12.0	10.9	46.4	-	12.4	12.0	-	93.7	2.9%
Medium/High Density Residential	29.4	65.1	65.2	14.9	33.1	59.5	-	267.2	8.4%
Medium Density Residential	84.2	484.3	-	190.6	160.2	306.0	43.6	1,268.9	39.8%
Low Density Residential	-	-	-	-	-	-	146.5	146.5	4.6%
Elementary School	10.2	12.0	-	11.0	-	11.6	-	44.8	1.4%
High School	45.0	-	-	-	-	-	-	45.0	1.4%
Park	50.2	3.0	-	-	7.3	12.9	4.5	77.9	2.4%
Open Space	35.8	233.0	35.6	63.0	61.7	127.1	85.6	641.8	20.1%
Utility/Open Space	-	-	-	-	-	34.2	16.6	50.8	1.6%
Utility	-	-	20.0	-	-	1.5	-	21.5	0.7%
Commercial	7.4	-	32.1	-	4.5	11.9	1.4	57.3	1.8%
Mixed Use	-	-	202.6	-	-	13.0	-	215.6	6.8%
Rights-Of-Way	50.0	41.1	35.2	27.2	35.6	41.7	24.7	255.5	8.0%
<b>Total</b>	<b>324.2</b>	<b>849.4</b>	<b>437.1</b>	<b>306.7</b>	<b>314.8</b>	<b>631.4</b>	<b>322.9</b>	<b>3,186.5</b>	<b>100.0%</b>

TARTESSO  
 LAND USE TABLE  
 RESIDENTIAL UNITS

Land Use	Village 1	Village 2	Village 3	Village 4	Village 5	Village 6	Village 7	Total	Total %
High Density Residential	300	272	1,160	-	310	300	-	2,342	20.6%
Medium/High Density Residential	294	651	652	149	331	595	-	2,672	23.5%
Medium Density Residential	435	2,281	-	926	737	1,459	200	6,038	53.2%
Low Density Residential	-	-	-	-	-	-	295	295	2.6%
<b>Total</b>	<b>1,029</b>	<b>3,204</b>	<b>1,812</b>	<b>1,075</b>	<b>1,378</b>	<b>2,354</b>	<b>495</b>	<b>11,347</b>	<b>100.0%</b>

TARTESSO  
 LAND USE TABLE  
 VILLAGE 1

Land Use	Parcel No.	Acres	Units	Density
High Density Residential	1.5	12.0	300	25.0
Medium/High Density Residential	1.2	14.7	147	10.0
Medium/High Density Residential	1.13	14.7	147	10.0
Medium Density Residential	1.4	28.8	133	4.6
Medium Density Residential	1.11	35.6	164	4.6
Medium Density Residential	1.12	19.8	91	4.6
Elementary School	1.10	10.2	47	4.6
High School	1.1	45.0	-	-
Park	1.6	16.9	-	-
Park	1.7	11.1	-	-
Park (Lake)	1.8	7.0	-	-
Park	1.9	15.2	-	-
Open Space	1A	23.6	-	-
Open Space	1B	12.2	-	-
Commerical	1.3	7.4	-	-
Rights-Of-Way		50.0	-	-
Total		324.2	1,029	

Summary	Acres	Units	Acreage %
High Density Residential	12.0	300	4%
Medium/High Density Residential	29.4	294	9%
Medium Density Residential	84.2	388	26%
Low Density Residential	-	-	0%
School/Park/Open Space/Utility Open Space	141.2	47	44%
Utility	-	-	0%
Commercial	7.4	-	2%
Mixed Use	-	-	0%
Rights-Of-Way	50.0	-	15%
Total	324.2	1,029	100%

NOTE: In the event of a school relocation, the density of the school site shall be medium.

TARTESSO  
 LAND USE TABLE  
 VILLAGE 2

Land Use	Parcel No.	Acres	Units	Density
High Density Residential	2.5	10.9	272	25.0
Medium/High Density Residential	2.1	12.4	124	10.0
Medium/High Density Residential	2.6	7.8	78	10.0
Medium/High Density Residential	2.7	18.2	182	10.0
Medium/High Density Residential	2.13	26.7	267	10.0
Medium Density Residential	2.2	23.9	110	4.6
Medium Density Residential	2.3	54.0	248	4.6
Medium Density Residential	2.4	42.0	193	4.6
Medium Density Residential	2.8	34.4	158	4.6
Medium Density Residential	2.9	29.9	137	4.6
Medium Density Residential	2.10	45.8	211	4.6
Medium Density Residential	2.12	55.0	253	4.6
Medium Density Residential	2.14	56.8	261	4.6
Medium Density Residential	2.15	49.8	229	4.6
Medium Density Residential	2.16	45.0	207	4.6
Medium Density Residential	2.17	28.2	130	4.6
Medium Density Residential	2.18	19.5	89	4.6
Elementary School	2.11	12.0	55	4.6
Park	2.19	3.0	-	-
Open Space	2A	9.6	-	-
Open Space	2B	21.3	-	-
Open Space	2C	18.5	-	-
Open Space	2D	17.7	-	-
Open Space	2E	76.6	-	-
Open Space	2F	7.5	-	-
Open Space	2G	5.2	-	-
Open Space	2H	7.1	-	-
Open Space	2I	4.8	-	-
Open Space	2J	64.7	-	-
Rights-Of-Way		41.1	-	-
<b>Total</b>		<b>849.4</b>	<b>3,204</b>	

Summary	Acres	Units	Acreage %
High Density Residential	10.9	272	1%
Medium/High Density Residential	65.1	651	8%
Medium Density Residential	484.3	2,226	57%
Low Density Residential	-	-	0%
School/Park/Open Space/Utility Open Space	248.0	55	29%
Utility	-	-	0%
Commercial	-	-	0%
Mixed Use	-	-	0%
Rights-Of-Way	41.1	-	5%
<b>Total</b>	<b>849.4</b>	<b>3,204</b>	<b>100%</b>

NOTE: In the event of a school relocation, the density of the school site shall be medium.

TARTESSO  
 LAND USE TABLE  
 VILLAGE 3

Land Use	Parcel No.	Acres	Units	Density
High Density Residential	3.1	14.3	358	25.0
High Density Residential	3.4	17.4	435	25.0
High Density Residential	3.5	14.7	367	25.0
Medium/High Density Residential	3.2	23.0	230	10.0
Medium/High Density Residential	3.3	23.0	230	10.0
Medium/High Density Residential	3.6	19.2	192	10.0
Open Space	3A	4.1	-	-
Open Space	3B	11.7	-	-
Open Space	3C	3.7	-	-
Open Space	3D	9.4	-	-
Open Space	3E	6.7	-	-
Utility	3.9	20.0	-	-
Commercial	3.7	32.1	-	-
Mixed Use	3.8	29.8	-	-
Mixed Use	3.10	31.8	-	-
Mixed Use	3.11	70.9	-	-
Mixed Use	3.12	20.3	-	-
Mixed Use	3.13	17.1	-	-
Mixed Use	3.14	32.7	-	-
Rights-Of-Way		35.2	-	-
<b>Total</b>		<b>437.1</b>	<b>1,812</b>	

Summary	Acres	Units	Acreage %
High Density Residential	46.4	1,160	11%
Medium/High Density Residential	65.2	652	15%
Medium Density Residential	-	-	0%
Low Density Residential	-	-	0%
School/Park/Open Space/Utility Open Space	35.6	-	8%
Utility	20.0	-	5%
Commercial	32.1	-	7%
Mixed Use	202.6	-	46%
Rights-Of-Way	35.2	-	8%
<b>Total</b>	<b>437.1</b>	<b>1,812</b>	<b>100%</b>

NOTE: In the event of a school relocation, the density of the school site shall be medium.

TARTESSO  
 LAND USE TABLE  
 VILLAGE 4

Land Use	Parcel No.	Acres	Units	Density
Medium/High Density Residential	4.5	9.5	95	10.0
Medium/High Density Residential	4.6	5.4	54	10.0
Medium Density Residential	4.1	43.5	200	4.6
Medium Density Residential	4.2	35.3	162	4.6
Medium Density Residential	4.3	34.7	159	4.6
Medium Density Residential	4.4	28.8	132	4.6
Medium Density Residential	4.7	21.7	100	4.6
Medium Density Residential	4.8	26.6	122	4.6
Elementary School	4.9	11.0	51	4.6
Open Space	4A	14.1	-	-
Open Space	4B	6.4	-	-
Open Space	4C	9.5	-	-
Open Space	4D	9.8	-	-
Open Space	4E	11.0	-	-
Open Space	4F	0.8	-	-
Open Space	4G	6.9	-	-
Open Space	4H	3.0	-	-
Open Space	4I	1.5	-	-
Rights-Of-Way		27.2	-	-
Total		306.7	1,075	

Summary	Acres	Units	Acreage %
High Density Residential	-	-	0%
Medium/High Density Residential	14.9	149	5%
Medium Density Residential	190.6	875	62%
Low Density Residential	-	-	0%
School/Park/Open Space/Utility Open Space	74.0	51	24%
Utility	-	-	0%
Commercial	-	-	0%
Mixed Use	-	-	0%
Rights-Of-Way	27.2	-	9%
Total	306.7	1,075	100%

NOTE: In the event of a school relocation, the density of the school site shall be medium.

TARTESSO  
 LAND USE TABLE  
 VILLAGE 5

Land Use	Parcel No.	Acres	Units	Density
High Density Residential	5.9	12.4	310	25.0
Medium/High Density Residential	5.4	18.6	186	10.0
Medium/High Density Residential	5.8	14.5	145	10.0
Medium Density Residential	5.1	24.3	112	4.6
Medium Density Residential	5.2	36.0	166	4.6
Medium Density Residential	5.3	22.2	102	4.6
Medium Density Residential	5.7	31.7	146	4.6
Medium Density Residential	5.11	46.0	211	4.6
Park	5.6	5.3	-	-
Park	5.10	2.0	-	-
Open Space	5A	6.1	-	-
Open Space	5B	11.1	-	-
Open Space	5C	11.3	-	-
Open Space	5D	2.5	-	-
Open Space	5E	12.0	-	-
Open Space	5F	18.7	-	-
Commerical	5.5	4.5	-	-
Rights-Of-Way		35.6	-	-
<b>Total</b>		<b>314.8</b>	<b>1,378</b>	

Summary	Acres	Units	Acreage %
High Density Residential	12.4	310	4%
Medium/High Density Residential	33.1	331	11%
Medium Density Residential	160.2	737	51%
Low Density Residential	-	-	0%
School/Park/Open Space/Utility Open Space	69.0	-	22%
Utility	-	-	0%
Commercial	4.5	-	1%
Mixed Use	-	-	0%
Rights-Of-Way	35.6	-	11%
<b>Total</b>	<b>314.8</b>	<b>1,378</b>	<b>100%</b>

NOTE: In the event of a school relocation, the density of the school site shall be medium.

TARTESSO  
 LAND USE TABLE  
 VILLAGE 6

Land Use	Parcel No.	Acres	Units	Density
High Density Residential	6.3	12.0	300	25.0
Medium/High Density Residential	6.1	28.0	280	10.0
Medium/High Density Residential	6.4	20.3	203	10.0
Medium/High Density Residential	6.16	11.2	112	10.0
Medium Density Residential	6.6	44.8	206	4.6
Medium Density Residential	6.8	45.0	207	4.6
Medium Density Residential	6.11	18.1	83	4.6
Medium Density Residential	6.12	46.0	211	4.6
Medium Density Residential	6.13	4.6	21	4.6
Medium Density Residential	6.14	39.5	181	4.6
Medium Density Residential	6.15	32.5	150	4.6
Medium Density Residential	6.17	35.8	165	4.6
Medium Density Residential	6.18	39.7	182	4.6
Elementary School	6.9	11.6	53	4.6
Park	6.7	5.9	-	-
Park	6.10	7.0	-	-
Open Space	6A	13.4	-	-
Open Space	6B	18.9	-	-
Open Space	6C	12.5	-	-
Open Space	6D	2.2	-	-
Open Space	6E	8.4	-	-
Open Space	6F	1.3	-	-
Open Space	6I	7.0	-	-
Open Space	6J	1.5	-	-
Open Space	6L	1.4	-	-
Open Space	6M	6.0	-	-
Open Space	6N	7.3	-	-
Open Space	6O	15.7	-	-
Open Space	6P	31.1	-	-
Open Space	6Q	0.4	-	-
Utility/Open Space	6G	7.3	-	-
Utility/Open Space	6H	16.8	-	-
Utility/Open Space	6K	10.1	-	-
Utility	6.19	1.5	-	-
Commercial	6.2	11.9	-	-
Mixed Use	6.5	13.0	-	-
Rights-Of-Way		41.7	-	-
<b>Total</b>		<b>631.4</b>	<b>2,354</b>	

Summary	Acres	Units	Acreage %
High Density Residential	12.0	300	2%
Medium/High Density Residential	59.5	595	9%
Medium Density Residential	306.0	1,406	48%
Low Density Residential	-	-	0%
School/Park/Open Space/Utility Open Space	185.8	53	29%
Utility	1.5	-	0.2%
Commercial	11.9	-	2%
Mixed Use	13.0	-	2%
Rights-Of-Way	41.7	-	7%
Total	631.4	2,354	100%

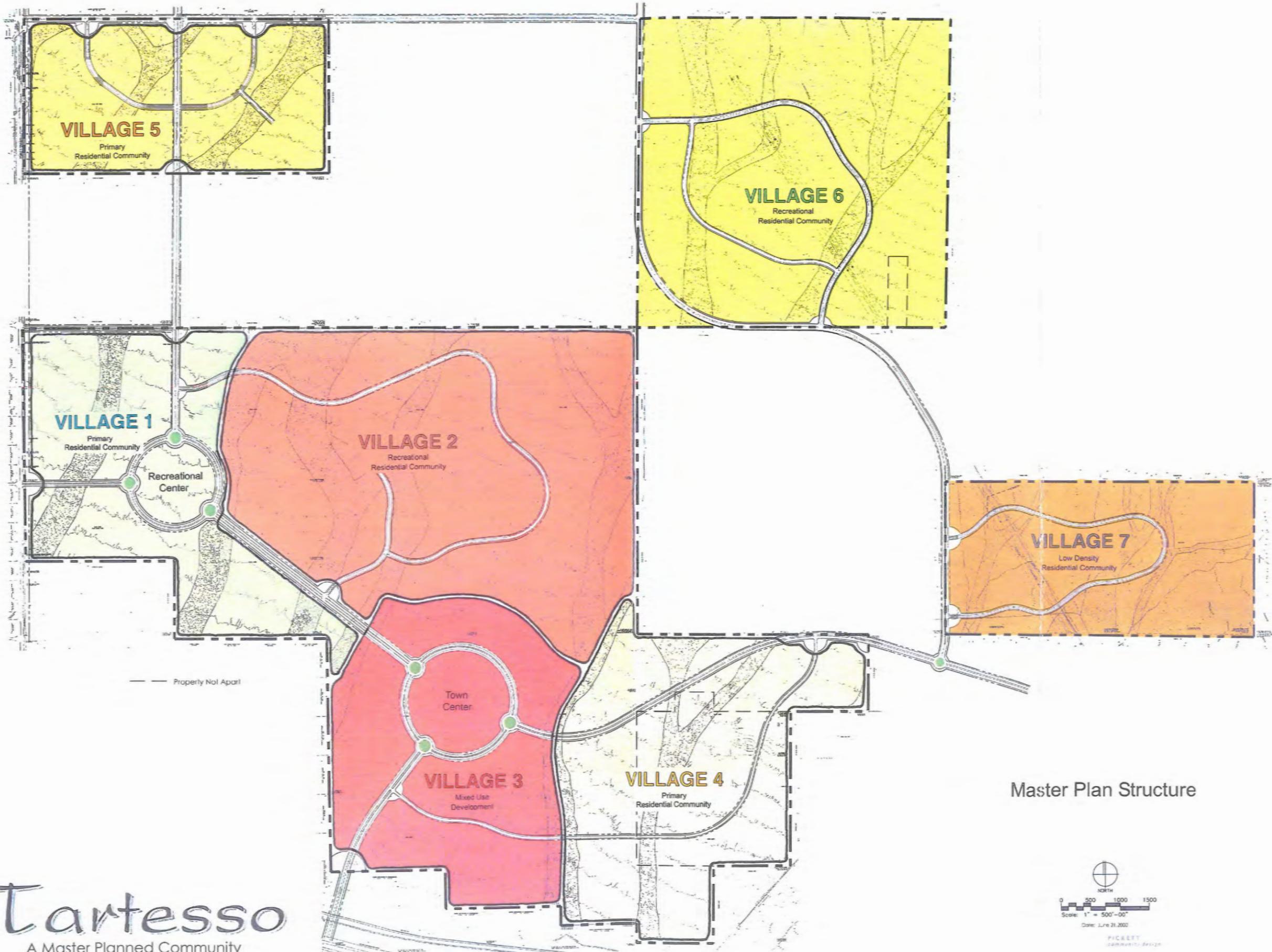
NOTE: In the event of a school relocation, the density of the school site shall be medium.

TARTESSO  
 LAND USE TABLE  
 VILLAGE 7

Land Use	Parcel No.	Acres	Units	Density
Medium Density Residential	7.1	10.0	46	4.6
Medium Density Residential	7.2	13.4	61	4.6
Medium Density Residential	7.3	10.2	47	4.6
Medium Density Residential	7.6	10.0	46	4.6
Low Density Residential	7.7	1.2	3	2.5
Low Density Residential	7.9	32.3	65	2.0
Low Density Residential	7.10	19.9	40	2.0
Low Density Residential	7.11	2.2	4	1.8
Low Density Residential	7.13	5.7	12	2.1
Low Density Residential	7.14	9.0	18	2.0
Low Density Residential	7.15	33.8	68	2.0
Low Density Residential	7.16	42.4	85	2.0
Park	7.4	2.0	-	-
Park	7.8	0.8	-	-
Park	7.12	0.7	-	-
Park	7J	1.0	-	-
Open Space	7A	8.5	-	-
Open Space	7B	0.9	-	-
Open Space	7C	1.3	-	-
Open Space	7D	3.7	-	-
Open Space	7E	0.8	-	-
Open Space	7I	2.0	-	-
Open Space	7K	5.0	-	-
Open Space	7L	14.2	-	-
Open Space	7M	7.2	-	-
Open Space	7N	1.3	-	-
Open Space	7O	2.0	-	-
Open Space	7P	16.0	-	-
Open Space	7Q	17.0	-	-
Open Space	7R	5.7	-	-
Utility/Open Space	7F	2.9	-	-
Utility/Open Space	7G	10.5	-	-
Utility/Open Space	7H	3.2	-	-
Commercial	7.5	1.4	-	-
Rights-Of-Way		24.7	-	-
Total		322.9	495	

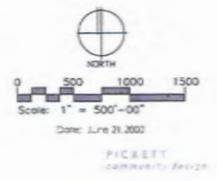
Summary	Acres	Units	Acreage %
High Density Residential	-	-	0%
Medium/High Density Residential	-	-	0%
Medium Density Residential	43.6	200	14%
Low Density Residential	146.5	295	45%
School/Park/Open Space/Utility Open Space	106.7	-	33%
Utility	-	-	0%
Commercial	1.4	-	0.4%
Mixed Use	-	-	0%
Rights-Of-Way	24.7	-	8%
Total	322.9	495	100%

NOTE: In the event of a school relocation, the density of the school site shall be medium.

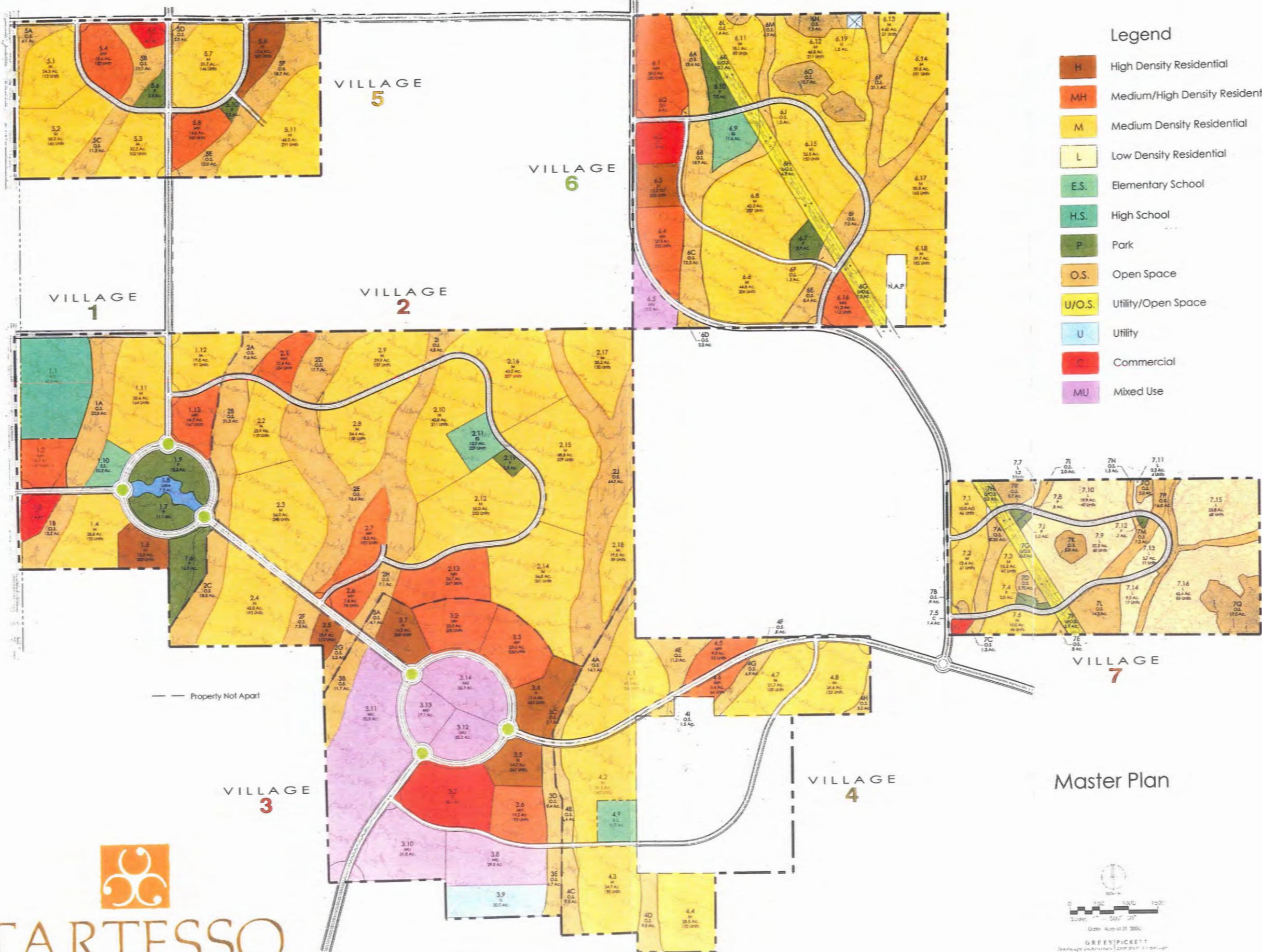


Master Plan Structure

**Tartesso**  
A Master Planned Community



FICKETT  
COMMUNITY DESIGN



Legend

- H High Density Residential
- MH Medium/High Density Residential
- M Medium Density Residential
- L Low Density Residential
- E.S. Elementary School
- H.S. High School
- P Park
- O.S. Open Space
- U/O.S. Utility/Open Space
- U Utility
- C Commercial
- MU Mixed Use

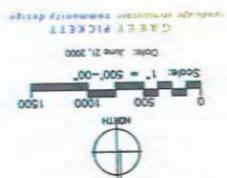


Master Plan

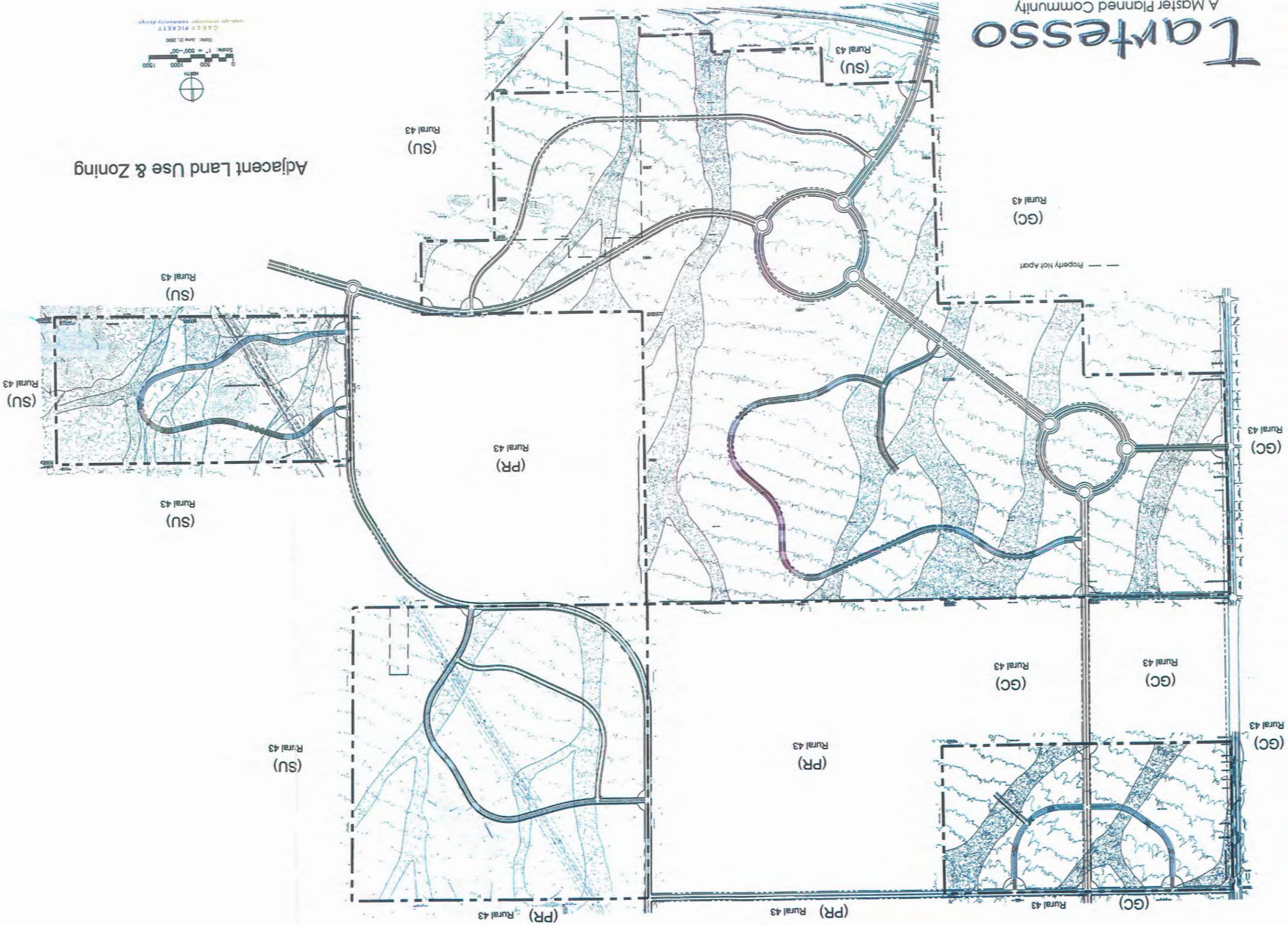


# Larresso

A Master Planned Community



Adjacent Land Use & Zoning



*TARTESSO*  
*COMMUNITY MASTER PLAN*

**Circulation**

The Recreational Center Round-A-Bout and the Town Center Round-A-Bout are the primary features of the Tartesso circulation pattern. The Round-A-Bouts are further enhanced by the community street sections, which have been carefully designed to provide the vehicle capacity necessary to serve the community (and to provide for future surrounding development), while maintaining the desired aesthetic standards and creating cycling/pedestrian trails and walkways.

Traveling east on the landscaped Entry Collector Street slightly more than ¼ mile, the residents will experience the Residential Center Round-A-Bout, which serves as a primary community focal point and encircles the proposed Recreational Center with a Community Lake. This community feature serves as the distribution point for the three western Residential Villages—Village 1, Village 2, and Village 5.

The Residential Center Round-A-Bout will also distribute residents to the Town Center Round-A-Bout, located approximately ¾ mile to the southeast. The two Round-A-Bouts are connected by the Promenade Arterial, which includes an expanded median and expanded landscape parkways.

The Town Center Round-A-Bout serves as the primary focal point for the proposed higher intensity Mixed Use Development land uses and activities of Village 3, including higher density residential, commercial, office/light industrial.

The Town Center Round-A-Bout also provides the connection to Tartesso Parkway (the realigned Tonopah-Salome Highway), which is part of the designated Internal

Arterial network. The arterial streets have been designed with medians and landscape parkways. Tartesso Parkway and the Internal Arterial street network provide connections to the remaining eastern Residential Villages—Village 4, Village 6, and Village 7. Tartesso Parkway also provides the eastern point of access for the community at the Interstate 10/Miller Road interchange.

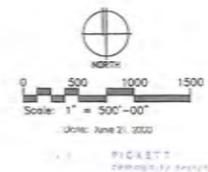
This Level 2 Zoning Submittal includes detailed exhibits and renderings to show the aesthetic aspects of the proposed streetscape.

Chuck Wright with Kimley-Horn and Associates, the community traffic engineer, has prepared a Traffic Analysis presenting the technical aspects of the circulation system. This report can be found in Section 7.



Master Circulation Plan

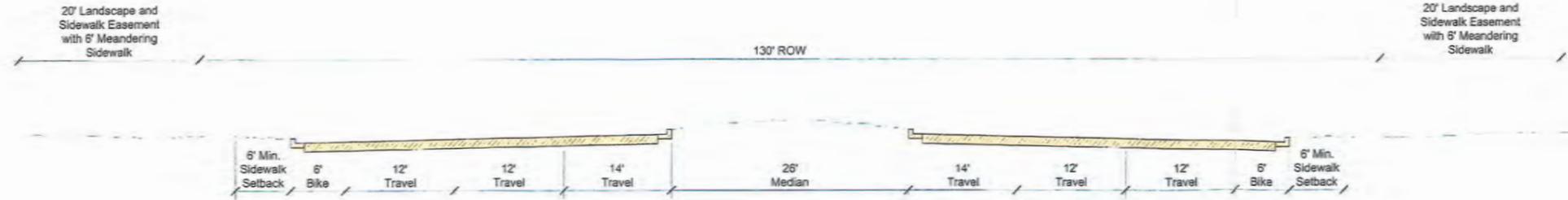
**Tartesso**  
 A Master Planned Community



PICKETT  
 COMMUNITY ANALYSIS

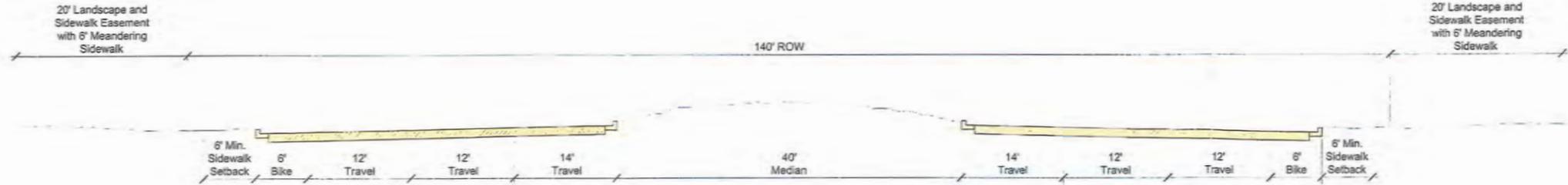
A

Freeway Entry Arterial with Median and Expanded Landscape Parkways.



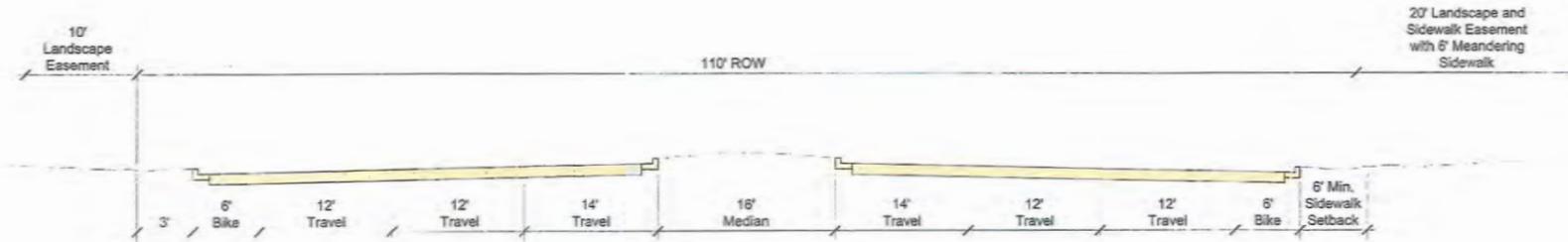
B

Promenade Arterial with Expanded Median and Expanded Landscape Parkways.



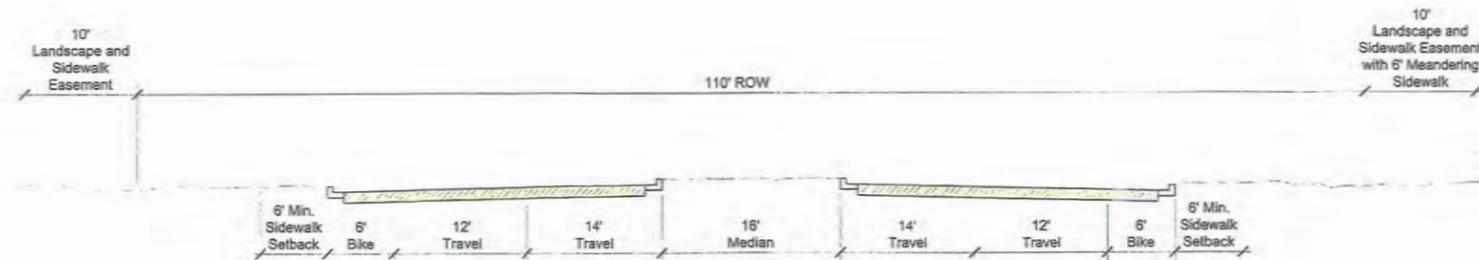
C

Internal Arterial with Median and Expanded Landscape Parkway.



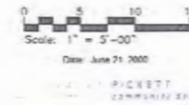
D

Project Entry Collector with Median and Expanded Landscape Parkways.



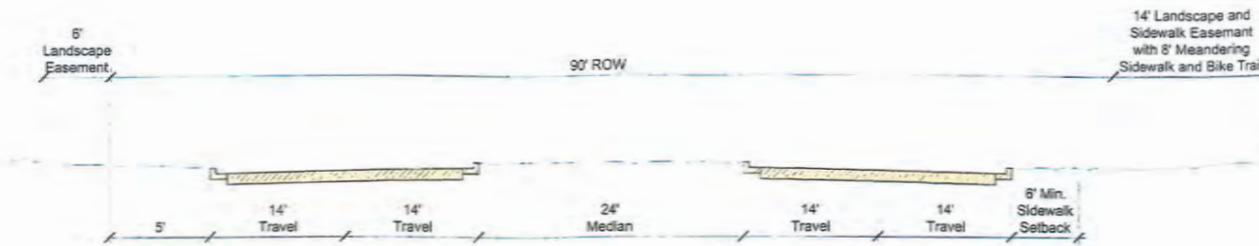
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Community Roadway Sections



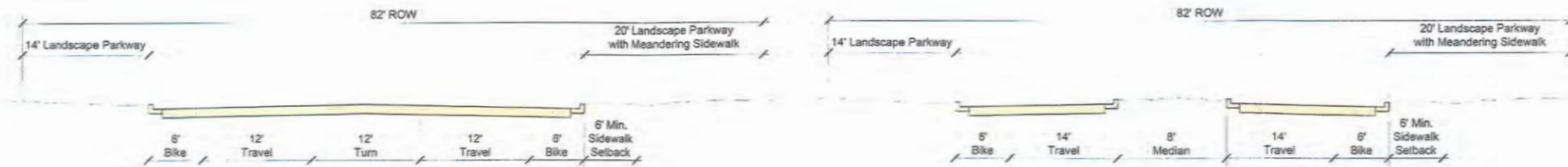
E

Village Collector with Median and Expanded Landscape Parkway.



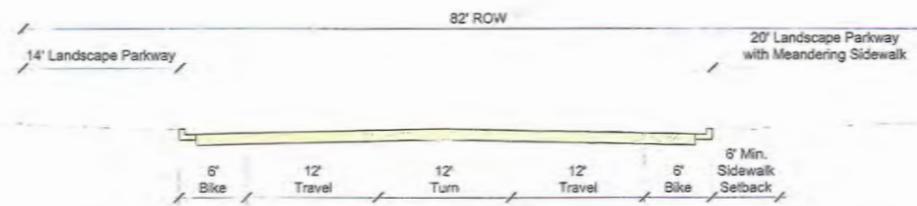
F

Non Residential Collector with Turning Lane or Median and Expanded Laneacpe Parkway.



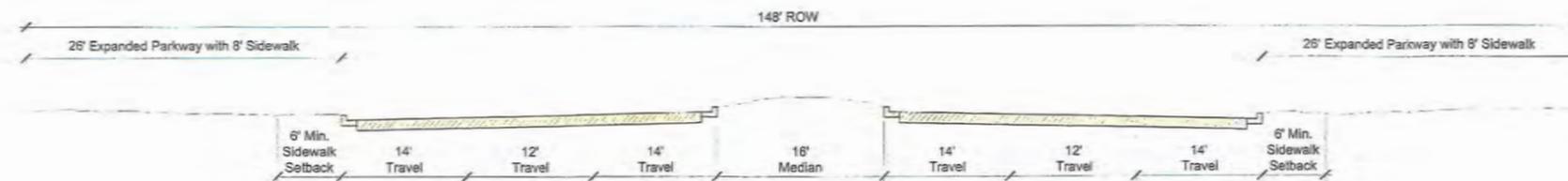
G

Neighborhood Residential Collector with Turning Lane and Expanded Landscape Parkway.



H

Village Core Loop Road with Median and Expanded Landscape Parkways.



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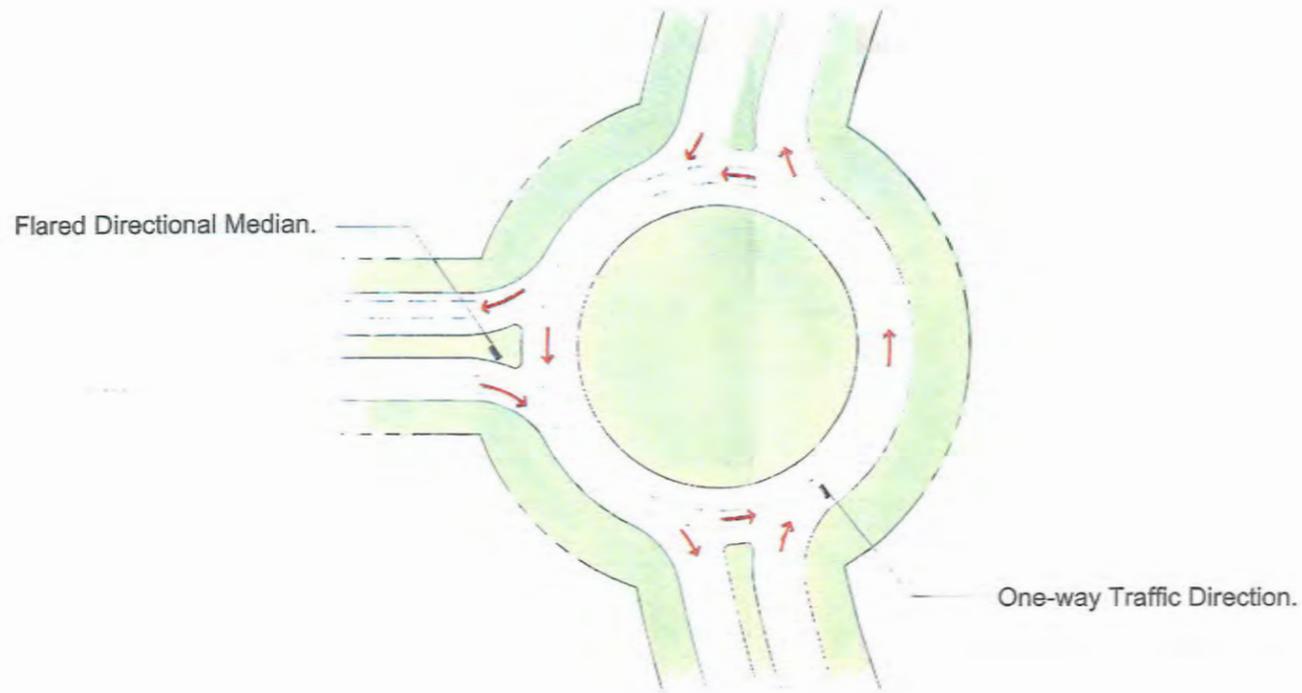
Community Roadway Sections



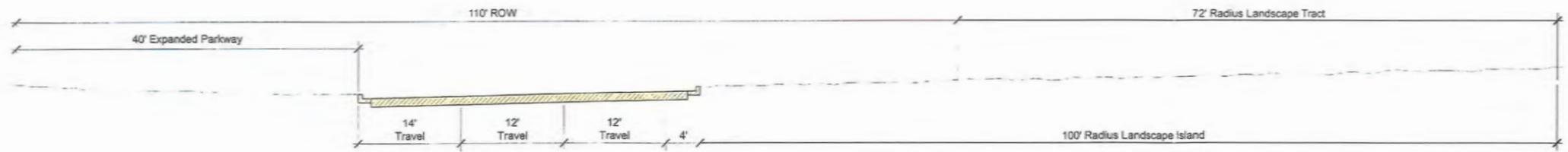
Date: June 21, 2000

RICKETT  
COMMUNITY GROUP

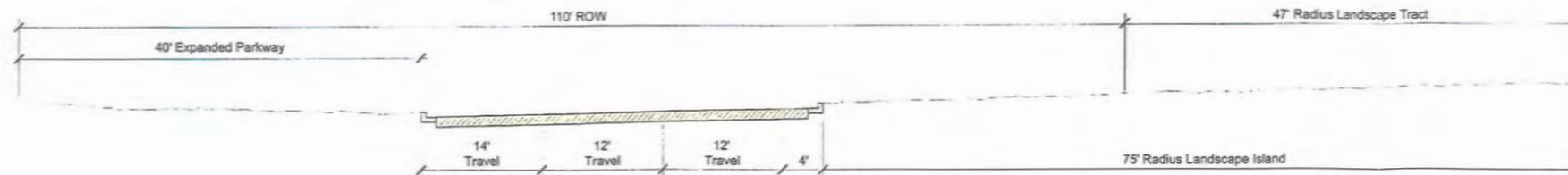
Preliminary  
Community  
Round-A-Bout



Traffic Circle with Island and Expanded Landscape Parkway.



Traffic Circle with Island and Expanded Landscape Parkway.



**TARTESSO  
COMMUNITY MASTER PLAN**

**Project Design Introduction**

This master plan will describe the theme, architectural features and landscaping of Tartesso. The Recreational Center and Primary Entry define the overall character of the community, while the Open Space system integrates the theme into the surrounding Villages. Seven Villages comprise the Tartesso project. Though each has a distinctive identity, consistency is maintained with the overall theme of the project.

Architectural features integrate masonry, metal, stucco and concrete into the overall theme. These features are used throughout the project, from the entry monumentation, through the Paseo rest stops, to the common mailbox structure.

Tartesso's landscaping will make use of an extensive plant palette. Creative use of date palms, olive and ash trees characterize the primary entry and accent the architectural features. Rocks, boulders and other compatible materials may be used to supplement the landscaping design and enhance the character of the projects theme.

Generous amenities include a large lake within the Recreational Center and a number of parks and trails for residents to enjoy. Active and passive amenities are provided throughout the community. Meandering sidewalks and bicycle lanes along the arterial and collector streets give residents convenient access to all amenities.

The Tartesso Community Association will be responsible for the maintenance of the amenities, open space areas and landscape tracts. In conjunction with the Tartesso Community Association, a Residential Design Review Committee ("RDRC") will be formed to enforce the community design standards.

**TARTESSO  
COMMUNITY MASTER PLAN**

*Recreation/Open Space*

Tartesso offers an extensive Recreation System that encourages interaction among the Villages. The proposed street sections, drainage corridors and existing utility easements provide the basis of the trail system. Natural Open Space, Passive Pocket Parks, Neighborhood Parks, Interpretive Nodes, Recreational Center, Sports Park and the Urban Center provide the amenities for the community.

The expanded parkway trail system incorporates either a six-foot or eight-foot meandering sidewalk within a landscape tract along all arterial and collector roads. A six-foot striped bike lane is provided along the arterial, non-residential collector and neighborhood residential collector roads. The village collector and loop road provide for an eight-foot sidewalk to accommodate both pedestrian and bicycle traffic.

Native Trails meander through the natural drainage corridors and the existing utility easement. This concept takes full advantage of the Natural Open Space and provides areas for Interpretive Nodes. Activities for all ages are incorporated through the placement of Pocket and Neighborhood Parks that are linked by the trail system.

**TARTESSO**  
**COMMUNITY MASTER PLAN**

*Major Amenities*

A Recreational Center, located within the first Village Core Loop Road from the Sun Valley Parkway, will serve as a major activity node for Tartesso. The focal point is the six to eight-acre meandering lake that is centered within the 33-acre community park. The lake will feature amenities such as: perimeter trail system, boardwalks, docks for canoes and paddleboats.

*The Recreational Center Preliminary Facilities Program*

- Six to Eight-acre Recreational Use Lake
- Multi-use Sports Field Area
- Tennis Courts
- Community Center Building
- Community Amphitheater
- Small Children's Play Area and Equipment
- Passive Play Area
- Picnic Benches
- Shade Structures
- Basketball Courts
- Volleyball Courts
- Adventure Island Play Area: a passive play facility specifically designed for imaginative play.
- Parking
- Maintenance Facilities
- Restrooms

- Expansive Landscape

The phasing of the Recreational Center will be addressed at the Site Plan approval stage.

To the south of the Recreational Center is the Sports Park linked by a pedestrian underpass. This park offers lighted sports fields, a tennis complex, playground area and a concessions structure.

**TARTESSO  
COMMUNITY MASTER PLAN**

***Park System***

Pocket Parks and Neighborhood Parks are linked together by the expanded Parkway Trail system to integrate the park system throughout the community. The Pocket Parks will have amenities focused on younger children such as play structures, swings and spring animals. Other features of the parks will be turf areas, a ramada with tables, grills and low level lighting.

The next phase of parks is the Neighborhood Parks. The core of each recreational area is a tot lot for younger children surrounded by picnic areas, multi-purpose sport courts and recreational fields for older children and adults.

Interpretive Nodes are identified by trail signage and located within the drainage corridors and will act as rest stops along the Native Trails. Residents will be educated about local flora and fauna at these sites. Natural vegetation will be enhanced to increase visual interest.

**TARTESSO  
COMMUNITY MASTER PLAN**

***Paseo and Open Space***

A pedestrian underpass provides safe crossing to and from the Recreational Center and Urban Center within Tartesso. The underpass, lighted for safety, will easily accommodate a pedestrian and bicyclist. Cornerstone monuments and view fencing at street level identify the structure.

Neighborhood Paseos consist of concrete or decomposed granite pathways that meander between view corridors, while trees provide shade. A metal arbor, supported by decorative stucco and stone columns, identifies each Paseo rest stop.

Along the boundaries of the drainage corridors are meandering concrete or decomposed granite paths with desert landscaping outlining the Open Space Paseo. Rest stops are located at trail intersections and are identified by a bench, and mass plantings. The location of drinking fountains will be determined at the Site Plan approval stage.

**TARTESSO**  
**COMMUNITY MASTER PLAN**

***Landscaping/Entry Monumentation/Perimeter Walls***

The landscape master plan consists of a comprehensive plant palette that ranges from traditional desert plantings to more formal mass plantings. The type of plant material used will vary depending on location and desired impact. Decomposed granite, rocks, boulders and other compatible materials may be used to supplement the landscaping design and enhance the character of the projects theme. For recreational uses, large turf areas are incorporated within common areas and provide a lush appearance.

A central tower framed with pedestrian portals on either side identifies the primary entry to Tartesso from the Sun Valley Parkway. This impressive entry is further enhanced by groves of olive and palm trees. The Tartesso name and logo is incorporated into the monumentation and carried throughout the community. Accent lighting for the logo and illumination of the vertical elements add impact and interest. The materials used in the monumentation are a combination of stucco, stone and concrete.

There are three secondary entries located within Villages 1 and 5. The distinctive feature of these entries is the three-dimensional sculpture in the median framed with pedestrian portals on either side. The backdrop to the monumentation is groves of olive and palm trees. Accent lighting highlights the entry and landscaping.

The Village entries are framed with artistic cornerstone monuments textured paving, landscaping and accent lighting. The monument combines a rustic stone base with a stucco column and concrete cap. The theme is further incorporated into the perimeter walls to create a cohesive Village theme.

Corner icons are used to identify the boundaries of the Tartesso project. The cornerstone monument combines a rustic stone base with a stucco column and concrete cap. A backdrop of olive trees and accent plantings enhances the theme.

Neighborhood entries use the cornerstone monuments, textured paving, and landscaping for identity. The neighborhood name will be incorporated into the cornerstone and illuminated. The plant palette and community walls contribute to the neighborhood's character.

Perimeter theme walls will be constructed along the arterial roads. The perimeter theme wall will be constructed to a 7-foot height, and will include stone veneer columns at approximately 250' intervals to relieve the linear character of the arterial walls. Interior collector theme walls, 6-foot in height, will be constructed along the collector streets. View walls will be constructed in specified locations adjacent to the open space area, with exact locations to be determined at the time the landscaping plans are prepared and submitted.

Textured paving will be limited to the Village and Neighborhood entries and will consist of brick or stone.

Community banners shall be made of cloth and be interchangeable. The banners will designate seasons and community activities such as a parade, fair, balloon festival, etc. They will not be used for community identification.

## **TARTESSO COMMUNITY MASTER PLAN**

### ***Streetscape***

Landscaping for each roadway section varies with its significance. As one enters Tartesso from the Sun Valley Parkway, groves of olive and palm trees bring the Grand Paseo to life. The raised median features a combination of trees and low-level plant material to add visual interest and provide separation for traffic. Trees shade pedestrian walkways on both sides of the roadway creating a pleasant community experience.

The landscaping transitions into a triple row of ash trees to highlight the focal point of the project, the Recreational Center. Pedestrian walkways, lined with a variety of trees, follow the same radial geometry as the loop road.

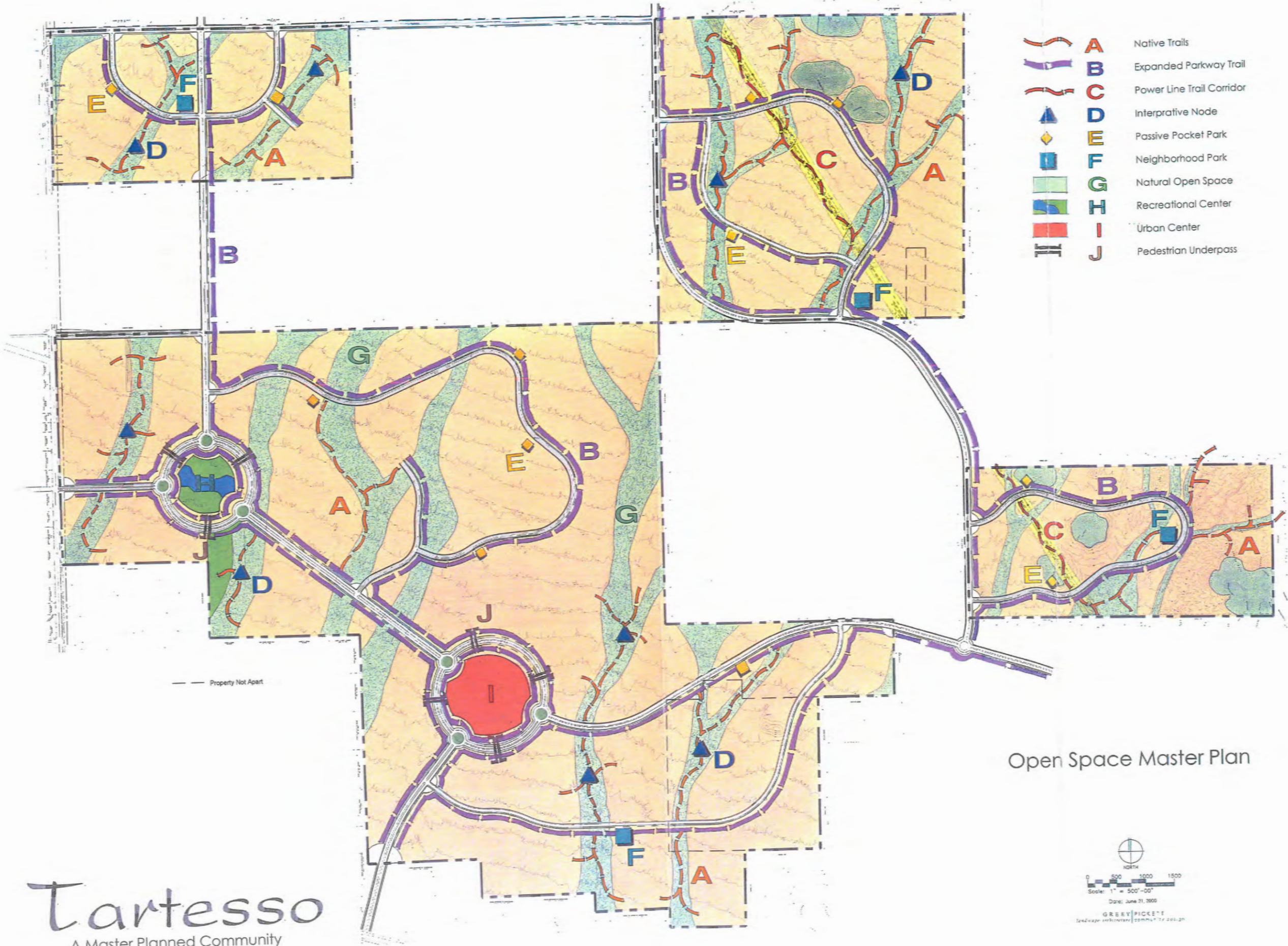
The typical street side planting will integrate desert landscaping with pockets of turf accented by occasional berms and the community wall. Additional features of Tartesso:

- **Drainage structures** will match the community theme wall and are identified by cornerstone monuments and view fencing at street level.
- **Area and accent lighting** use natural metal finishes to integrate the fixtures in with the theme of the project.
- **Common mailboxes** will incorporate the character of the neighborhood, with a metal arbor, stucco columns and accent lighting.

**TARTESSO  
COMMUNITY MASTER PLAN**

***Signage***

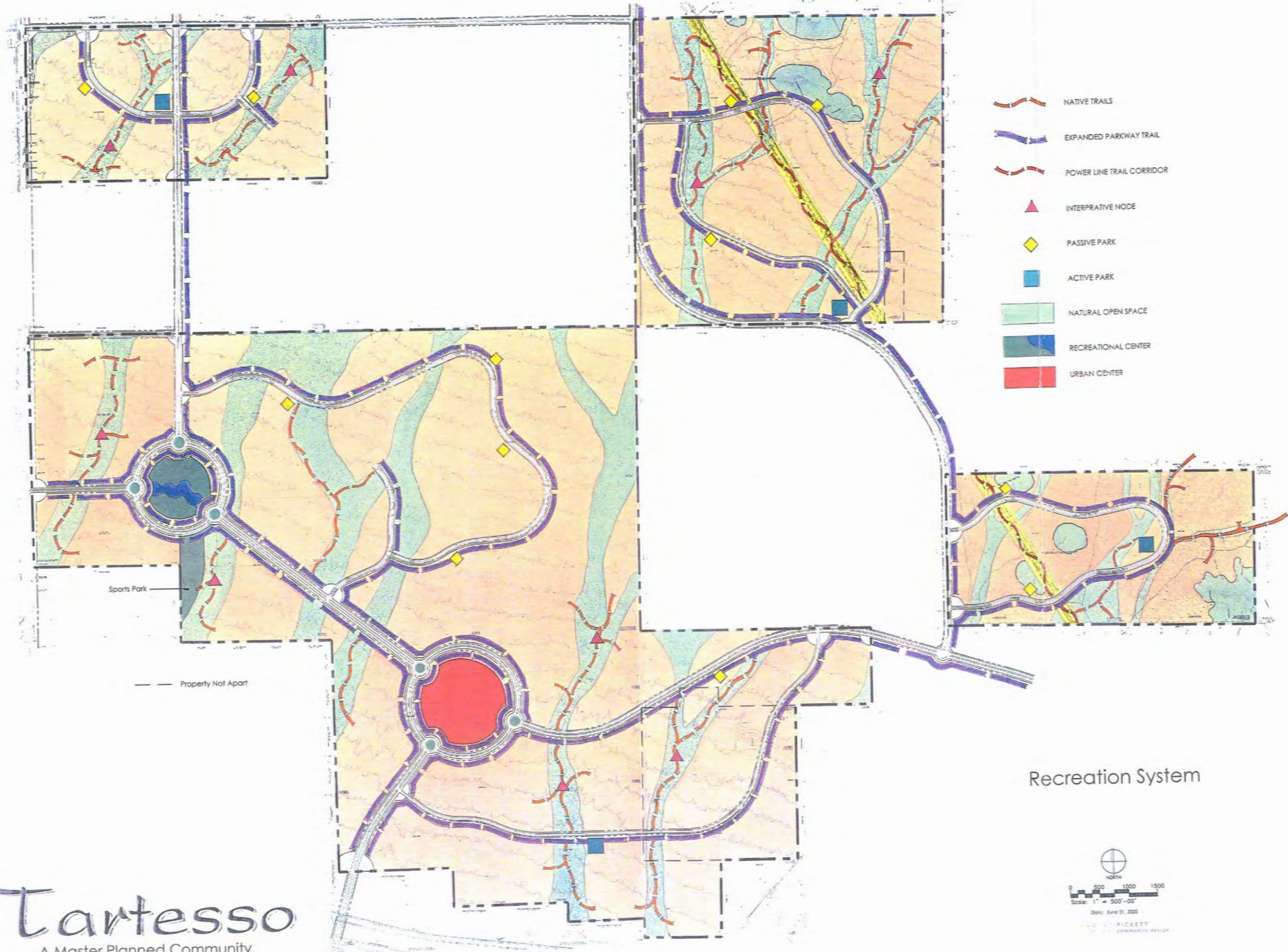
A comprehensive signage package will be submitted for approval by the Town of Buckeye at the preliminary plat stage.



# Tartesso

A Master Planned Community

## Open Space Master Plan



Recreation System

Tartesso  
 A Master Planned Community

## Recreational Center H

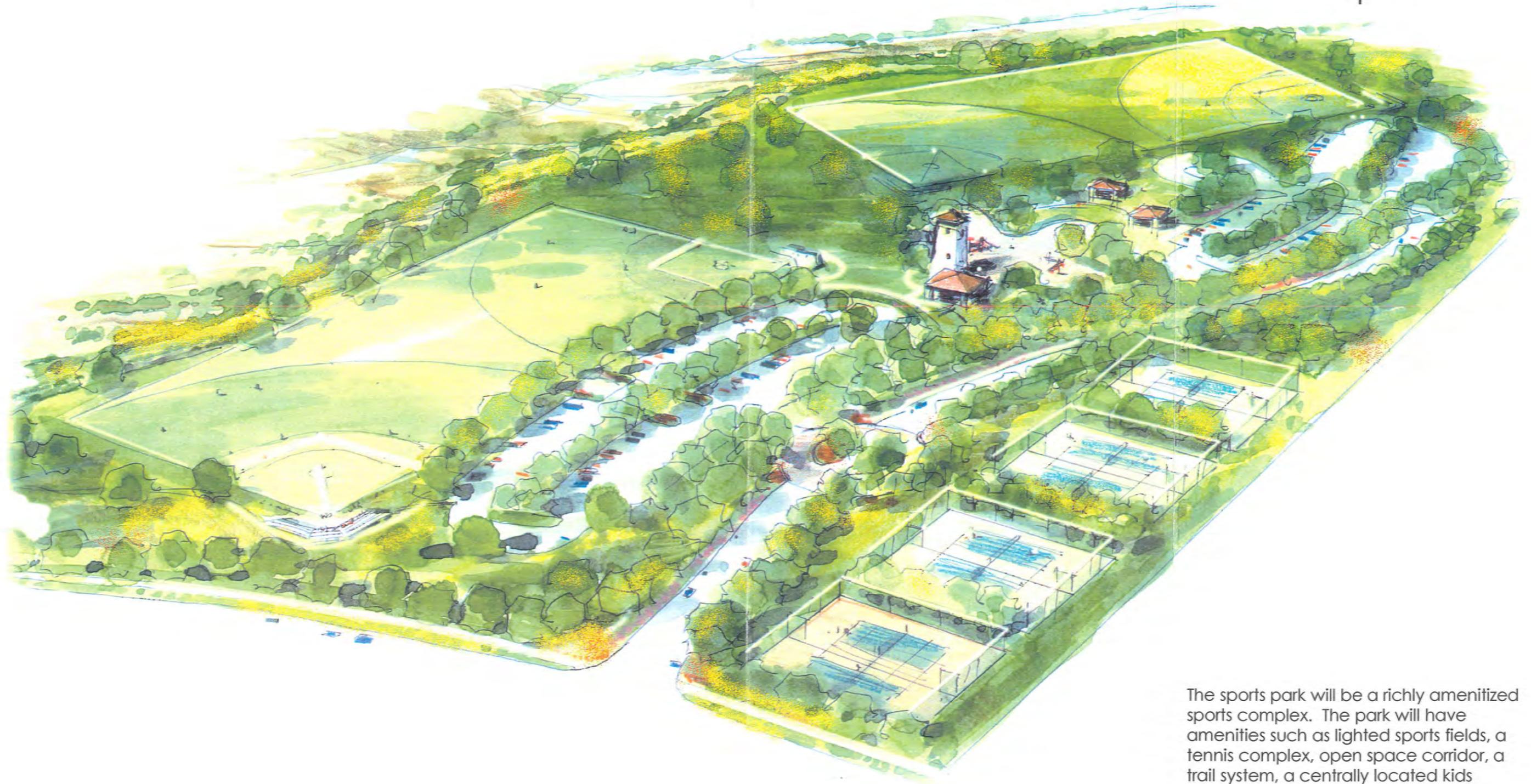


As you enter Tartesso from the west, an 8-acre recreational lake is the focal point of the 33-acre community park. The lake will have a boardwalk, boat docks for canoes and paddleboats, a beach and an adventure island, which will be accessible by boat and a pedestrian bridge. On the north side of the lake, there will be a community recreational center with a water park, basketball courts, volleyball courts, and a skate park. There will also be a multipurpose sports field and arts amphitheater that overlooks the lake. South of the lake, there will be a large children's playground area and access to the adventure island. There will also be a trail system that will loop the lake and all amenities.

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A Master Planned Community

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landscape architecture | community design

# Sports Park I



The sports park will be a richly amenitized sports complex. The park will have amenities such as lighted sports fields, a tennis complex, open space corridor, a trail system, a centrally located kids playground area and a concessions structure.

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# Pocket Park E

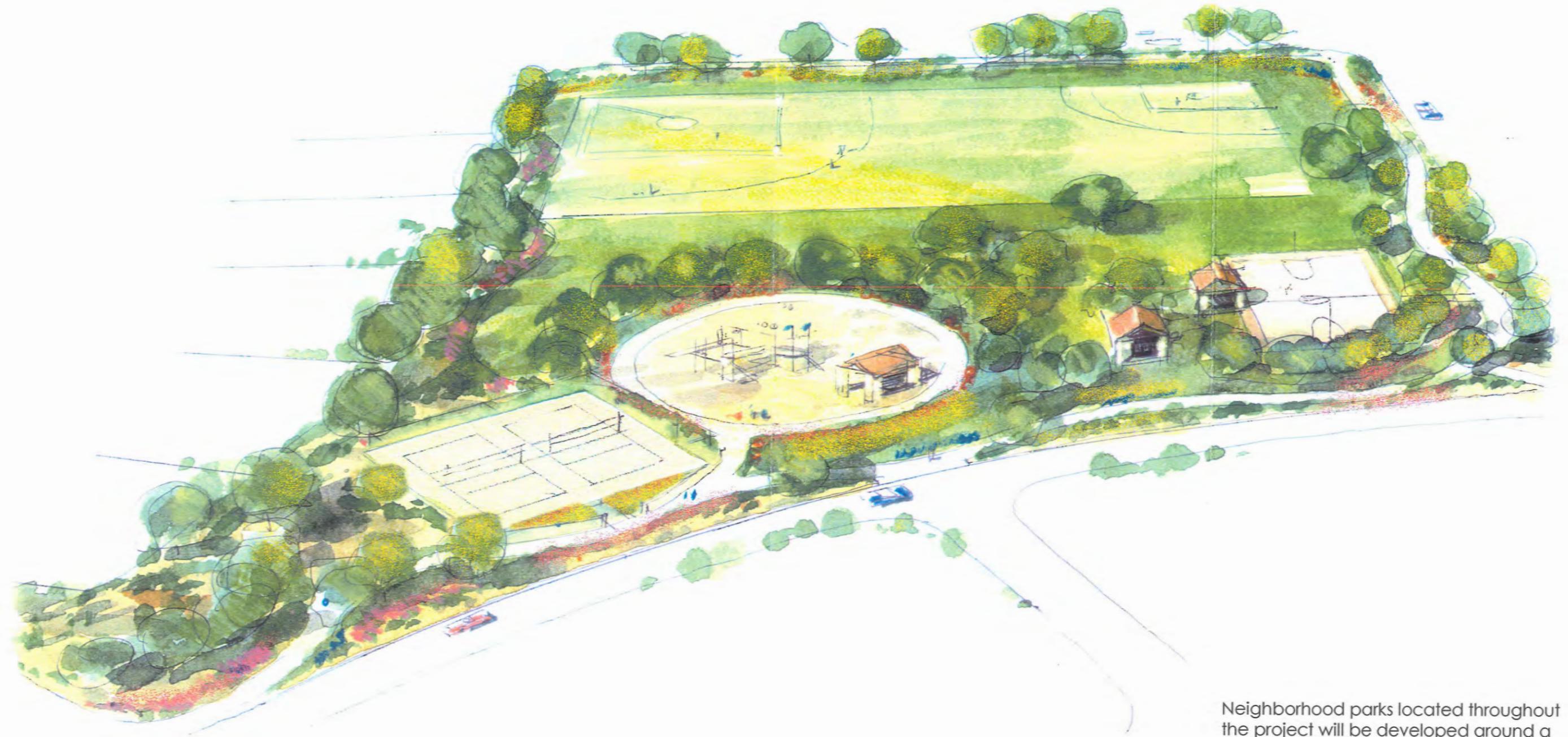


Pocket parks will include many amenities such as play structures, turf areas, ramadas, and concrete pedestrian walkways. Low level night lighting will be included to allow for more hours of use.

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A Master Planned Community

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# Neighborhood Park F



Neighborhood parks located throughout the project will be developed around a tot lot core and picnic area. Multi-use sport courts and multi-purpose recreational fields will surround the core area.

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*landscape architecture | community design*

# Pedestrian Underpass J



Pedestrian under passes will be provided for safe pedestrian access under major roadways. The underpass will be constructed of a patterned masonry headwall and be of ample width for combined bike and pedestrian use. They will also be lighted for night use. As one crosses over the pedestrian underpass, a cornerstone monument visually denotes the beginning of the underpass. Patterned masonry columns with community view fencing top the structure.

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# Neighborhood Paseo F

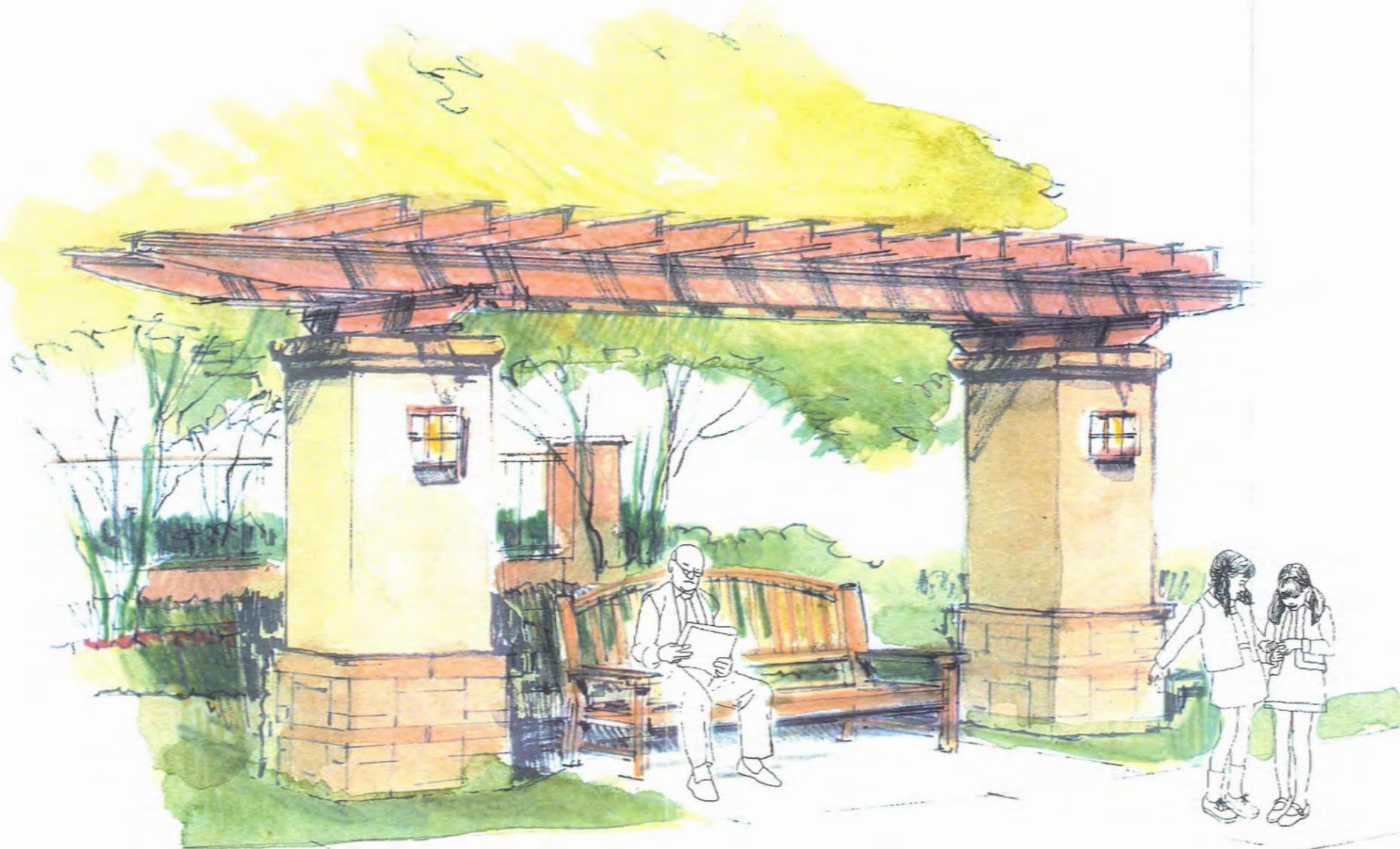


The neighborhood paseos will be desert linkages emphasizing plant color, texture and variety. There will be bosques of trees for shade along the meandering concrete paths. Turf pockets will be located at rest stops. View lots will frame the amenity from each side.

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## Paseo Rest Stop



The paseo rest stop structure will be made up of two stucco columns featuring custom Tartesso sconces, with a patterned masonry base and topped with a metal arbor. A comfortable park bench will be located under the shaded arbor.

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# Open Space Paseo A



The open space paseos will include native desert plantings with trees in formally grouped to provide shade along the meandering concrete path. The path will typically be located along the side of drainage corridors with view vistas along the washes.

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## Open Space Rest Stop

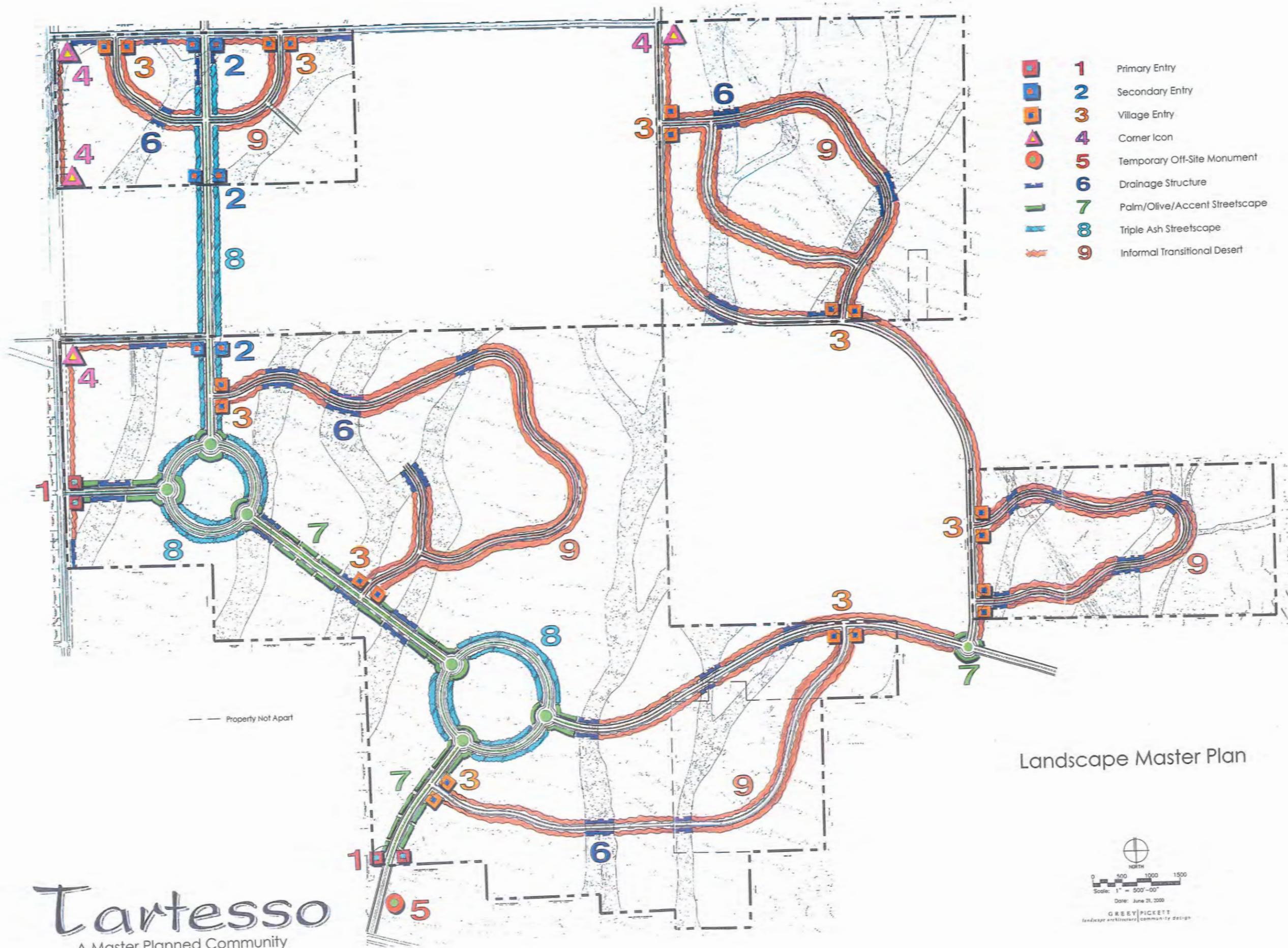


Open space rest stops will typically be located at intersections on the trail system. The rest stop will consist of a bench and an increase of plant density and variety to add interest.

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-  1 Primary Entry
-  2 Secondary Entry
-  3 Village Entry
-  4 Corner Icon
-  5 Temporary Off-Site Monument
-  6 Drainage Structure
-  7 Palm/Olive/Accent Streetscape
-  8 Triple Ash Streetscape
-  9 Informal Transitional Desert



--- Property Not Apart

### Landscape Master Plan

  
 Scale: 1" = 500'-00"  
 Date: June 21, 2000  
 GREEY PICKETT  
 landscape architects | community design

# Tartesso

A Master Planned Community

# Primary Entry 1



The primary entry into Tartesso will be identified by a central tower element framed by pedestrian portals, including shaded rest stops. This tower will be the identifying element throughout the community architecture. A community banner system will be a part of the tower, and used throughout the community. The entry portal will also feature a back lit steel plate of the Tartesso logo. The entry will be back dropped by groves of olive and palm trees. In the evening hours, thematic lighting on vertical elements will illuminate the gateway.

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## Secondary Entry

2



The secondary entry into Tartesso will be identified by a three dimensional sculpture representing the Tartesso logo. The sculpture will be flanked by pedestrian portals including rest stops. The entry portal will also feature a back lit steel plate of the Tartesso logo. The entry will be back dropped by groves of olive and palm trees. In the evening hours, thematic lighting on vertical elements will illuminate the gateway.

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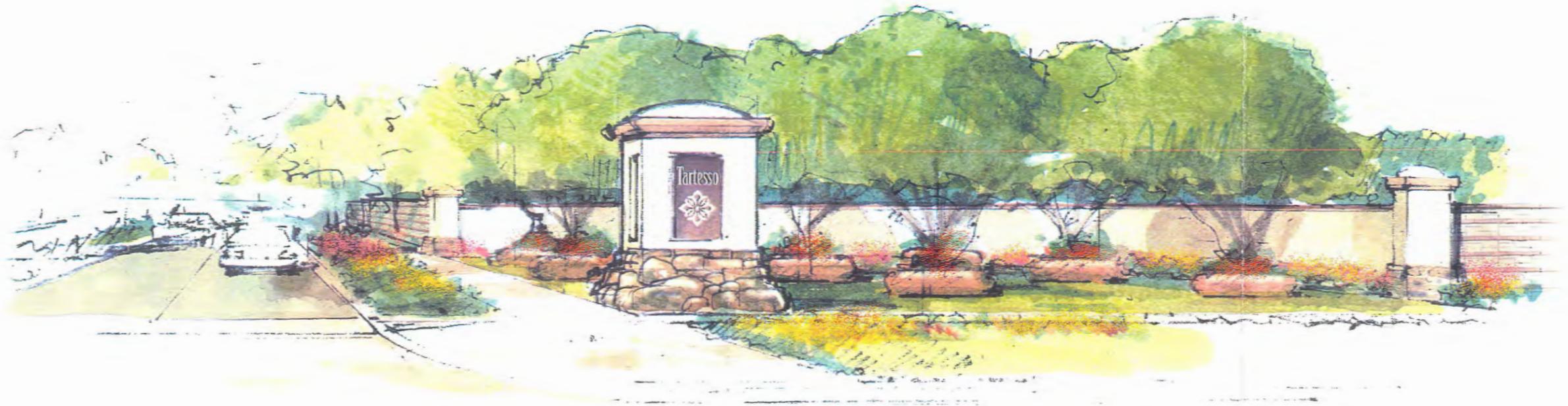
## Village Entry 3



The village entry will be identified by large cornerstone monuments and textured paving. This monument will be a stucco column containing a back-lit steel plate of the village name and logo, set atop a rustic stone base and topped with a custom concrete cap. The entry will be set in an open space node, back-dropped by landscaping and a patterned masonry community theme wall.

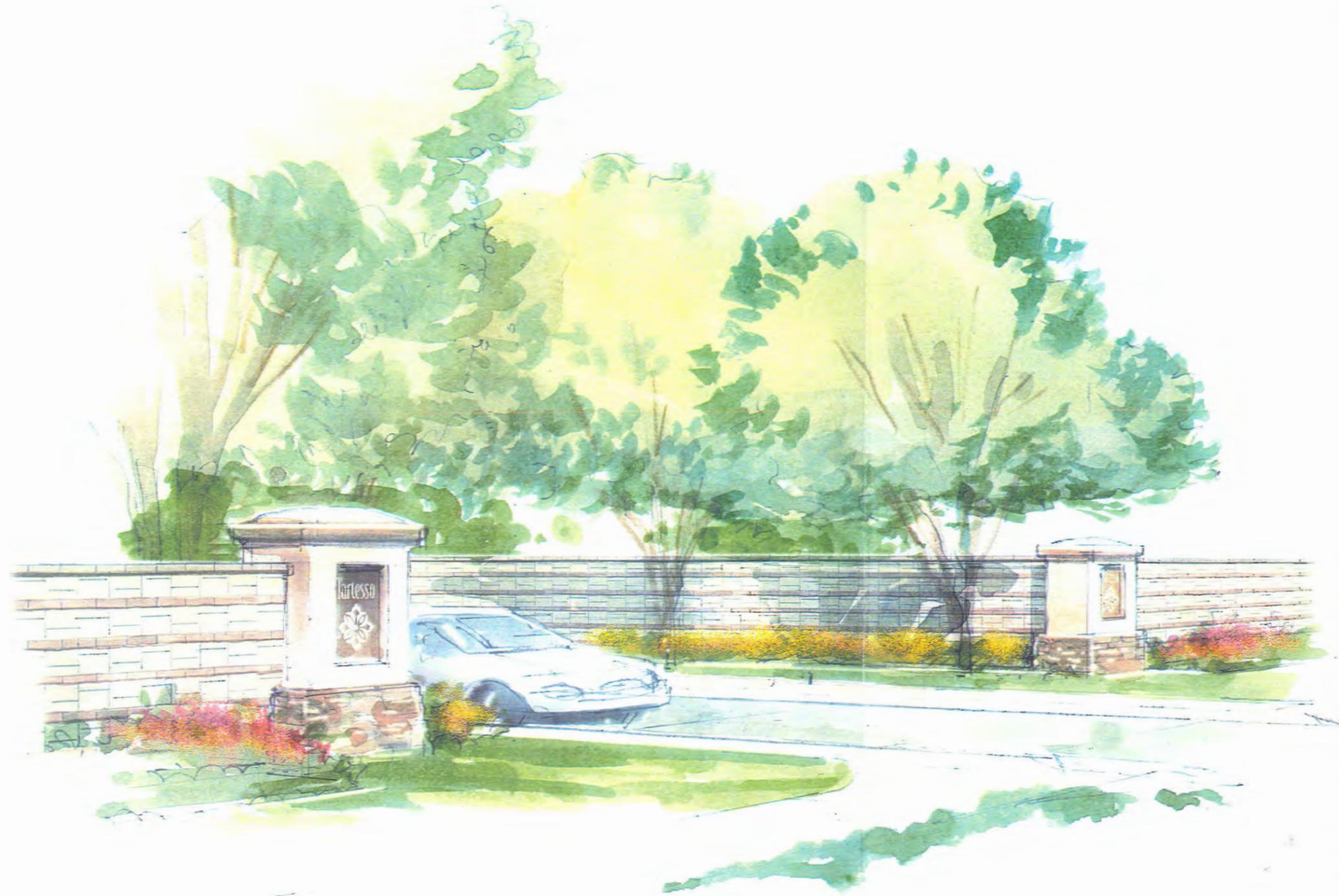
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The "Corner Icon" is the cornerstone anchor of the Tartesso Project. This will be the identifying monument signifying where the project begins and ends. The icon will be a stucco column containing a back lit steel plate of the Tartesso logo, with a rustic stone base and a custom concrete cap. It will be set in an open space node with an olive grove as a backdrop.

## Neighborhood Entry

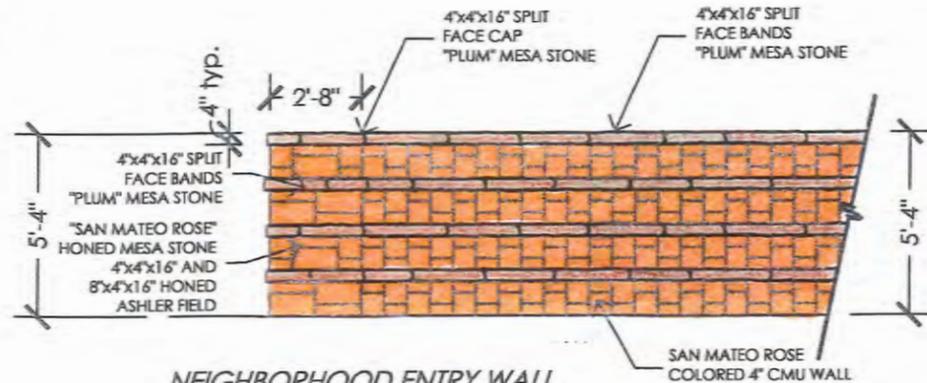


The neighborhood entry will be reminiscent of older neighborhood entries with its tight formal tree lined entry portal, and will be identified by textured paving and large cornerstone monuments. These monuments will be stucco columns containing a back lit steel plate of the neighborhood name and logo, with a rustic stone base and a custom concrete cap. Pedestrian walkways will be located on both sides of the entry. The planting and community walls will create a colorful entry point.

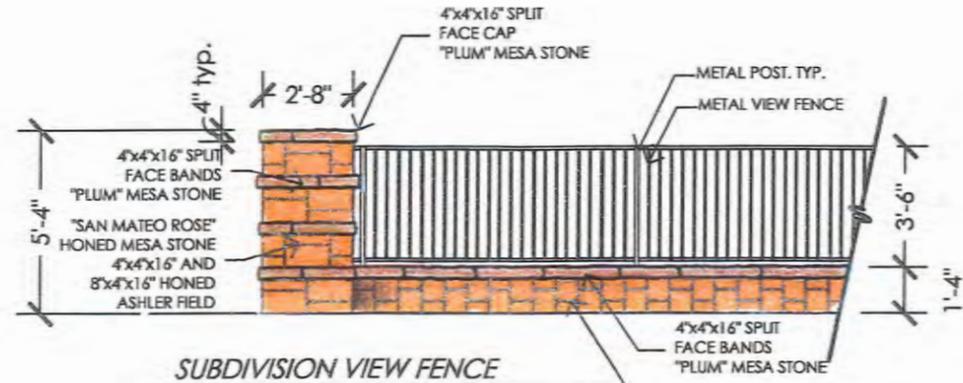
**Tartesso**  
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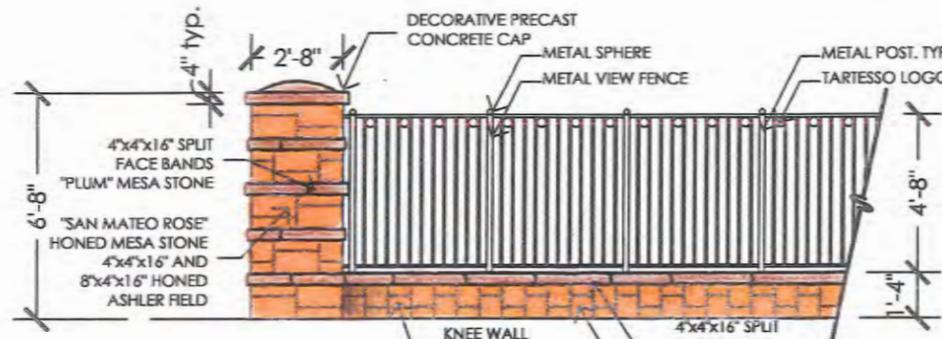
# Wall Details



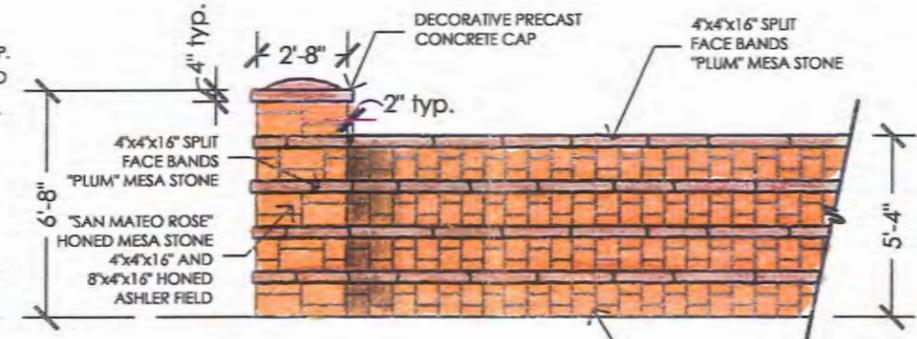
**NEIGHBORHOOD ENTRY WALL**  
External Open Spaces and Major Collector View  
SCALE: 3/16" = 1'-0"



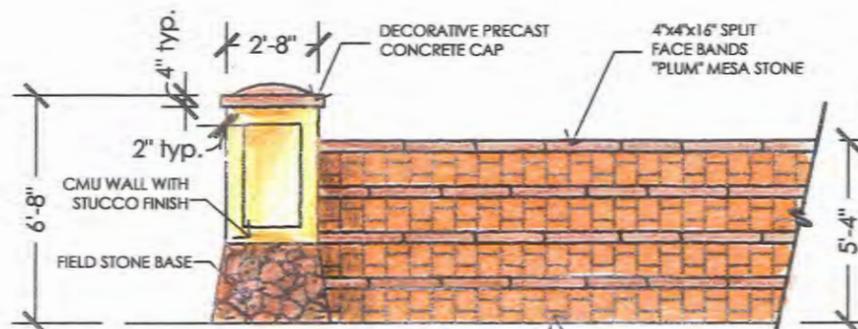
**SUBDIVISION VIEW FENCE**  
Internal Open Space View  
SCALE: 3/16" = 1'-0"



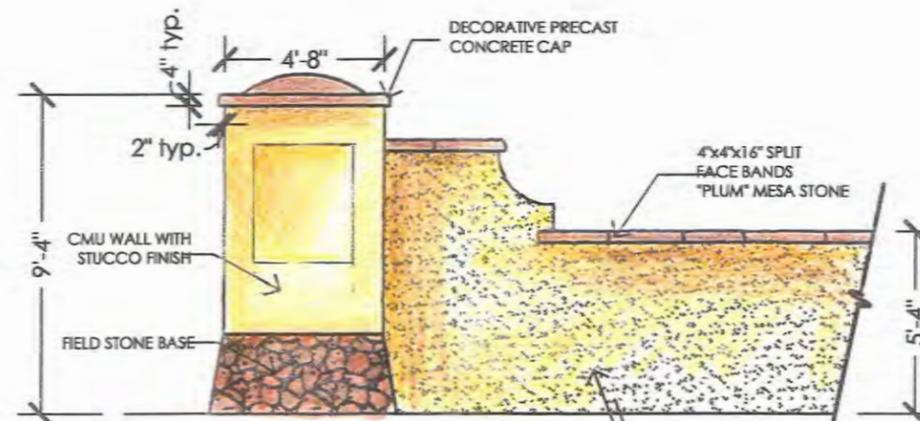
**COMMUNITY THEME VIEW FENCE**  
External Open Spaces and Major Collector View  
SCALE: 3/16" = 1'-0"



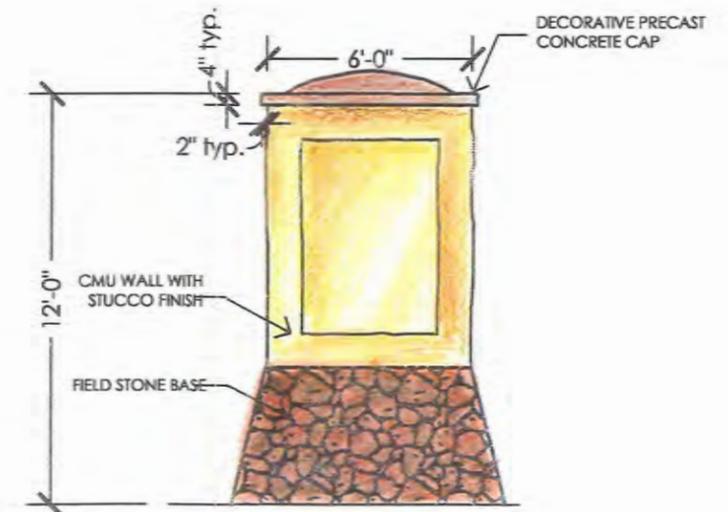
**THEME WALL**  
External Open Spaces and Major Collector View  
SCALE: 3/16" = 1'-0"



**NEIGHBORHOOD ENTRY WALL**  
External Open Spaces and Major Collector View  
SCALE: 3/16" = 1'-0"



**VILLAGE ENTRY WALL**  
External Open Spaces and Major Collector View  
SCALE: 3/16" = 1'-0"



**CORNER ICON**  
External Open Spaces and Major Collector View  
SCALE: 3/16" = 1'-0"

TARTESSO  
COMMUNITY MASTER PLAN

PLANT PALETTE

DESERT WASH/SONORAN	
<i>Acacia aneura</i>	Mulga
<i>Acacia berlandien</i>	Berlandier Acacia
<i>Acacia coriacea</i>	
<i>Acacia erioloba</i>	Camel Thorn
<i>Acacia greffii</i>	Catclaw Acacia
<i>Acacia pendula</i>	Pendulous Acacia
<i>Acacia rigidula</i>	Black Brush Acacia
<i>Acacia chaffneri</i>	Twisted Acacia
<i>Acacia willardiana</i>	Palo Blanco
<i>Brachychiton popuneus</i>	Bottle Tree
<i>Bauhinia congesta</i>	Anacacho Orchid Tree
<i>Brahea armata</i>	Mexican Blue Palm
<i>Brahea edulis</i>	Guadalupe Palm
<i>Bursea hindsiana</i>	Copal
<i>Bursea microphylla</i>	Elephant Tree
<i>Butia capitata</i>	Jelly Palm
<i>Caesalpina spp</i>	Bird of Paridise
<i>Ceasalpinia cacalaco</i>	Cascalote
<i>Callistemon viminalis</i>	Weeping Bottlebrush
<i>Canotia holacantha</i>	Crucifixion Thorn
<i>Catalpax tashkentensis</i>	Chilitapa
<i>Celtis reticulata</i>	Hackberry
<i>Cercidium spp.</i>	Palo Verde
<i>Cercidium Desert Museum</i>	Hybrid Palo Verde
<i>Cercidium floridum</i>	Blue Palo Verde
<i>Cercocarpus betuloides</i>	Mountain Mahogany
<i>Cercidium praecox</i>	Palo Brea
<i>Cercis canadensis v. 'Texensis'</i>	Texas Redbud
<i>Cercis canadensis v. 'Mexican'</i>	Mexican Redbud
<i>Cupressus arizonica</i>	Arizona Cypress
<i>Forestiera neomexicana</i>	Desert Olive
<i>Geijera paruifolia</i>	Australian Willow
<i>Holacantha emoryi</i>	Crucifixion Thorn
<i>Leucaena retusa</i>	Golden Ball Lead Tree
<i>Olneya tesot</i>	Ironwood
<i>Pithecellobium flexicaule</i>	Texas Ebony

<i>Pithecellobium mexicanum</i>	Mexican Ebony
<i>Pithecellobium pallens</i>	A pes-earring
<i>Populus fremontii</i>	Fremont Cottonwood
<i>Platanus wrightii</i>	Arizona sycamore
<i>Prosopis alba</i>	Argentine Mesquite
<i>Prosopis chilensis</i>	Mesquite
<i>Prosopis emoryi</i>	Emory Oak
<i>Prosopis glandulosa</i>	Texas Honey Mesquite
<i>Prosopis pubescens</i>	Screwbean Mesquite
<i>Prosopis velutina (juliflora)</i>	Velvet Mesquite
<i>Rhus ovata</i>	Sugar Sumac
<i>Salix gooddingii</i>	Goodding Willow
<i>Rhus lanceolata</i>	Prairie Flameleaf Sumac
<i>Robinia speodoacacia</i>	Black Locust
<i>Sapindus saponaria</i>	Western Soapberry
<i>Salix gooddingii</i>	Goodding Willow
<i>Sambucus mexicana</i>	Mexican Elderberry
<i>Sophora secundiflora</i>	Texas Mountain Laurel
<i>Quercus buckleyi</i>	Texas Red Oak
<i>Quercus buckley 'Red Rock'</i>	Red Rock Oak
<i>Quercus emoryi</i>	Emory Oak
<i>Quercus suber</i>	Cork Oak
<i>Quercus turbinella</i>	Shrub Live Oak
<i>Quercus spp.</i>	Heritage Live Oak

### SHRUBS

<i>Acacia angustissima hirta</i>	Fern Acacia
<i>Acacia berlandiera</i>	Guajillo
<i>Acacia constricta</i>	Whitehorn Acacia
<i>Acacia millefolia</i>	Santa Rita Acacia
<i>Acacia notabilis</i>	
<i>Acacia rididula</i>	Blackbrush Acacia
<i>Abutilon incanum</i>	Indian Mallow
<i>Abutilon palmeri</i>	Superstition Mallow
<i>Abtilon pringlei</i>	Indian Mallow
<i>Ambrosia deltoidea</i>	Bursage/Triangle Leaf Bursage
<i>Anisacanthus andersonii</i>	Andersons Honeysuckle
<i>Anisacanthus thurberi</i>	Desert Honeysuckle
<i>Anisacanthus quadrifidus</i>	Flame Honeysuckle
<i>Anisacanthus quadrifidus v. brevilobus</i>	Mountain Flame
<i>Anisacanthus quadrifidus v. wrightii 'Mexican Flame'</i>	Flame Honeysuckle

<i>Asclepias linaria</i>	Pineleaf Milkweed
<i>Asclepias subulata</i>	Desert Milkweed
<i>Asclepias tuberosa</i>	Butterfly Weed
<i>Baccharis glutinosa</i>	Seep Willow
<i>Bauhinia macarantnera</i>	Orchid Tree
<i>Bauhinia ramosissima</i>	Orchid Tree
<i>Bebbia juncea</i>	Chuckwalla's Delight
<i>Berberis trifoliolate</i>	Agarita
<i>Brickellia coulteri</i>	Brickellia
<i>Buddleia marrubifolia</i>	Wooly Butterfly Bush
<i>Caesalpinia gilliesii</i>	Desert Bird of Paradise
<i>Caesalpinia mexicana</i>	Mexican Bird of Paradise
<i>Caesalpinia pulcherrima</i>	Red Bird of Paradise
<i>Calliandra eriophylla</i>	Pink Fairy Duster
<i>Calliandra californica</i>	Fairy Duster
<i>Callistemon citrinus</i>	Lemon Bottlebrush
<i>Callistemon phoeniceus</i>	Salt Resistant Bottlebrush
<i>Callistemon viminalis</i> v. 'Captain Cook'	Dwarf Bottlebrush
<i>Calothamnus quadrifidus</i>	
<i>Calothamnus villosus</i>	Wooly Netbush
<i>Cassia</i> ( <i>Senna</i> is interchangeable)	
<i>Cassia artemisioides</i>	Feathery Cassia
<i>Cassia biflora</i>	Twin Flower Cassia
<i>Cassia goldmannii</i>	Goldmann's Cassia
<i>Cassia nemophila</i>	Desert Cassia
<i>Cassia phyllodinea</i>	Silver-leaf Cassia
<i>Cassia wislizenii</i>	Shrubby Cassia
<i>Ceanothus greffii</i>	Buck Brush
<i>Celtis pallida</i>	Desert Hackberry
<i>Chrysactinia mexicana</i>	Damianita
<i>Chrysothamnus nauseosus</i>	Rabbit Bush
<i>Condalia globosa</i>	Bittle Condalia
<i>Condalia spathulata</i>	Crucillo
<i>Condalia ericoides</i>	Javelina-bush
<i>Cordia boissieri</i>	Anacahuite
<i>Cordia parufolia</i>	Small Leaf Cordia
<i>Coursetia glandulosa</i>	Coursetia
<i>Dalea bicolor</i> v. <i>argyrea</i>	Silver Dalea
<i>Dalea frutescens</i>	Black Dalea
<i>Dalea frutescens</i> 'Sierra Negra' TM	Sierra Negra Dalea
<i>Dalea pulchra</i>	Indigo Brush
<i>Dalea versicolor</i> v. <i>sessilis</i>	Wislizenus Dalea

<i>Dicliptera suberecta</i>	Velvet Honeysuckle
<i>Dodonaea viscosa</i>	Hopbush
<i>Encelia farinosa</i>	Brittlebush
<i>Ephedra fasciculata</i>	Joint Fir
<i>Ephedra nevadensis v. aspera</i>	Boundary Ephedra
<i>Ephedra trifurca</i>	Mormon Tea
<i>Ephedra antiusyphilitica</i>	Mormon Tea
<i>Ericameria larricifolia</i>	Turpentine Bush
<i>Ericameria linearifolia</i>	Turpentine Bush
<i>Eriogonum fasciculatum</i>	California Buckwheat
<i>Eriogonum fasciculatum v. Poliofolium</i>	Wild Buckwheat
<i>Eriogonum wrightii</i>	Wright Buckwheat
<i>Erythrina flabelliformis</i>	Southwest Coralbean
<i>Euphorbia antisiphilitica</i>	Wax Plant, Candelilla
<i>Fallugia paradoxa</i>	Apache Plume
<i>Flourensia cernua</i>	Tarbush
<i>Gossypium thurberi</i>	Desert Cotton
<i>Gutierrezia microcephala</i>	Snakeweed
<i>Gutierrezia sarothrae</i>	Snakeweed
<i>Hamelia patens</i>	Fire Bush
<i>Haplopappus goodingii</i>	Goldenweed
<i>Herissantia crispa</i>	Indian Mallow
<i>Horsfordia newberryi</i>	Horsfordia
<i>Hyptis emoryi</i>	Desert Lavender
<i>Isocoma heterophylla</i>	Jimmyweed
<i>Isocoma tenuisecta</i>	Burroweed
<i>Janusia gracilis</i>	Slender Janusia
<i>Drameria parvifolia</i>	Ratany
<i>Larrea tridentata</i>	Creosote Bush
<i>Leucophyllum candidum 'Thunder Cloud' TM</i>	Thunder Cloud Sage
<i>Leucophyllum Frutescens</i>	Texas Sage
<i>Leucophyllum Frutescens 'Compacta'</i>	Compact Texas Sage
<i>Leucophyllum Frutescens 'Green Cloud'</i>	Green Cloud Sage
<i>Leucophyllum Frutescens 'White Cloud'</i>	White Cloud Sage
<i>Leucophyllum Frutescens 'Rain Cloud'</i>	Compact Texas Sage
<i>Leucophyllum leavigatum</i>	Chihuahuan Sage
<i>Leucophyllum langmaniae</i>	Sierra Madre Sage
<i>Leucophyllum Langmaniae 'Rio Bravo' TM</i>	Rio Bravo Sage
<i>Leucophyllum pruinatum</i>	Fragrant Sage
<i>Leucophyllum pruinatum 'Sierra Bouquet'</i>	Sierra Bouquet Sage
<i>Leucophyllum revolutum 'Sierra Magic' TM</i>	Sierra Magic Sage
<i>Leucophyllum zygophyllum</i>	Blue Ranger

<i>Lippia (berlandieri)</i>	Mexican Oregano
<i>Lotus rigidus</i>	Desert Rock Pea
<i>Lycium andersonii</i>	Wolfberry
<i>Lycium brevipes</i>	Frutilla
<i>Lycium exsertum</i>	Desert-Thorn
<i>Lycium fremontii</i>	Fremont Lycium
<i>Maytenus phyllanthoides</i>	Mangel Dulce
<i>Melaleuca spp.</i>	Australian Myrtle
<i>Menodora scabra</i>	Menodora
<i>Mimosa biuncifera</i>	Wait-a-While
<i>Mimosa dysocarpa</i>	Momosa/Velvet Pot Mimosa
<i>Perovskia atriplicifolia v. 'Heavenly Blue'</i>	Russian Sage
<i>Parthenium incanum</i>	Mariola
<i>Plumbago scandens v. 'Summer Snow'</i>	Summer Snow Plumbago
<i>Quercus chihuahuensis</i>	Chihuahuensis
<i>Quercus emoryi</i>	Emory Oak
<i>Quercus grisea</i>	Gray Oak
<i>Quercus oblongifolia</i>	Mexican Blue Oak
<i>Quercus tourneyi</i>	Tourney Oak
<i>Quercus turbinella</i>	Scrub Live Oak
<i>Rhus dhoriophylla</i>	Mearns Sumac
<i>Rhus microphylla</i>	Littleleaf Sumac/Desert Sumac
<i>Rhus ovata</i>	Sugarbush
<i>Rhus tribolata</i>	Skunkbush
<i>Rhus virens</i>	Evergreen Sumac
<i>Ruellia peninusularis</i>	Ruellia
<i>Salazaria mexicana</i>	Paperbag Bush
<i>Salvia dhamaedryoides</i>	Blue Sage
<i>Salvia develandii</i>	Chaparral Sage
<i>Salvia coccinea</i>	Cherry Red Sage
<i>Salvia dorrii</i>	Desert Sage
<i>Salvia farnicea</i>	Mealy-Cup Sage
<i>Salvia greggii</i>	Autumn Sage
<i>Salvia leucantha</i>	Mexican Bush Sage
<i>Salvia leuophylla</i>	Sage
<i>Salvia microphylla</i>	Salvia
<i>Sagerentia wrightii</i>	Spiny Sagertia
<i>Sophora arizonica</i>	Arizona Sopphora
<i>Sohora formosa</i>	Sopphora
<i>Sphaeralcea ambigua</i>	Desert Globemallow
<i>Trixis Californica</i>	Trixis
<i>Vauquelinia corymbosa</i>	Narrowleaf Rosewood

<i>Vauquelinia californica</i>	Arizona Rosewood
<i>Westringia rosemariniformis</i>	Westringia
<i>Zauscheria californiaca</i>	California fuchsia
<i>Ziziphus obtusifolia</i>	Greythorne

**GROUNDCOVERS**

<i>Albronia villosa</i>	Sand-verbena
<i>Acacia redolens</i>	Prostrate Acacia
<i>Allionia incarnata</i>	Trailing Windmills
<i>Amsonia palmeris</i>	Amsonia
<i>Anigosanthos flavidus</i>	Kangaroo Paw
<i>Anigosanthos manglesii</i>	Kangaroo Paw
<i>Anigosanthos viridis</i>	Kangaroo Paw
<i>Anisodontea hypomandrum</i>	African Mallow
<i>Archtotis acaulis</i>	African Daisy
<i>Aquilegia chrysantha</i>	Golden-spurred Columbine
<i>Argemone munita</i>	Prickly Poppy
<i>Argemone plateyceras</i>	Prickly Poppy
<i>Artemisia ludoviciana</i>	Wormwood
<i>Astrolepis cochisensis</i>	Cloak Fern
<i>Bahia absinthifolia</i>	Bahia
<i>Baileya multiradiata</i>	Desert Marigold
<i>Berlandiera lyrata</i>	Chocolate Flower
<i>Bushloe dactyloides</i>	Buffalo Grass
<i>Calylophus hartwegii</i> v. 'Sierra Sundrop'	Calylophus
<i>Camissonia brevipes</i>	Yellow Cups
<i>Carrissonia cardiophylla</i>	Heart-leaved Primrose
<i>Castilleja lanata</i>	Indian Paintbrush
<i>Catharanthus roseus</i>	Madagascar periwinkle
<i>Centaurium calycosum</i>	Santa Maria
<i>Centaurea throckii</i>	Basket Flower
<i>Ceratoides lanata</i>	Winterfat
<i>Cheilanthes lindheimeri</i>	Lip Fern
<i>Cirsium meomexicanum</i>	Thistle
<i>Clarkia amoena</i>	Farewell-to-Spring
<i>Cliaanthus formosus</i>	Sturts Desert Pea
<i>Collinsia heterophylla</i>	Chinese-houses
<i>Convolvulus mauritancicus</i>	Ground Glory
<i>Cooperia drummondii</i>	Rain Lily
<i>Coreopsis bigelovii</i>	Desert Coreopsis
<i>Cupea llavea</i>	Bat Faced Cuphea
<i>Dalea capitata</i> 'Sierra Gold'	Sierra Gold Dalea

<i>Datura innoxia</i>	Sacred Datura/Jimsonweed
<i>Dichelostemma pulchellum</i>	Blue Dicks
<i>Delphinium amabile</i>	Larkspur
<i>Delphinium scaposum</i>	Barestem Larkspur
<i>Ditaxis lanceolata</i>	Common Diataxis
<i>Drosanthemum speciosum 'Rosa'</i>	Ice plant
<i>Dyssodia acerosa</i>	Dyssodia
<i>Dyssodia pentachaeta</i>	Dyssodia
<i>Euphorbia albomarginata</i>	Rattlesnake Weed
<i>Eriastrum diffusum</i>	Prickly Stars
<i>Erieron Profusion</i>	Profusion Fleabane Daisy
<i>Eriophyllum lanosum</i>	Wooly Daisy
<i>Eriophyllum wallacei</i>	Wooly Daisy
<i>Erogrostis intermedii</i>	Plains Lovegrass
<i>Eschscholzia californica</i>	California Poppy
<i>Eschscholzia mexicana</i>	Mexican Gold Poppy
<i>Gaillardia arizonica</i>	Arizona Blanketflower
<i>Gaillardia puchella</i>	Indian Blaket
<i>Geraea canescens</i>	Desert Sunflower
<i>Gilia leptantha</i>	Showy Blue Gilia
<i>Gomphrema globosa</i>	Globe Amaranth
<i>Hardenbergia comptoniana</i>	Wild Wisteria
<i>Helianthus annuus</i>	Wild Sunflower
<i>Helichrysum bracteatum</i>	Everlasting Daisy
<i>Heteropogon contortus</i>	Tanglehead
<i>Hilaria belangeri</i>	Curly Mesquite
<i>Hilaria mutica</i>	Tobosa
<i>Ipomoea cristulata</i>	Morning Glory
<i>Ipomoea leptotama</i>	Morning Glory
<i>Kallstroemia grandiflora</i>	Arizona Poppy
<i>Lasthenia chrysostoma</i>	Goldfield
<i>Layia platyglossa</i>	Tidy Tips
<i>Lesquerella gordonii</i>	Yellow Blanket
<i>Linium grandiflora v. 'Rubrum'</i>	Red Flax
<i>Linum lewisii</i>	Blue Flax
<i>Luprinus spp.</i>	Lupine
<i>Lupinus arizonicus</i>	Arizona Lupine
<i>Lupinus densiflorus</i>	Lupine
<i>Lupinus sparciflorus</i>	Lupine
<i>Lupinus succulentus</i>	Arroyo Lupine
<i>Lycurus phleoides</i>	Wolftail
<i>Machaeranthera canescens</i>	Blue Aster

<i>Machaeranthera gracilis</i>	Yellow Aster
<i>Machaerathera tanacetifolia</i>	Purple Aster
<i>Machaeranthera tortifolia</i>	Mohave Aster
<i>Macfadyena unguis-cati</i>	Cats Claw Vine
<i>Martynia</i> spp.	Devils Claw
<i>Mascogonia lilacina</i>	Purple mascagonia (Vine)
<i>Mascagnia macroptera</i>	Yellow Orchid Vine
<i>Matricaria grandiflora</i>	Pineapple Weed
<i>Matthiola longipetala</i> v. 'Bicornis'	Evening Scented Stock
<i>Maurandya antirrhiniflora</i>	Snapdragon Vine
<i>Maurandya wislizeni</i>	Snapdragon Vine
<i>Melampodium leucanthum</i>	Blackfoot Daisy
<i>Merreria aurea</i>	Yucca Vine (Yellow)
<i>Mesembryanthemum</i> spp.	Ice Plant
<i>Mimulus bigelovii</i>	Bigelows Monkeyflower
<i>Mimulus cardinalis</i>	Monkey Flower
<i>Mirabilis bigelovii</i>	Mirabilis
<i>Mirabilis coccinea</i>	Four-O Clock
<i>Mohavea confertiflora</i>	Ghost Flower
<i>Monarda austromontana</i>	Bee Balomontana
<i>Monoptilon belliodes</i>	Belly Flower
<i>Myoporum parvifolium</i>	Myoporum
<i>Oenothera berlandieri</i>	Mexican Evening Primrose
<i>Oenothera stubbei</i>	Saltillo Primrose
<i>Oryzopsis hymenoides</i>	Indian Ricegrass
<i>Panicum obtusum</i>	Vine Mesquite Grass
<i>Pentzia incana</i>	Karoo Bush
<i>Penstemon baccharifolius</i>	Rock Penstemon
<i>Penstemon barbatus</i>	Penstemon
<i>Penstemon cardinalis</i>	Penstemon
<i>Penstemon eatonii</i>	Firecracker Penstemon
<i>Penstemon fendleri</i>	Fendler Penstemon
<i>Penstemon grandiflorus</i>	Penstemon
<i>Penstemon palmeri</i>	Palmer's Penstemon
<i>Penstemon parryi</i>	Parry's Penstemon
<i>Penstemon pseudosoectabilis</i>	Desert Penstemon
<i>Penstemon setaceum</i> v. 'Cupreum'	Purple Fountain Grass
<i>Penstemon spectabilis</i>	Royal Penstemon
<i>Penstemon strictus</i>	Penstemon
<i>Penstemon superbus</i>	Superb Penstemon
<i>Penstemon thurberi</i>	Penstemon
<i>Penstemon wrightii</i>	Penstemon

<i>Psilostrophe tagetina</i>	Paperflower
<i>Ratibida columnaris</i>	
<i>Scleropogon brevifolius</i>	Burrograss
<i>Senecio douglasii</i>	Threadleaf Groundsel
<i>Senna covesii</i>	Desert Senna
<i>Senna lindheimeriana</i>	Lindheirmer Senna
<i>Setaria species</i>	Brittlegrass
<i>Sporobolus cryptanarus</i>	Sand Drapseed
<i>Sporobolus wrightii</i>	Wright Sacaton
<i>Stephanomeria pauciflora</i>	Wire Lettuce
<i>Selaginella arizonica</i>	Spikemoss
<i>Tagetes palmeri (lemmorii)</i>	Mt. Lemmon Marigold
<i>Tagetes lucida</i>	Mexican Mint Marigold
<i>Teucrium chamaedrys v. 'Prostrata'</i>	Germander
<i>Trichachne californica</i>	Cotton-top
<i>Tridens muticus</i>	Slim Tridens
<i>Tridens pilosus</i>	Hairy Tridens
<i>Tridens pulchellus</i>	Fluffgrass
<i>Verdena bipinnatifida</i>	Verbena
<i>Verbena peruviana</i>	Peruvian Verbena
<i>Verbena tenera</i>	Moss Verbena
<i>Verbena rigida</i>	Sandpaper Verbena
<i>Zephranthes candida</i>	Zephyr Flower/Rain Lily
<i>Zephranthes citrina</i>	Fairy Lily
<i>Zephranthes grandiflora</i>	
<i>Zinnia acerosa</i>	Desert Zinnia
<i>Zinnia grandiflora</i>	Little Golden Zinnia

<b>ACCENTS</b>	
<i>Agave americana</i>	Century Plant
<i>Agave colorata</i>	Mescal Ceniza
<i>Agave desmettiana</i>	Agave
<i>Agave deserti</i>	Desert Agave
<i>Agave murpheyi</i>	Murphy's Agave
<i>Agave parryi</i>	Parry's Agave
<i>Agave tourneyana</i>	Tourney's Agave
<i>Agave victoriae-reginae</i>	Royal Agave
<i>Agave vilmorianiana</i>	Octopus-Agave
<i>Asclepias subulata</i>	Desert Milkweed
<i>Bulbine frutescens</i>	Bulbine
<i>Carnegiea gigantea</i>	Saguaro
<i>Dasylirion acrotriche</i>	Green Desert Spoon

<i>Dasylirion leiophyllum</i>	Desert Spoon
<i>Dasylirion longissimum</i>	Desert Spoon
<i>Dasylirion wheeleri</i>	Desert Spoon
<i>Echinocereus engelmannii</i>	Engelmann's Hedgehog
<i>Echinocereus pectinatus v. rigidissimus</i>	Rainbow Cactus
<i>Echinocactus grusonii</i>	Golden Barrel Cactus
<i>Echinocactus horizonthalonius</i>	Turk's Head
<i>Euphorbia antisyphilitica</i>	Candelilla
<i>Euphorbia myrsinites</i>	Euphorbia
<i>Euphorbia rigida</i>	Gopher Plant
<i>Euphorbia tirucalli</i>	Pencil Bush
<i>Ferocactus acanthodes</i>	Fire Barrel
<i>Ferocactus wislizerii</i>	Fishhook Barrel
<i>Fouquieria macdougallii</i>	Chunari
<i>Fouquieria splendens</i>	Ocotillo
<i>Hesperaloe campanula</i>	Bell Flower
<i>Hesperaloe funifera</i>	
<i>Coahuilan Hesperaloe</i>	
<i>Hesperaloe parviflora</i>	Red Hesperaloe
<i>Hesperaloe parviflora (Yellow)</i>	Yellow Hesperaloe
<i>Lophocereus schottii</i>	Senita Cactus
<i>Lophocereus schottii v. monstrosus</i>	Totem Pole Cactus
<i>Manfreda maculosa</i>	Manfreda
<i>Mammillaria grahami</i>	Pincushion Cactus
<i>Mammillaria gummiifera</i>	Cream Cactus
<i>Mammillaria mainiae</i>	Pincushion Cactus
<i>Mammillaria microcarpa</i>	Pincushion Cactus
<i>Mammillaria wrightii</i>	Pincushion Cactus
<i>Neolloydia erectocentra</i>	
<i>Neolloydia intertexta</i>	
<i>Nolina texana</i>	Bear Grass
<i>Nolina bigelovii</i>	Bear Grass
<i>Nolina matapensis</i>	Tree Bear Grass
<i>Nolina microcarpa</i>	Bear Grass
<i>Opuntia acanthocarpa</i>	Buckhorn Cholla
<i>Opuntia basilaris</i>	Beavertail Prickly Pear
<i>Opuntia bigelovii</i>	Teddybear Cholla
<i>Opuntia engelmannii</i>	Engelmann's Prickly Pear
<i>Opuntia ficus-indica</i>	Indian Fig Prickly Pear
<i>Opuntia fulgida</i>	Chainfruit Cholla
<i>Opuntia imbricata</i>	Tree Cholla
<i>Opuntia leptocaulis</i>	Christmas Cactus

<i>Opuntia microdasys</i>	Bunny Ears
<i>Opuntia robusta</i>	Silver Dollar Prickly Pear
<i>Opuntia spinosior</i>	Cane Cholla
<i>Opuntia santa-rita</i>	Purple Prickly-Pear
<i>Opuntia violacea</i>	Purple Prickly Pear
<i>Opuntia violacea v. macrocentra</i>	Santa Rita Prickly Pear
<i>Pachycereus marginatus</i>	Mexican Organ Pipe
<i>Pedilanthus macrocarpus</i>	Lady Slipper
<i>Stenocereus marginatus</i>	Mexican Fence Post
<i>Stenocereus thurberi</i>	Organ Pipe Cactus
<i>Trichocereus candicans</i>	
Argentine <i>Trichocereus</i>	
<i>Yucca aloifolia</i>	Spanish Bayonet
<i>Yucca angustifolia</i>	Narrow Leaf Yucca
<i>Yucca baccata</i>	Banana Yucca
<i>Yucca brevifolia</i>	Joshua Tree
<i>Yucca carnerosana</i>	Spanish Bayonet
<i>Yucca elata</i>	Soaptree Yucca
<i>Yucca gloriosa</i>	Yucca
<i>Yucca macrocarpa</i>	Bigleaf Yucca
<i>Yucca recurvifolia</i>	Curveleaf Yucca
<i>Yucca rigida</i>	Blue Yucca
<i>Yucca rostrata</i>	Beaked Yucca
<i>Yucca rupicola</i>	Twisted Leaf Yucca
<i>Yucca torreyi</i>	Torrey Yucca
<i>Washingtonia filifera</i>	California Fan Palm

**ANNUAL WILDFLOWERS**

<i>Cassia cpvesii</i>	Desert Cassia
<i>Dimorphotheca sinnuata</i>	African Daisy
<i>Ergeron divergens</i>	Spreading Fleabane
<i>Dimorphotheca sinnuata</i>	African Daisy
<i>Evolvulus arizonicus</i>	Arizona Blue Eyes
<i>Gallardiz sp.</i>	Indian Paint Bucket
<i>Gaura lindeimeri</i>	Desert Orchid
<i>Hesperocallis undulata</i>	Ajo Lily
<i>Hibiscus coulteri</i>	Desert Rose Mallow
<i>Hymenoxys acaulis</i>	Angelita Daisy
<i>Linaria Texana</i>	Toadflax
<i>Linaria pinnifolia</i>	Toadflax
<i>Linaria moroccana</i>	Toadflax
<i>Linum lewisii</i>	Blue Flax

<i>Mentzelia involucrata</i>	Morning Stars
<i>Mentzelia lindleyi</i>	Blazing Stars
<i>Melampodium leucanthum</i>	Blackfoot Daisy
<i>Mirabilis multiflora</i>	Desert Four-O Clock
<i>Nama demissum</i>	
<i>Nama hispidum</i>	Purple Mat
<i>Nemophila maculata</i>	Five Spot
<i>Nemophila menziesii</i>	Baby Blue Eyes
<i>Oenothera caepitosa</i>	Turfed Evening Primrose
<i>Oenothera primiveris</i>	Evening Primrose
<i>Orthocarpus purpuracens</i>	Owls Clover
<i>Papaver rhoeas</i>	Shirley Poppy
<i>Pectis pappaso</i>	Chinch Weed
<i>Perityle emoryi</i>	Rock Daisy
<i>Phacelia campanularia</i>	California Bluebell
<i>Phacelia tanacetifolia</i>	Scorpien Weed
<i>Plantago insularis</i>	Indian Wheat
<i>Platstemon californicus</i>	Cream Cups
<i>Portalacaria afra</i>	Elephant's Food
<i>Proboscidea altheaefolia</i>	Devil's Claw
<i>Proboscidea parviflora</i>	Devil's Claw
<i>Psilostrophe cooperi</i>	Paperflower
<i>Fafinesquia neomexicana</i>	Desert Senna
<i>Salvia columbariae</i>	Chia
<i>Sisymbrium ambiguum</i>	Purple Rocket
<i>Solanum xanti</i>	Solanum
<i>Stachys coccinea</i>	Red Mint, Betony
<i>Trithonia rotundifolia</i>	Mexican Sunflower
<i>Ursinia calenduiflora</i>	Ursinia
<i>Ursinia chrysanthemoides</i>	
<i>Ursinia speciosa</i>	
<i>Verbena gooddingii</i>	Gooding Verbena
<i>Verbesina encelioides</i>	Golden Crown Beard
<i>Viguiera annua</i>	Golden Eye
<i>Viguiera deltoidea</i>	Goldeneye
<i>Viguiera tomentosa</i>	Golden Eye
<b>GRASSES</b>	
<i>Aristida californica</i>	Threeawn Grass
<i>Aristida divaricata</i>	Poverty Three-awn
<i>Aristida longiseta</i>	Red Three-awn
<i>Aristida wrightii</i>	Wright Threeawn

<i>Aristida purpurea</i>	Purple Threeawn
<i>Bouteloua aristioides</i>	Six Weeks Grama
<i>Bouteloua breuiseta</i>	Chino Grama
<i>Bouteloua chondrosiodes</i>	Sprucetop Grama
<i>Bouteloua curtipendula</i>	Sideoats Grama
<i>Bouteloua eriopoda</i>	Black Grama
<i>Boutefoua filiformis</i>	Slender Grama
<i>Bouteloua gracilis</i>	Blue Grama
<i>Bouteloua hirsuta</i>	Hairy Grama
<i>Erioneuton pulchellum</i>	Fluffgrass
<i>Hillaria rigida</i>	Big Galleta
<i>Muhlenbergia capillaris</i>	Gulf Muhley
<i>Muhlenbergia dumosa</i>	Bamboo Muhley
<i>Muhlenbergia emersleyi</i>	Bull Grass
<i>Muhlenbergia lindeimien</i>	Lindheimer Muhly
<i>Muhlenbergia porteri</i>	Bush Muhly
<i>Muhlenbergia rigne</i>	Deer Grass
<i>Muhlenbergia rigida</i>	Deer Grass
<i>Muhlenbergia rigida</i> 'Nashville' TM	Nashville Grass
<i>Setaria macrostachya</i>	Plains Bristlegrass
<i>Schismus barbatus</i>	Mediterranean Grass
<i>Stipa speciosa</i>	Desert Needlegrass

<b>TREES</b>	
<i>Acaci famesiana/smallii</i>	Sweet Acacia
<i>Acacia salicina</i>	Willow-leaf Acacia
<i>Albizia julibrissin</i>	Silk Tree
<i>Carya illinoensis</i>	Pecan
<i>Ceratonia siliqua</i>	Carob Tree
<i>Chilopsis lineris</i>	Desert Willow
<i>Chorisia speciosa</i>	Silk Floss Tree
<i>Citrus aurantium</i>	Seville Orange
<i>Cupressus senpervirens</i>	Italian Cypress
<i>Dalbergia sissoo</i>	Sissoo Tree
<i>Eucalyptus formanii</i>	Forman's Eucalyptus
<i>Euacalyptus leucoxyton</i>	White Ironbark
<i>Eucalyptus microtheca</i>	Coolibah
<i>Eucalyptus papauana</i>	Ghost Gum
<i>Eucalyptus spathulata</i>	Swamp Malee
<i>Eucalyptus torquata</i>	Coral Gum
<i>Fraxinus anomala</i>	Single Leaf Ash
<i>Fraxinus greggii</i>	Littleleaf Ash

<i>Fraxinus velutina</i>	Arizona Ash
<i>Gleditsia tricanthos</i>	Honey Locust
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Lysiloma candida</i>	Palo Blanco
<i>Lysiloma microphylla v. thornberi</i>	Desert Fern
<i>Olea europaea 'Swan Hill'</i>	Olive
<i>Pinus eldarica</i>	Afghan pine
<i>Phoenix canariensis</i>	Canary Island Date Palm
<i>Phoenix Palm</i>	
<i>Phoenixtechinus terebinthifolius</i>	
<i>Brazilian Pepper Tree</i>	
<i>Tamarix aphylla</i>	Athel Tree
<i>Ulmus parvifolia v. 'sempervirens'</i>	Evergreen Elm
<i>Vitex agnus-castus</i>	Chaste Tree
<i>Washingtonia robusta</i>	Mexican Fan Palm
<i>Ziziphus jujuba</i>	Chinese Jujube

#### SHRUBS

<i>Acacia craspedocarpa</i>	Leather-leaf Acacia
<i>Acacia rigens</i>	Needle Acacia
<i>Ancanthus mollis</i>	Acanthus
<i>Alyosia gratissima</i>	Bee Bush
<i>Alyosia lycioides</i>	Bee Bush
<i>Alyosia macrostachya</i>	Sweet-stem
<i>Alyosia wrightii</i>	Orgenillo
<i>Alyogyne huegelii</i>	Blue Hibiscus
<i>Artemisia ludoviciana</i>	White Sage
<i>Arterrsia lentiformis</i>	Quail Bush
<i>Atriplex canescens</i>	Fourwing Slatbush
<i>Atriplex hymenelytra</i>	Desert Holly
<i>Atriplex nummanlaria</i>	Old Man Saltbush
<i>Bourgainvillea 'Barbara Karst'</i>	Bourgainvillea
<i>Bourgainvillea 'La Jolla'</i>	Bush Bougainvillea
<i>Bourgainvillea 'San Diego Red'</i>	Bourgainvillea
<i>Bourgainvillea spectabilis</i>	Bourgainvillea
<i>Bumelia lanuginosa</i>	Gum Bumelia
<i>Calliandra californica</i>	Baja Fairy Duster
<i>Campsis radicans</i>	Common Trumpetcreeper
<i>Convolvulus cneorum</i>	Bush Morning Glory
<i>Cistus</i>	Rockrose
<i>Dodonea viscosa 'Purpurea'</i>	Purple Hopbush
<i>Elastica deocaora</i>	Rubber Plant

<i>Equisetum laevigatum</i>	Horsetail
<i>Eremophila glabra</i>	Emu Bush
<i>Eremophila maculata</i>	Emu Bush
<i>Euryops pectinatus</i>	Golden Euryops Daisy
<i>Fatsia japonica</i>	Japanese Aralia
<i>Feijoa sellowiana</i>	Pineapple Guava
<i>Jasminum mesnyi</i>	Primrose Jasmine
<i>Jatropha cardiophylla</i>	Limberbush
<i>Jatropha cinerea</i>	Lomboy
<i>Jatropha dioca</i>	Leatherstem
<i>Juniperus chinensis varieties</i>	Juniper
<i>Juniperus monosperma</i>	One-seed Juniper
<i>Justicia californica</i>	Chuparosa
<i>Justicia candicans (ovata)</i>	Red Honeysuckle
<i>Justicia spicigera</i>	Mexican Honeysuckle
<i>Justicia sonorensis</i>	Palm Canyon
<i>Justicia Canyon</i>	Justicia
<i>Lantana camara</i>	Bush Lantana
<i>Myrtus communis</i>	True Myrtle
<i>Myrtus communis v. 'Compacta'</i>	Dwarf Myrtle
<i>Myrtus communis 'Boetica'</i>	Twisted Myrtle
<i>Nandina domestica</i>	Heavenly Bamboo
<i>Nerium oleander varieties</i>	Oleander
<i>Photinia fraseri</i>	Fraser Photinia
<i>Pittosporum tobira</i>	Japanese Moch Orange
<i>Podocarpus macrophyllus</i>	Yew Pine
<i>Punica granatum varieties</i>	Pomegranate
<i>Punica granatum 'Naya'</i>	Dwarf Pomegranate
<i>Pyrea</i>	Firehorn
<i>Robinia neomexicana</i>	New Mexican Locust
<i>Rosemarinus officinalis</i>	Rosemary
<i>Ruellia brittoniana</i>	Ruellia
<i>Strelitzia reginae</i>	Bird of Paradise
<i>Simmondsia chinensis</i>	Jojoba
<i>Tecomaria capensis</i>	Cape Honeysuckle
<i>Tecruim fruitcans</i>	Bush Germander
<i>Tagetes lemmoni</i>	Spiney Sageretia
<i>Tecoma stans</i>	Yellow Bells
<i>Thamnosma montana</i>	Turpentine Broom
<i>Thevetia peruviana</i>	Yellow Oleander

## GROUNDCOVERS

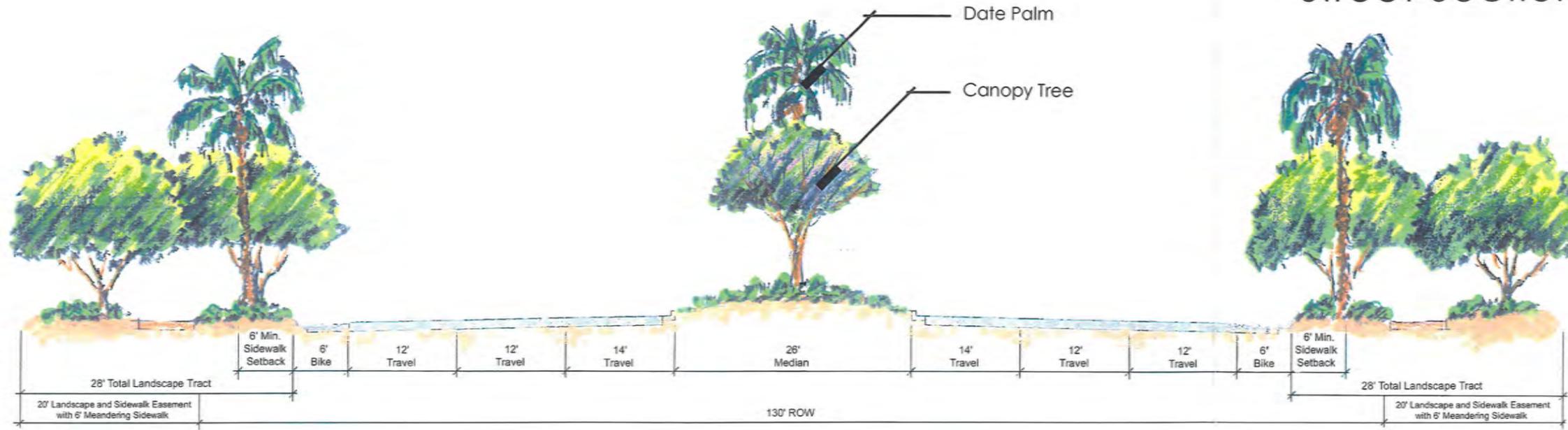
<i>Antigonon leptopus</i>	Coral Vine, Queen's wreath
<i>Asparagus desiflorus 'sprengeri'</i>	Asparagus Fern
<i>Aspidistra elatior</i>	Cast Iron Plant
<i>Atriplex semibaccata</i>	Australian Saltbush
<i>Aucuba japonica</i>	Japanese Aucuba
<i>Baccharis 'Centennial'</i>	Centennial Baccharis
<i>Bougainvillea spp.</i>	Bougainvillea
<i>Callaeum macroptera</i>	Yellow Orchid Vine
<i>Campsis radicans</i>	Common Trumpet Creeper
<i>Carpobrotus edule</i>	Hottentot Fig
<i>Cephalophyllum 'Red Spike'</i>	Red Spike Ice Plant
<i>Cissus frifoliata</i>	Grape Ivy
<i>Clematis drummondii</i>	Virgin's Bower
<i>Dalea greggii</i>	Trailing Dalea
<i>Drosanthemum speciosum</i>	Dewflower
<i>Fatxhedera lizei</i>	Aralia Ivy
<i>Ficus pumila</i>	Creeping Fig
<i>Gazania rigen</i>	Trailing Gazania
<i>Gazania rigens 'Sun Gold'</i>	Gazania
<i>Gelsemium sempervirens</i>	Yellow Flowing Jessamine
<i>Hedera canariensis</i>	Algerian Ivy
<i>Hedera helix</i>	English Ivy
<i>Kennedia nigricans</i>	Black Yellow Vine
<i>Lantana montevidensis</i>	Trailing Purple Lantana
<i>Liriope muscari</i>	Lilyturf
<i>Mesembryanthemum crystallinum</i>	Common Ice Plant
<i>Ophiopogon japonicus</i>	Mondo Grass
<i>Osteospermum fruticosum</i>	Trailing African Daisy
<i>Plubago auriculata</i>	Cape Plumbago
<i>Podranea ricasoliana</i>	Pink Trumpet Vine
<i>Rhynchosia texana</i>	Rosary Bead Vine
<i>Rosa banksiae</i>	Landy Banks Rose
<i>Rosemarinus officialis 'Prostratus'</i>	Dwarf Rosemary
<i>Ruellia brittoniana 'Katie'</i>	Katie Ruellia
<i>Salvia sp. 'Quicksilver'</i>	Quicksilver Sage
<i>Santolina chamaecyparissus</i>	Lavender Cotton
<i>Santolina virens</i>	Green Santolina
<i>Schizachyrium scoparium</i>	Little Bluestem
<i>Sedum spp.</i>	Stonecrop
<i>Salanum jasminoides</i>	Potatoe Vine
<i>Stachys byzantina</i>	Lambs Ears

<i>Trachelospermum asiaticum</i> <i>Vinca major</i> <i>Wedelia trilobata</i> <i>Aloe barbadensis</i> <i>Aloe marlothii</i>	Asiatic Jasmine Vinca Wedelia Aloe Vera
<b>ACCENTS</b>	
<i>Aloe sapanoria</i> <i>Aloe striata</i> <i>Aspidistra elatior</i> <i>Cereus hildmannianus</i> <i>Cereus hildmannianus v. monstrose</i> <i>Cereus peruvianus</i> <i>Chamaerops humilis</i> <i>Cycas revoluta</i> <i>Cyperus alternifolius</i> <i>Dietes bicolor</i> <i>Dioon edule</i> <i>Philodendron selloum</i> <i>Sanseveria spp.</i>	Aloe Coral Aloe Cast-Iron Plant Hildmass Cereus Curiosity Plant Night Blooming Cereus Mediterranean Fan Palm Sago Palm Umbrella Plant Fortnight Lily Mexican Sago Selloum Philodendron Mother-In-law's Tongue

# Street Sections

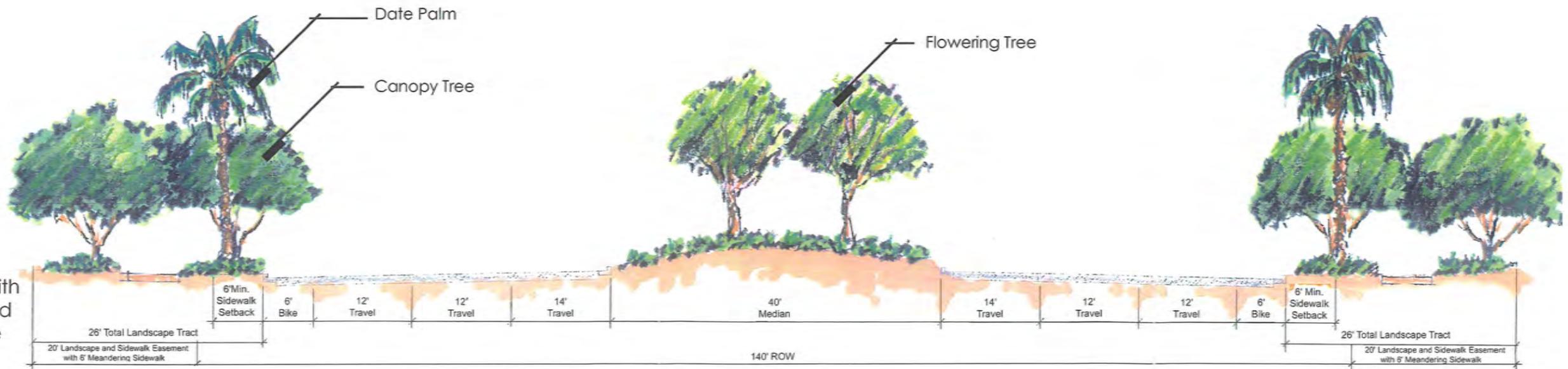
A

Freeway Entry Arterial with Median and Expanded Landscape Parkways



B

Promenade Arterial with Expanded Median and Expanded Landscape Parkways



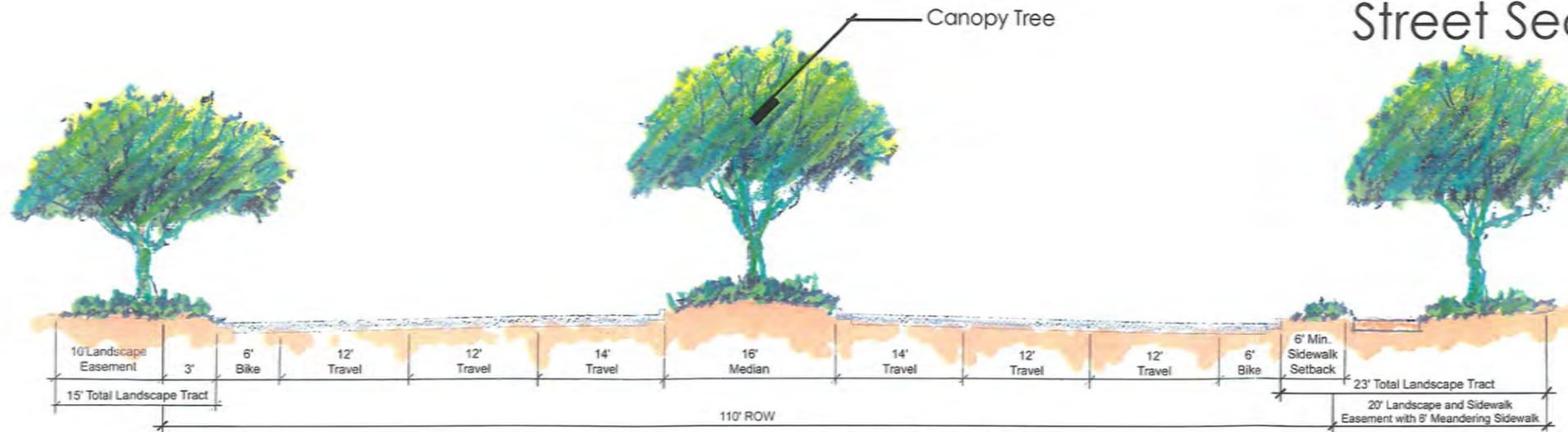
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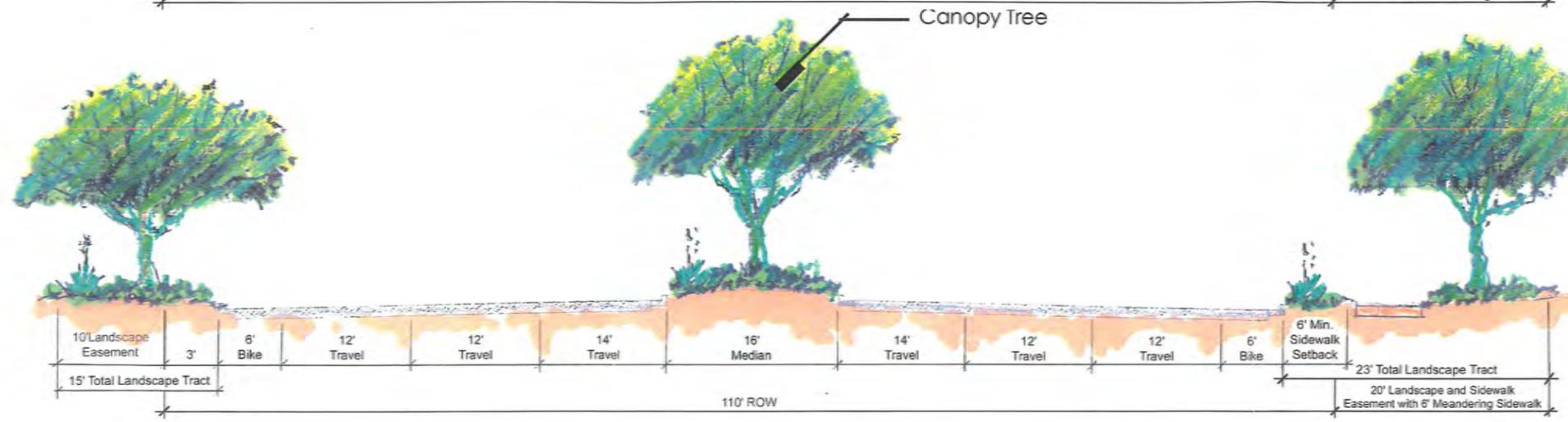
# Street Sections



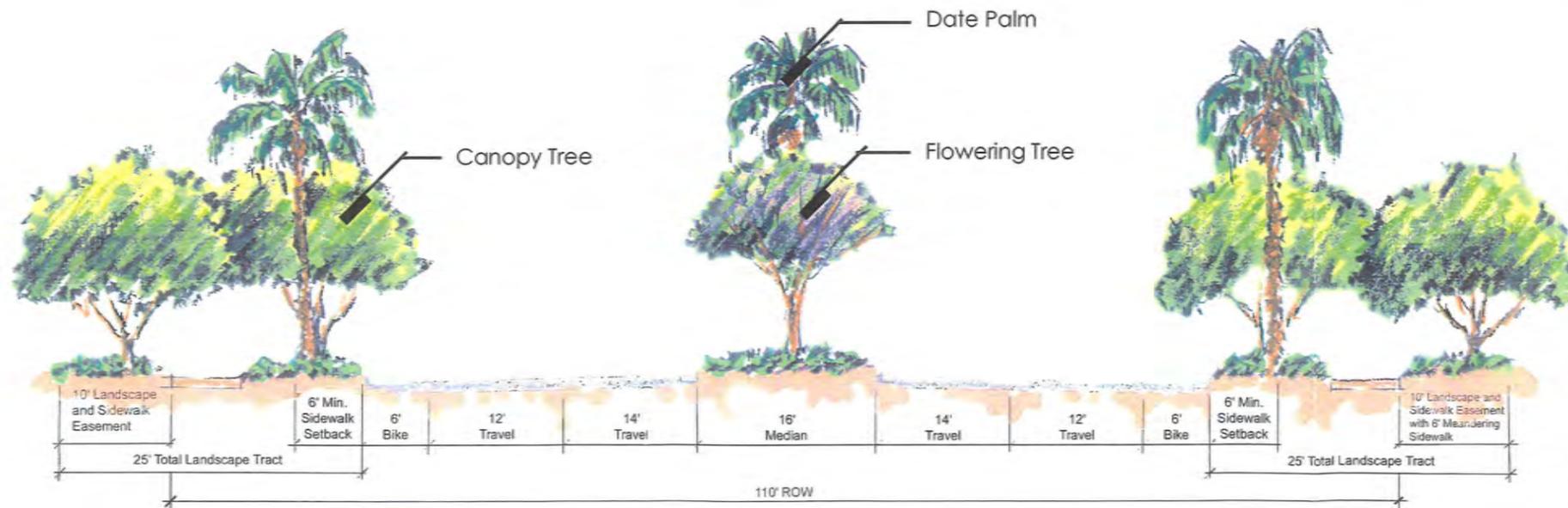
Internal Arterial with Median and Expanded Landscape Parkway



Internal Arterial with Median and Expanded Landscape Parkway



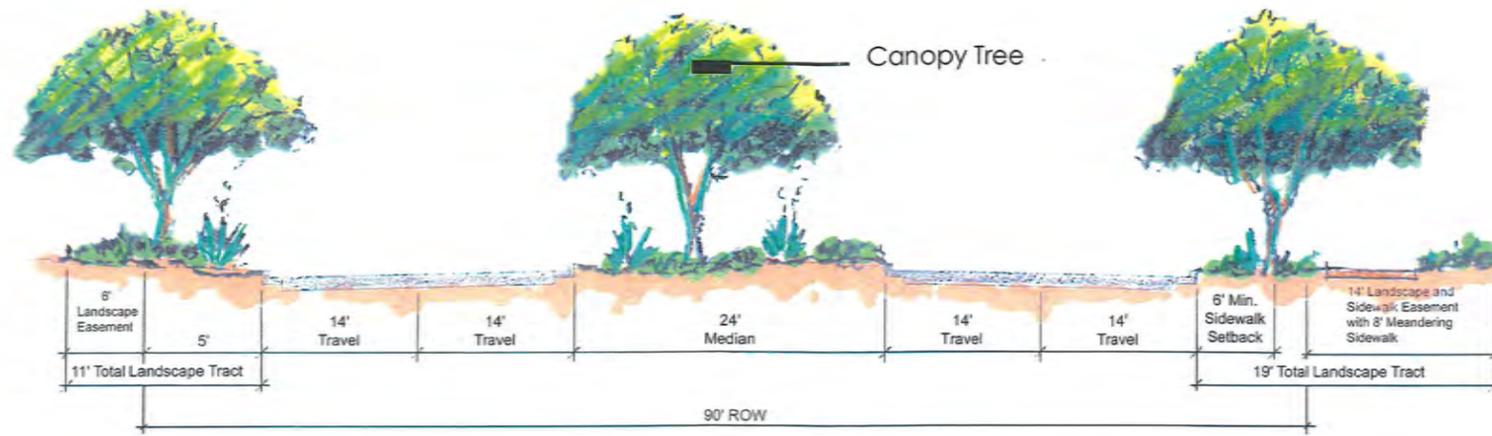
Project Entry Collector with Median and Expanded Landscape Parkways



# Street Sections

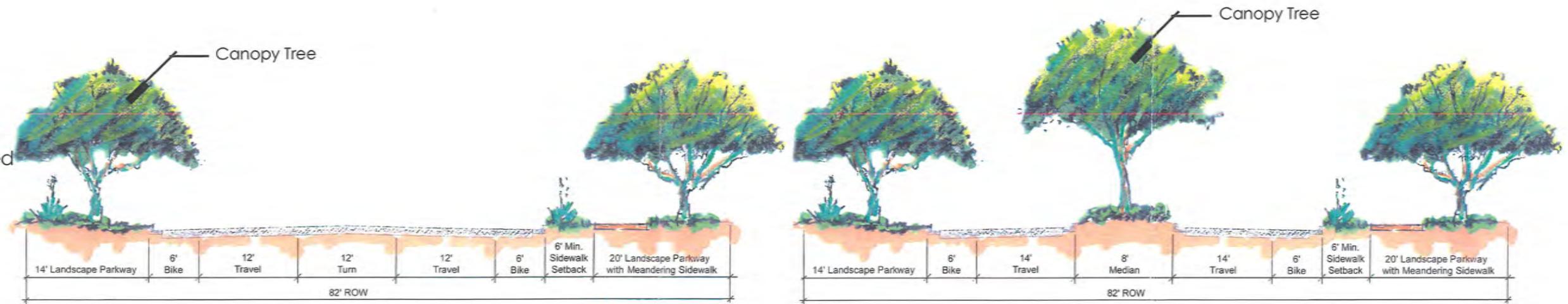
E

Village Collector with Median and Expanded Landscape Parkway



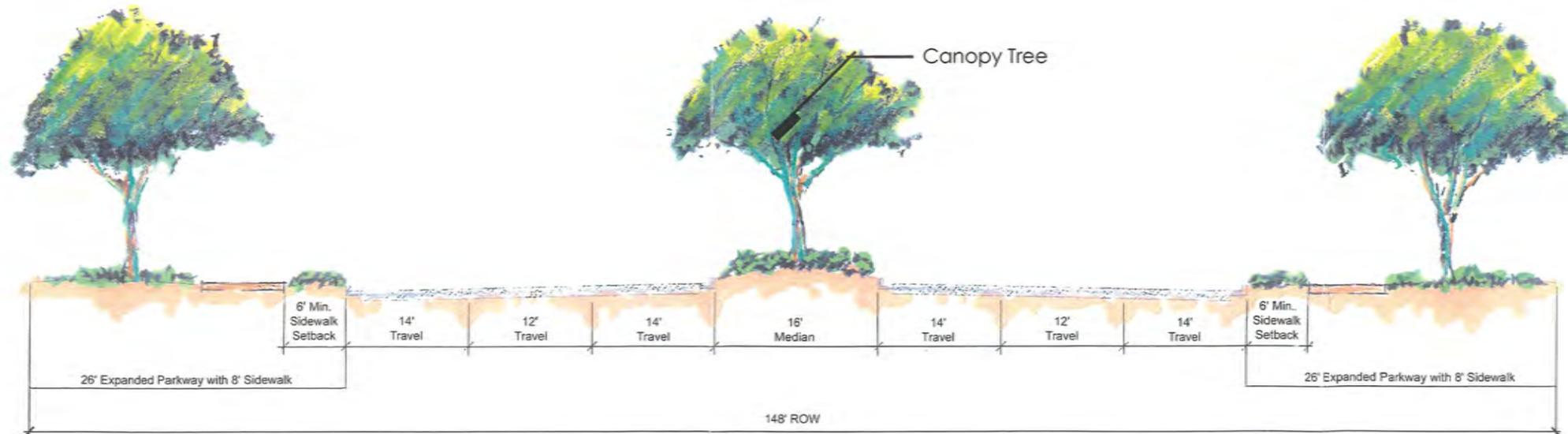
F

Village Collector with Median and Expanded Landscape Parkway



G

Neighborhood Residential Collector with Turning Lane and Expanded Landscape Parkway



H

Village Core Loop Road with Median Expanded Landscape Parkways

# Grand Paseo Character 7



Palm and olive trees will line the grand paseo at Tartesso. Berming in the median will visually separate traffic. Pedestrian walkways on both sides will be shaded by the tight tree spacing, and framed by patterned masonry community walls.

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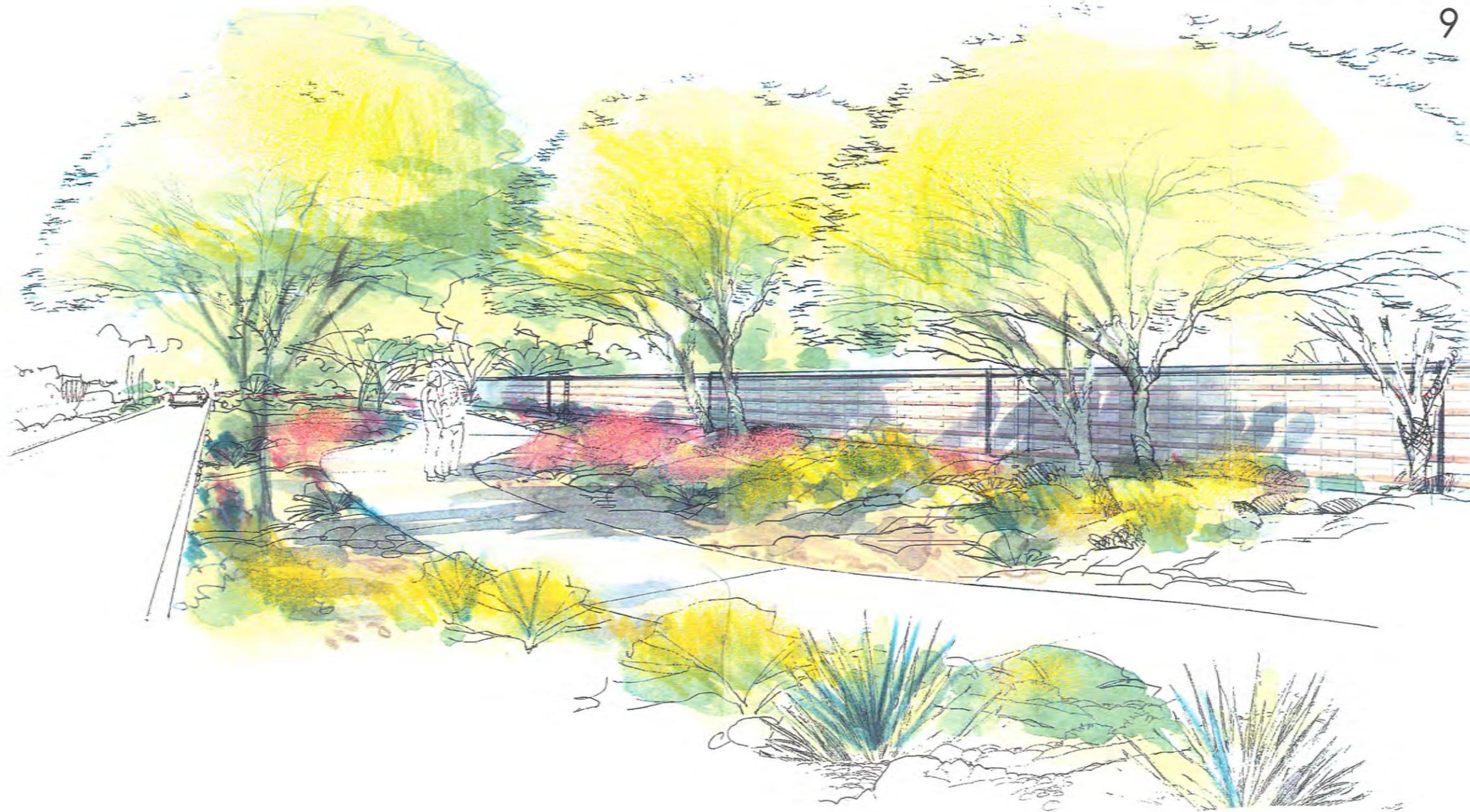
# Loop Character 8



A triple row of tightly spaced ash trees will line the loop at Tartesso. Berming in the median will create a visual separation of traffic. Pedestrian walkways will be located on both sides of the loop in a radial geometry.

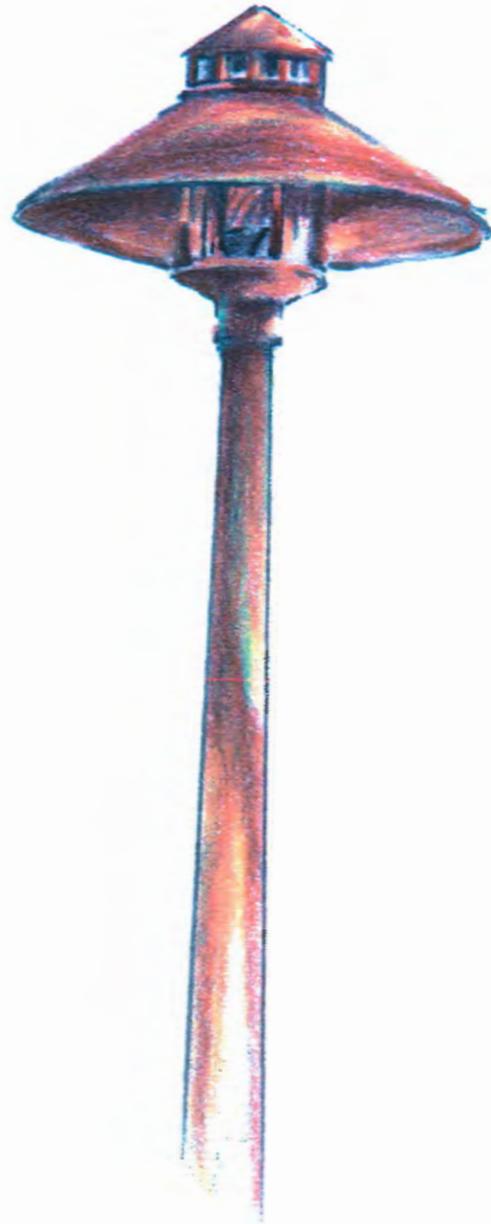
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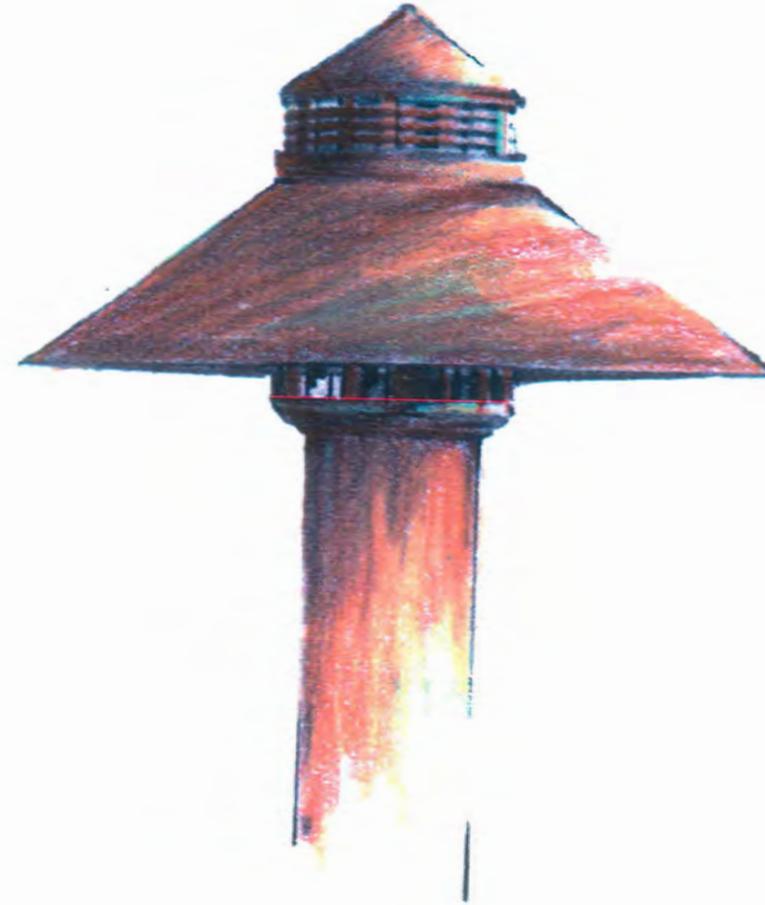


The street side planting will be an informal desert landscape emphasizing plant variety, color and texture, along with random turf pockets. There will be concrete pedestrian walkways meandering through natural earth berms, with the patterned masonry community wall as a backdrop.

## Area and Accent Lighting



POLE LIGHT DETAIL  
• Park Area Lighting  
• Community Parking Lighting



BOLLARD LIGHT DETAIL  
• Sidewalk and Path Lighting

Lighting fixtures emphasizing natural metal finishes will be utilized at Tartesso. These fixtures will reinforce the community image, and identity theming.

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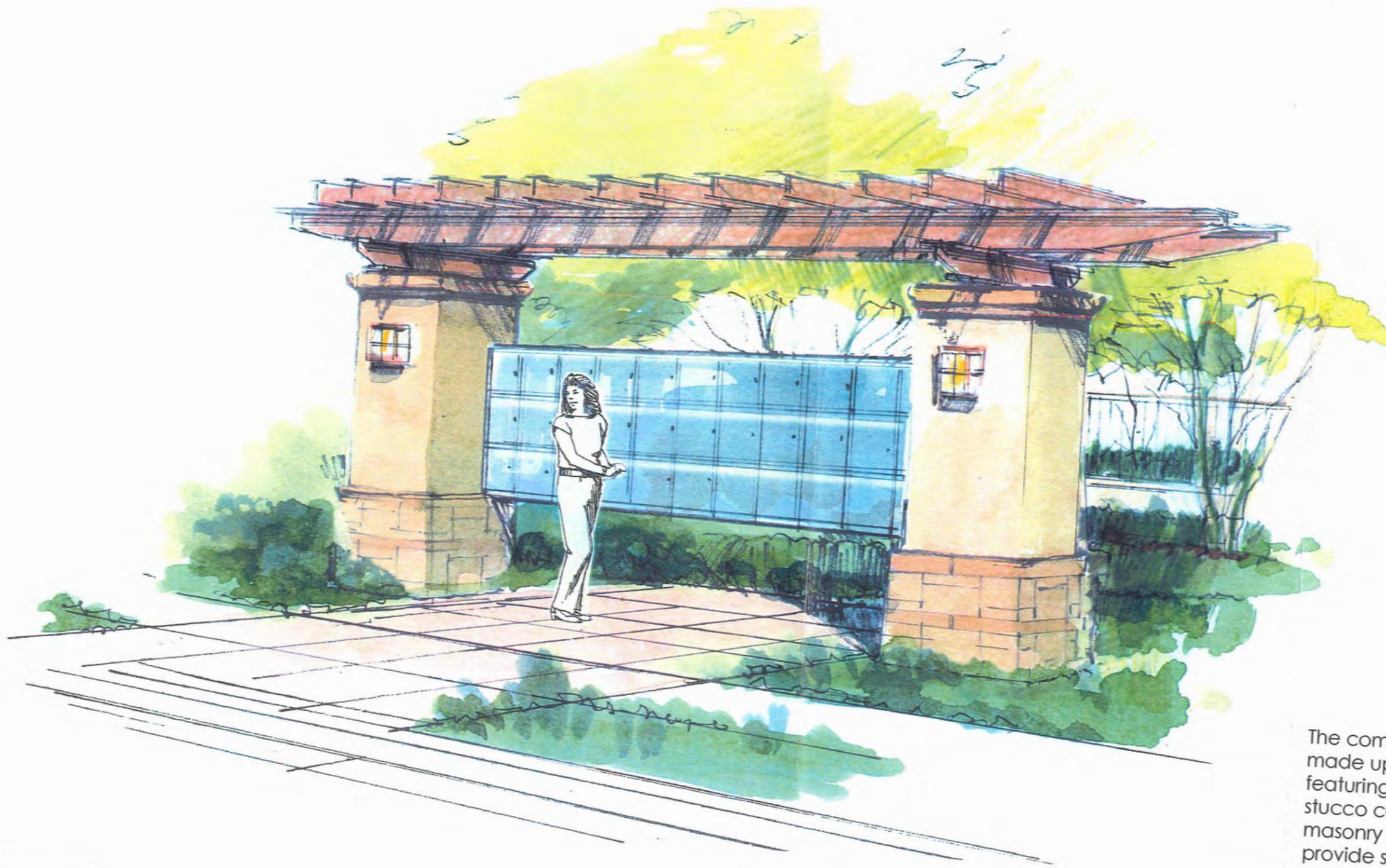
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# Drainage Structure 6



The drainage structures will be constructed with a patterned masonry headwall matching the community theme wall. The banks of the drainage way will be planted with native trees and shrubs. A cornerstone monument visually denotes the beginning of the drainage structure. Patterned masonry columns with community view fencing top the structure.

## Common Mailbox



The common mailbox structure will be made up of two stucco columns featuring custom Tartesso sconces on stucco columns, with a patterned masonry base. A metal arbor will provide shade for residents, while accent paving will enhance the groundplane. The structure will be well lit for the evening hours.

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**TARTESSO  
COMMUNITY MASTER PLAN**

**Development Standards**

The development standards for low and medium density parcels and commercial/mixed use are presented in the following charts. Development standards for medium-high and high-density parcels will be submitted with individual site plans.

TARTESSO  
COMMUNITY MASTER PLAN

Development Standards

DENSITY CATEGORY	MEDIUM							LOW
	48' X 115'	53' X 115'	58' X 115'	63' X 115'	68' X 115'	75' X 115'	85' X 120'	Varies
<b>RESIDENTIAL</b>								
Minimum Lot Area <sup>(1)</sup>	5,520 sf	6,095 sf	6,670 sf	7,245 sf	7,820 sf	8,625 sf	10,200 sf	15,000 Min.
Minimum Lot Width--Interior Lot <sup>(2)</sup>	48'	53'	58'	63'	68'	75'	85'	Varies
Minimum Lot Width--Corner Lot <sup>(2)</sup>	58'	63'	68'	73'	78'	85'	95'	Varies
Maximum Building Height	30'	30'	30'	30'	30'	30'	30'	35'
Front Yard Setback	18', 21', 24'	18', 21', 24'	18', 21', 24'	18', 21', 24'	18', 21', 24'	18', 21', 24'	18', 21', 24'	25'
Front Yard Setback--Stagger	3' Min.	n/a						
Front Yard Setback--Front of House /Garage Recessed	12' Min.	25' Min.						
Front Yard Setback--Side Entry Garages	12' Min.	25' Min.						
Property Line to Vertical Garage Door	18' Min.	25' Min.						
Driveway Length	20' Min.	25' Min.						
Side Yard Setback								
Interior Lot--Minimum	5'	5'	5'	5'	5'	5'	10'	10'
Interior Lot--Aggregate	13'	13'	13'	13'	13'	15'	20'	20'
Corner Lot--Minimum	5'	5'	5'	5'	5'	5'	10'	10'
Corner Lot--Street Side	15'	15'	15'	15'	15'	18'	18'	20'
Corner Lot--Aggregate	18'	18'	18'	18'	18'	20'	25'	30'
Rear Yard Setback <sup>(4)(5)(6)</sup>	22', 19', 16'	22', 19', 16'	22', 19', 16'	22', 19', 16'	22', 19', 16'	22', 19', 16'	22', 19', 16'	25'
Rear Yard Setback - Stagger	3' Min.	n/a						
Minimum Distance Between Buildings	10'	10'	10'	10'	10'	10'	20'	20'
Maximum Lot Coverage--Primary Structure	50%	50%	50%	50%	50%	50%	50%	40%
Maximum Lot Coverage--Primary Structure with Patios/Shade Structures	55%	55%	55%	55%	55%	55%	55%	45%
Maximum House Width	35'	40'	45'	50'	55'	60'	65'	Varies
Landscape Tracts--Collector Street	10'	10'	10'	10'	10'	10'	10'	10'
Landscape Tracts--Arterial Street	20'	20'	20'	20'	20'	20'	20'	20'
Landscape Tracts--Adjacent to Lots Siding Collector	25'	25'	25'	25'	25'	25'	25'	25'

NOTES:

1. Not more than 10% of the lots within a Lot Category may be smaller than the Minimum Lot Size for that Lot Category.
2. Minimum lot widths will be measured at the front setback line.
3. In certain cases, flag lots may be designed. Flag lots shall be addressed during the preliminary plat process.
4. For Local, Collector and Arterial Streets (same due to landscape tracts).
5. Patio covers may encroach up to 10' from the rear property line. The maximum width for the patio encroachment is 50%.
6. The aggregate front and rear setback shall equal 40' except for the Low density category.
7. Non-structural architectural features such as fireplaces, bay windows and pop-outs may encroach not more than 2' into sideyard setback.
8. Local to Collector and Local to Local shall have a minimum of 125' offset.

**TARTESSO  
COMMUNITY MASTER PLAN**

**Development Standards**

<b>COMMERCIAL/MIXED USE</b>	
Minimum Lot Width--Corner Lot	150'
Maximum Building Height	35'
Front Building Setback	35'
Rear Building Setback	15'
Interior Side Building Setback	15'
Corner Side Building Setback	25'
Residential Zone Boundary	45'
Front Parking Lot Setback	4'
Rear Parking Lot Setback	3'
Interior Side Parking Lot Setback	3'
Corner Side Parking Lot Setback	4'
Residential Zone Boundary--Parking Lot	3'

**NOTES:**

1. The information provided in this chart is for **information only**. Actual development standards will be determined at Site Plan approval.

**TARTESSO  
COMMUNITY MASTER PLAN**

**Engineering Documents and Exhibits**

***Drainage:***

A Conceptual Drainage Report was prepared by David Evans and Associates ("DEA") to provide preliminary hydrologic and hydraulic analyses required by the Town of Buckeye in support of the zoning application. There are three primary goals of the drainage design: (i) where possible, the existing drainage patterns will be maintained in their natural conditions and locations; (ii) all post-development 100-year peak discharges leaving the property will be maintained at or below their pre-development values; and (iii) the total post-development 100-year runoff volume will be accommodated within on-site retention facilities.

***Water & Wastewater:***

A Water and Wastewater Master Plan was prepared by DEA in accordance with the Town of Buckeye's requirements for the zoning application. There is no existing water or sewer infrastructure.

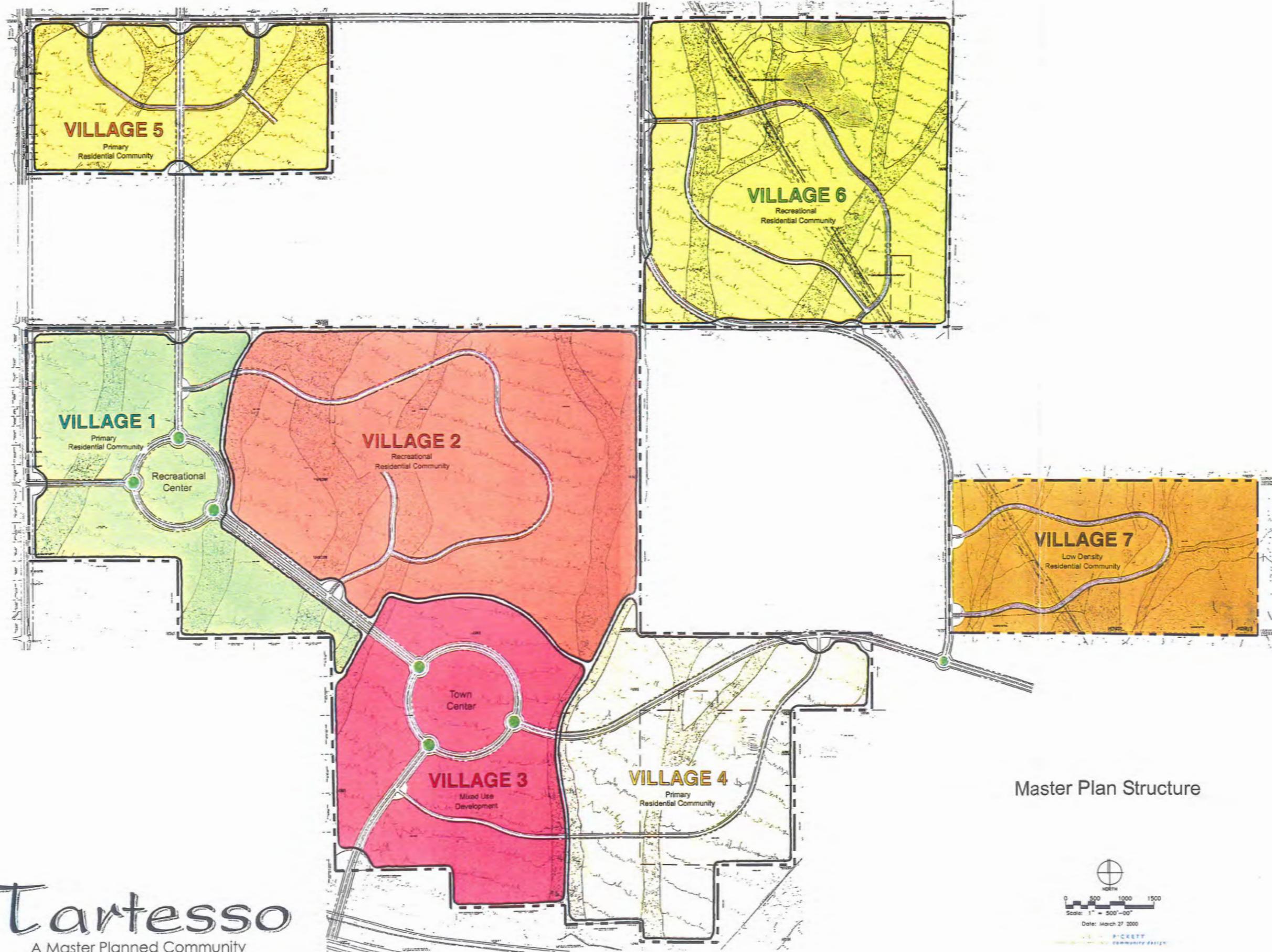
The proposed water distribution system will be designed in accordance with the Town of Buckeye's minimum standards for water systems. In addition to the required transmission mains, two booster/storage facilities and 10 wells are required to support this project.

The proposed wastewater system follows the Town of Buckeye's requirements as well as other typical wastewater engineering practices. The proposed sewer lines will flow to the wastewater treatment plant ("WWTP") location in the southern portion of

Section 10 near Interstate 10. The WWTP will be state of the art modern facility enclosed with controls in place to assure a noise and odor free environment.

***Traffic:***

Kimley-Horn and Associates prepared a technical summary of the circulation system. The proposed circulation plan incorporates three major east/west connections and two major north/south connections. Provisions for a future interchange from Interstate 10 to Wilson Avenue is also shown to accommodate the regional transportation system for the area.



Master Plan Structure

**Tartesso**  
A Master Planned Community

